

San Gorgonio Village Specific Plan

Prepared for:
City of Beaumont

550 East Sixth Street, Beaumont, CA 92223

PARCEL C - LOT 2

February 2007

San Gorgonio Village Specific Plan

Prepared for:

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ACKNOWLEDGMENTS

The majority of drawings and graphics contained within the San Gorgonio Village Specific Plan were created by Nadel Retail Architects. The sign drawings were created by Ontario Neon.

SECTION 1: PLAN OVERVIEW

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1.1 - INTRODUCTION

The San Gorgonio Village Specific Plan provides for the development of approximately 225,000 square feet commercial and restaurant uses on approximately 23 acres located between First and Second Streets, east and west of Commerce Way, in the City of Beaumont.

As of January 2006, the Project site is designated by the General Plan Land Use Element for Business Park Specific Plan uses, and is Zoned M-L, "Light Manufacturing." These current land use designations would not permit implementation of commercial uses proposed by the Project, and would need to be amended to accommodate the Project. However, the pending City of Beaumont 2006 General Plan Update would redesignate the subject site and vicinity properties as "Community Commercial" land uses, with correlating zoning designations.

The pending Community Commercial land use designation reflects the City's long-range vision for development and use of the affected properties, and recognizes recently approved commercial projects (Wal-Mart, Home Depot, and Marketplace Beaumont Specific Plan) within the affected area. The proposed San Gorgonio Village Specific Plan would be consistent with the anticipated Community Commercial land use designation, and the Specific Plan would represent a compatible continuation of recently approved vicinity commercial projects. Approval of the Specific Plan would be contingent upon establishment of appropriate underlying General Plan Land Use and Zoning designations, either through the General Plan Update process, or as an independent discretionary action of the Project.

Within the framework of the General Plan, the San Gorgonio Village Specific Plan provides development regulations and design guidelines that allow for the comprehensive development of the site in a creative manner that is compatible with surrounding existing and proposed development.

In compliance with the requirements of the California Environmental Quality Act and the City of Beaumont's environmental procedures, a Mitigated Negative Declaration (MND) will also be prepared by the City of Beaumont to address implementation of the San Gorgonio Village Specific Plan, and circulated to the appropriate parties for review and comment.

1.2 - PROJECT LOCATION

The approximately 23-acre Project site is located in the City of Beaumont, County of Riverside. More specifically, the site is located between First and Second Street, east and west of Commerce Way. The location of the site is presented in Figure 1-1. The legal description for the proposed Project site is contained in Appendix A.

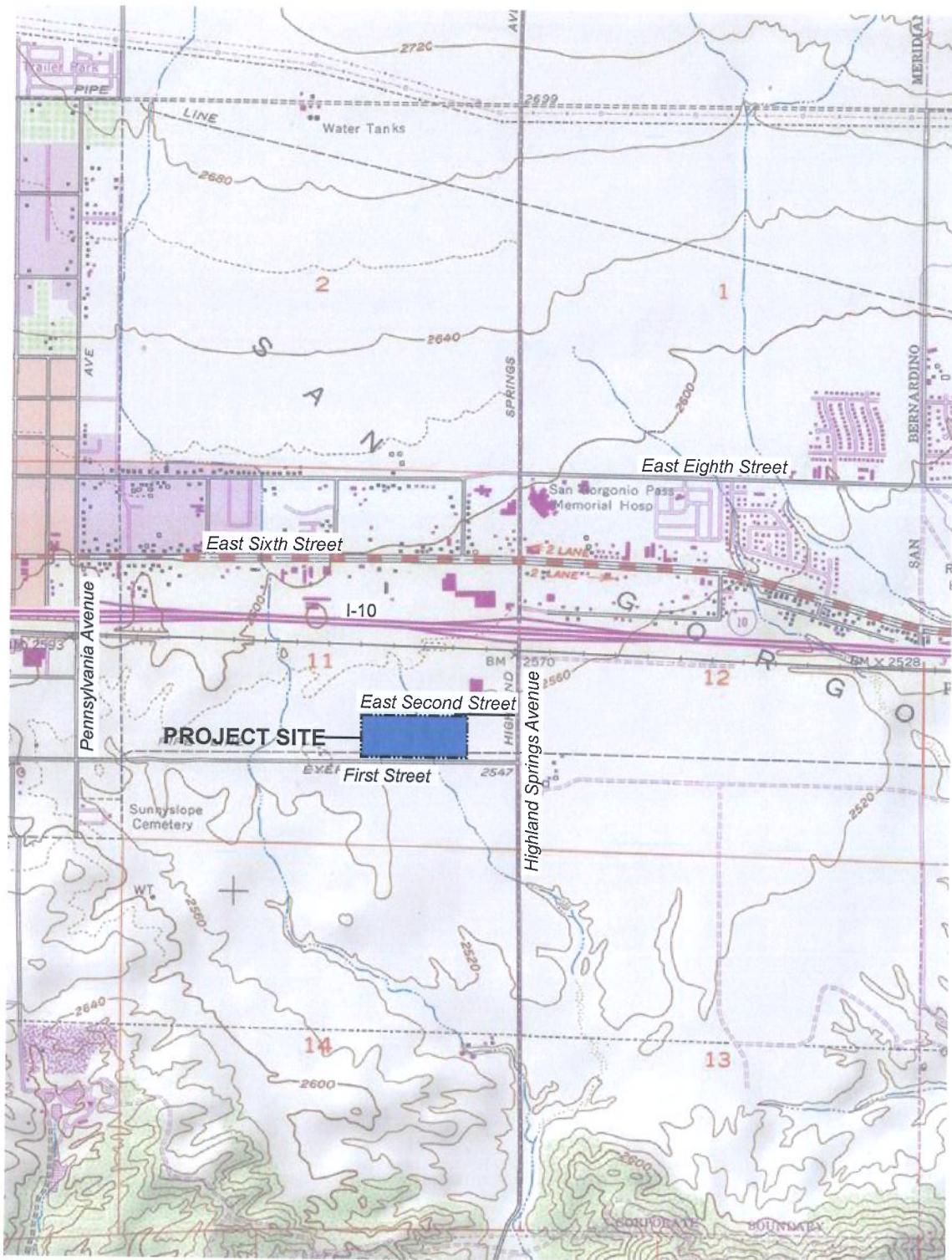
1.3 - PROJECT SETTING AND SITE FEATURES

Existing Site Features

The Project site is undeveloped vacant land. First and Second Streets form the site's southern and northern borders, respectively. Commerce Way transects the central portion of the Project site in a north/south direction.

Surrounding Land Uses

To the north, beyond Second Street, a new Wal-Mart and Home Depot have recently been constructed. Properties to the east and west are currently vacant. The southern boundary of the site is formed by First Street. Across First Street are residential uses developed as part of the Seneca Springs Specific Plan.



NOT TO SCALE

Source: Applied Planning, Inc.
Base printed from: TOPO! © 1999 Wildflower Productions (www.topo.com)

1.4 - RELATIONSHIP TO THE GENERAL PLAN AND ZONING ORDINANCE

The Project site is designated by the General Plan Land Use Element for Business Park Specific Plan uses, and is Zoned M-L, "Light Manufacturing." These current land use designations would not permit implementation of commercial/retail uses proposed by the Project, and as such, would be amended to accommodate the Project.

However, it is important to note that the City of Beaumont 2006 General Plan Update would redesignate the subject site and adjoining properties along the southerly I-10 frontage as "Community Commercial" Land Uses, with correlating zoning designations. The Community Commercial Land Use designation reflects the City's long-range vision for development and use of the affected properties, and recognizes recently approved commercial projects (Wal-Mart, Home Depot, and Marketplace Beaumont Specific Plan) within the affected area. The proposed San Gorgonio Village Specific Plan would be consistent with the anticipated Community Commercial Land Use designation, and the Project would represent a compatible continuation of recently approved commercial projects.

Because an adopted specific plan must be consistent with the City General Plan, all future projects that are found to be consistent with this Specific Plan are deemed consistent with the General Plan.

The San Gorgonio Village Specific Plan works in concert with the City of Beaumont Development Code, but provides additional zoning, development standards and guidelines that are customized to achieve the specific vision for the project area. The City's zoning standards are utilized for certain aspects, while the Specific Plan provides other standards that are tailored to the San Gorgonio Village Specific Plan. Development projects and new uses shall be subject to the review procedures, findings and provisions of the City of Beaumont Development Code and the provisions of this Specific Plan. Related and/or subsequent approvals, such as Master or Plot Plan, Site Plan, and Parcel Maps, must be consistent with both the guidelines of the Specific Plan and the Development Code.

Where development regulations in this Specific Plan differ from those established in the City Code, the provisions of the San Gorgonio Village Specific Plan shall prevail. Where this Specific Plan is silent on a development regulation, the City Code shall prevail.

1.5 - PROJECT OBJECTIVES

The following objectives have been established for the Project:

- Augment the City's economic base by providing a variety of tax generating uses;
- Allow for the development of the site in a manner which will provide a productive mix of commercial opportunities;
- Ensure development of the site in accordance with established functional and aesthetic standards;
- Establish a well-balanced mix of specialized and general retail outlets which can take advantage of the site's established accessibility;
- Create employment-generating opportunities for the citizens of Beaumont and surrounding communities;
- Expand the retail and service options for local consumers by providing daytime and nighttime shopping opportunities in a safe and secure environment;
- Provide for a pedestrian-friendly development that creates architectural interest through the placement of buildings and landscape design;
- Implement the vision of the City of Beaumont 2006 General Plan Update.

1.6 - COMPLIANCE WITH CALIFORNIA ENVIRONMENTAL QUALITY ACT

Adoption or amendment of a Specific Plan constitutes a project under the California Environmental Quality Act (CEQA). A Mitigated Negative Declaration (MND) will be prepared in accordance with the CEQA Guidelines, to analyze the environmental impacts of the San Gorgonio Village Specific Plan. The MND establishes the existing, on-site

environmental conditions and evaluates the potential impacts of this Specific Plan. The MND references project design features and includes various mitigation measures that will be implemented through either the Mitigation Monitoring Plan or Conditions of Approval.

SECTION 2: LAND USE

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2.1 - LAND USE SUMMARY

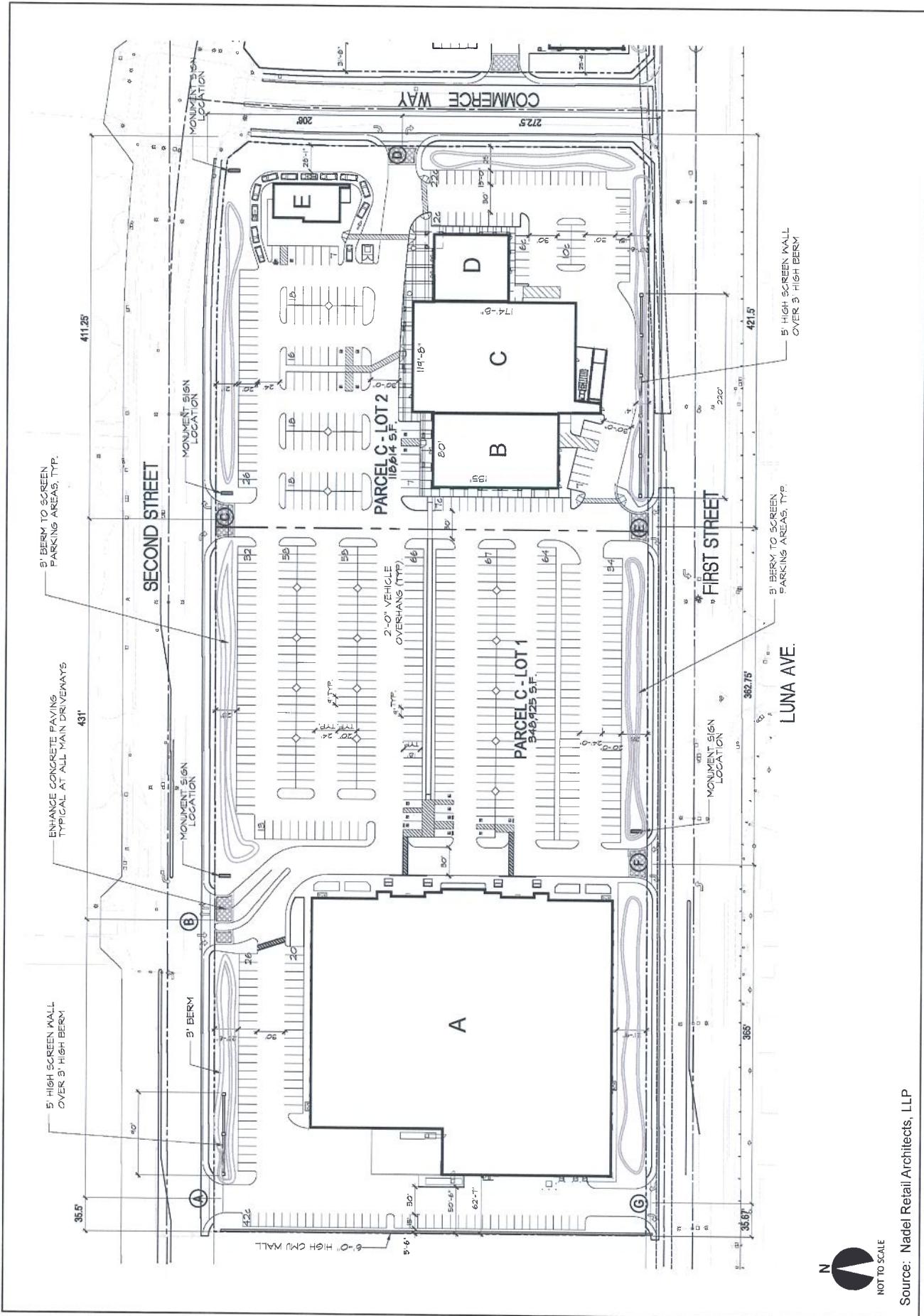
The San Gorgonio Village Specific Plan provides for the development of approximately 225,000 square feet commercial and restaurant uses on approximately 23 acres located between First and Second Streets, east and west of Commerce Way. For descriptive purposes, the site has been divided into a West Parcel, the area located west of Commerce Way, and an East Parcel, the area east of Commerce Way. These parcels and their respective uses are presented in Figures 2-1 and 2-2. A general description of uses proposed within the Specific Plan is provided below.

The West Parcel will contain a 98,165-square foot major retail use (identified as Kohl's Department Store), 37,827 square feet of additional retail uses, and a 2,972-square foot fast food restaurant.

The East Parcel will contain a 28,442-square foot junior anchor, 51,600 square feet of multi-tenant retail, and two (2) fast food restaurants, 2,675 and 3,458 square feet, respectively.

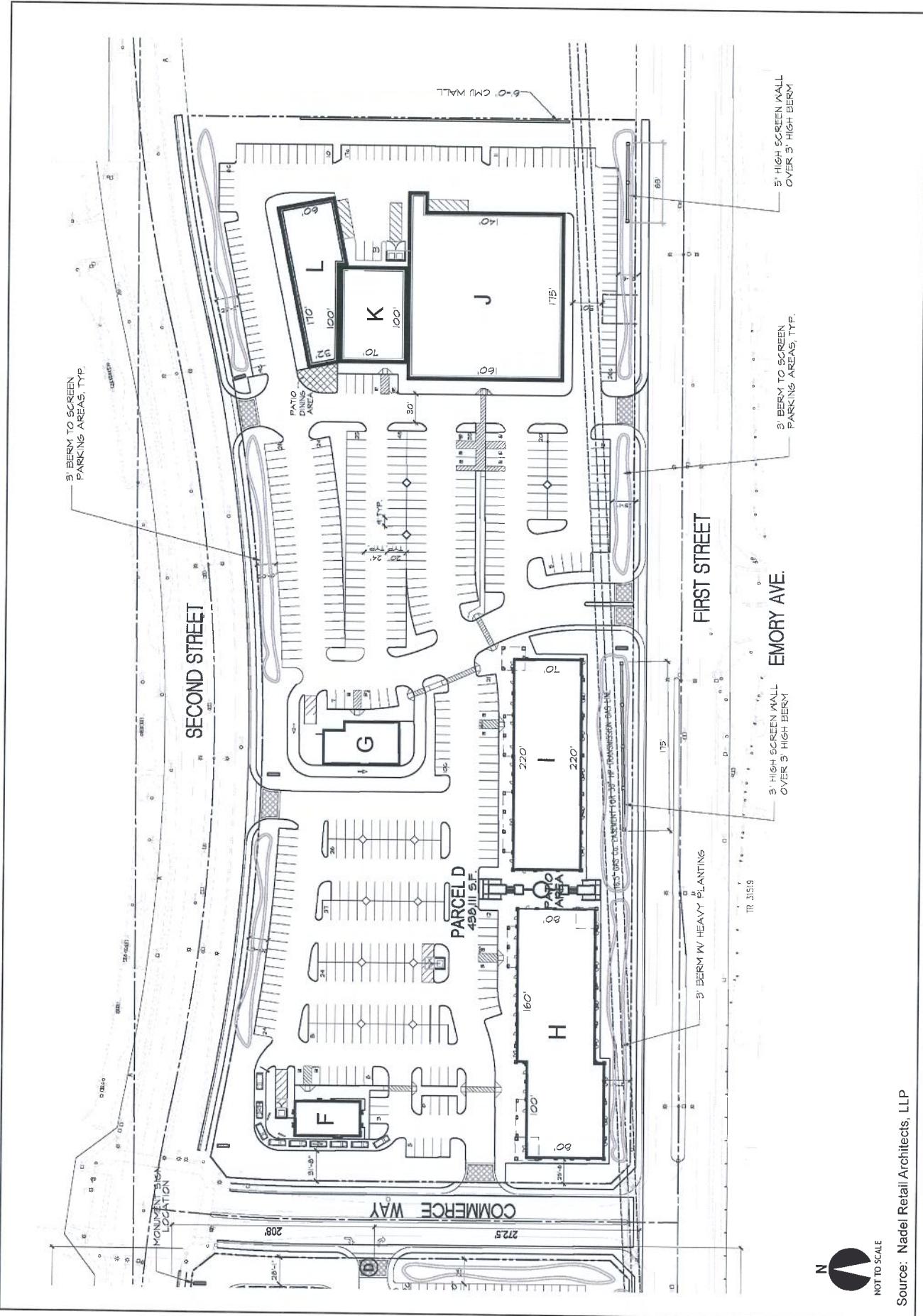
The proposed buildings for the two parcels have been designed with complementary colors and materials, and common landscape treatments that act to tie these separate pieces together in a unified fashion and offer an opportunity to identify the San Gorgonio Village Specific Plan from both the west and east sides of Commerce Way.

Figure 2-1
Site Plan Concept - West Parcel



Source: Nadel Retail Architects, LLP

Figure 2-2
Site Plan Concept - East Parcel



Source: Nadel Retail Architects, LLP

Table 2-1 presents a summary of proposed land uses.

Table 2-1
San Gorgonio Village Proposed Land Uses

Building	Proposed Uses	Size- (GLA)
<u>West Parcel</u>		
A	Kohl's	98,165 s.f.
B	Junior Anchor A	10,800 s.f.
C	Junior Anchor B	21,267 s.f.
D	Multi-Tenant Retail	5,760 s.f.
E	Fast Food	2,972 s.f.
Total		138,964 s.f.
<u>East Parcel</u>		
F	Fast Food	2,675 s.f.
G	Fast Food	3,458 s.f.
H	Multi-Tenant Retail	20,800 s.f.
I	Multi-Tenant Retail	15,400 s.f.
J	Junior Anchor	28,442 s.f.
K	Multi-Tenant Retail	7,000 s.f.
L	Multi-Tenant Retail	8,400 s.f.
Total		86,175 s.f.
Total Specific Plan		225,139 s.f.

The following discussions describe the general development concept, indicating approximate building sizes, arrangements, and orientations.

West Parcel

Building A

Building A will contain the major retail use of the San Gorgonio Village Specific Plan. The use has been identified as a 98,165-square foot Kohl's Department Store. This use will be situated along the western boundary of the West Parcel, facing east. This use is located immediately inside both main access points to the West Parcel.



Figure 2-3: Building A Perspective

The building will feature two (2) covered entrances at the front of the store, each accented by a porcelain tile surround. A patterned sidewalk treatment, benches, and up-lit landscaping will also highlight the entrances.



Figure 2-4: Building A, east elevation

Landscaped setbacks will be provided adjacent to the buildings north and south elevations, along the First and Second Street frontages. The Second Street frontage will also feature a 3-foot berm, topped with a 5-foot wall, to screen views of the loading area for this use. The rear of the building will also be concealed by a 6-foot wall along the western property line.

Buildings B and C

These "junior anchor" uses are 10,800 and 21,267 square feet in size, respectively, and are located along the site's southern, First Street frontage. Facades will feature both fabric and metal awnings, as well as tile accents. The buildings are oriented towards the interior of

the site, facing north. A 3-foot berm topped with a 5-foot wall, will screen the rear of the stores and provide attractive views for passing motorists along First Street.

Building D

This building will house various multi-tenant retail uses totaling 5,760 square feet. This use is located just inside the eastern driveway to the West Parcel, immediately adjacent to Building C. Similar to Buildings B and C, the facade will feature fabric and metal awnings, as well as tile accents. The building is oriented towards the interior of the site, facing north.



Figure 2-5: Buildings B, C, and D, north elevation

Building E

This 2,972-square foot use, located in the northeastern corner of the West Parcel, will be developed as a fast food restaurant offering drive-thru service.

East Parcel

Located across Commerce Way, five (5) additional buildings are proposed as part of this Specific Plan. This separate, but interrelated, development contains Buildings F through L, which are described below. This property has been designed to be a continuation of the West Parcel. The use of complementary colors and materials, and common landscape treatments tie these separate pieces together in a unified fashion and offer an opportunity to identify the San Gorgonio Village Specific Plan from both the east and west sides of Commerce Way.

The following development scenario for the East Parcel is conceptual in nature, and while the intensity and scope is not anticipated to change, the uses and site plan may be reconfigured as the planning process is refined.

Building F

Building F, located in the northwestern corner of the East Parcel, will be developed as a 2,675-square foot fast food restaurant offering drive-thru service.

Building G

Building G will be developed as a 3,458-square foot fast food restaurant offering drive-thru service. This use is located in the central portion of the East Parcel, immediately adjacent to the western Second Street driveway.

Buildings H and I

These multi-tenant retail uses are proposed in the southwestern portion of the East Parcel and are anticipated to encompass 20,800 and 15,400 square feet, respectively.



Figure 2-6: Buildings H and I

The buildings will feature an outdoor patio area as a connective use, creating a pedestrian-friendly atmosphere. As shown in Figures 2-7 and 2-8, the patio area will offer outdoor dining opportunities, as well as incorporate a fountain and terraced landscape features.

A 3-foot berm, located at the rear of Building H, will provide attractive views for passing motorists along First Street. The

berm area will be densely planted to obscure views to the rear of the Building. The rear area of Building I will be concealed by a 3-foot berm, topped with a 5-foot wall.

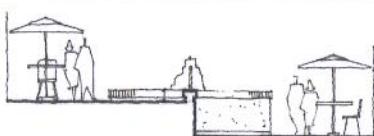


Figure 2-7: Outdoor Dining Area

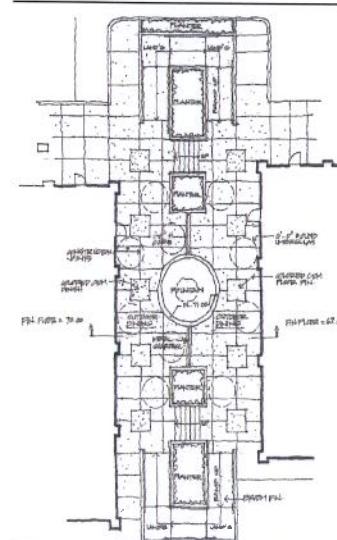
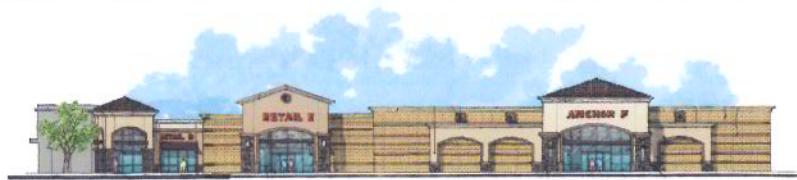


Figure 2-8: Patio Area

Building J

This building, as well as Buildings K and L (described below), is located in the eastern portion of the East Parcel, facing west. This retail use will be 28,442 square feet in size. The building will feature stone veneer, tile accents, and fabric and metal awnings. These architectural details will be continued on adjacent Buildings K and L. A 3-foot berm, topped with a 5-foot wall, will conceal the rear of the store from passing motorists along First Street. In addition, a 6-foot wall will be located along the eastern property line, at the rear of Buildings J, K, and L.



Buildings K and L

These multi-tenant retail uses will be located immediately adjacent to Building J, directly inside the eastern Second Street driveway. Building K will encompass 7,000 square feet and Building L will be 8,400 square feet.

Figure 2-9: West elevation of Buildings J, K, and L

SECTION 3: DEVELOPMENT REGULATIONS AND DESIGN GUIDELINES

SECTION 3:

DEVELOPMENT REGULATIONS AND

DESIGN GUIDELINES

3.1 - GENERAL PROVISIONS

The standards set forth in this section will ensure that future development proceeds in a manner consistent with City requirements and a defined design motif. Upon adoption of the San Gorgonio Village Specific Plan by the City of Beaumont, this Specific Plan shall be the zoning document for the subject property, superseding other zoning designations and development standards of the City of Beaumont as described herein. If not specifically addressed in this Specific Plan, the applicable provisions of the City of Beaumont Development Code shall apply.

3.2 - PERMITTED USES

Those uses specified below, excerpted from Chapter 17.40.305 of the City of Beaumont Development Code (C-G, General Commercial District), shall apply. Other land uses have been added to the list of permitted uses to specifically address the mix of uses proposed within the San Gorgonio Village Specific Plan. These additional uses have been identified by *italics*.

COMMERCIAL USES. Commercial uses in this zone include all uses which can be characterized as:

1. Providing any variety of goods and services to the surrounding community;

2. Providing adequate traffic circulation improvements and parking facilities for the customers of these commercial uses; and
3. Having operating hours which maximize - to the extent possible - the use by the residences in the area to these commercial uses.

Examples of such uses, but not limited to these uses are: clothing stores, grocery stores, hotels, appliance stores, general department stores. *Additional and similar uses could include restaurant uses, both sit-down and drive-thru (including patios and outdoor dining areas), banks and service related commercial uses* and those activities determined by the Planning Director to be “substantially similar” to the listed examples and in complete accord to the goals and objectives of this zone.

3.3 - DEVELOPMENT STANDARDS

Development within the project area shall comply with the applicable provisions of the City Code except as expressly provided for below.

Table 3-1
Development Standards

1. Lot Area and Dimensions	Minimum lot size = 10,000 square feet Minimum average lot width/depth = 75 feet			
2. Setbacks	All buildings must be located within the envelope defined by the following setback standards: <table border="0" style="width: 100%;"> <tr> <td style="width: 30%;">Street Setback: A twenty (20) foot minimum setback is required.</td> </tr> <tr> <td>Interior Side Setback: No setback is required from the interior side setback.</td> </tr> <tr> <td>Rear Setback: No setback is required from the rear property line.</td> </tr> </table>	Street Setback: A twenty (20) foot minimum setback is required.	Interior Side Setback: No setback is required from the interior side setback.	Rear Setback: No setback is required from the rear property line.
Street Setback: A twenty (20) foot minimum setback is required.				
Interior Side Setback: No setback is required from the interior side setback.				
Rear Setback: No setback is required from the rear property line.				

Table 3-1
Development Standards

3. Height Standards	A maximum height of forty (40) feet from average finish grade of the structure's parcel, measuring to the top of parapet or ridge, shall be allowed.
4. Parking Stalls	Parking stalls throughout the site shall be 9 feet wide by 19 feet in length.
5. Outdoor Display	Seasonal or clearance merchandise can be displayed immediately outside of the store.
6. Signs	One (1) off-site pylon sign shall not exceed 85' in height or 30' in width. Monument signs shall not exceed 9' in height or 12' in width. Refer also to the Master Sign Program for the San Gorgonio Village Specific Plan.

3.4 - GRADING CONCEPT

The existing topography of the site could be described as generally flat. The site naturally drains toward the south and southwest.

The proposed grading concept, presented in Figures 3-1 and 3-2, illustrates the minimal extent of grading required to achieve the design concept for the Project. This grading plan will provide level building pads for the proposed structures, and assure safe and adequate drainage patterns across the Project site. The site will be generally graded in a manner that will allow onsite stormwater to flow into a catch basin and underground detention system, to be located throughout the property. Stormwater will then be released into the City's storm drain system in a manner equal to or less than the flows that have historically been created from the site. The detention system has been designed not to introduce any increase in stormwater flows into the areawide drainage system.

Figure 3-3 presents various illustrations of finished elevations thought the Project site.

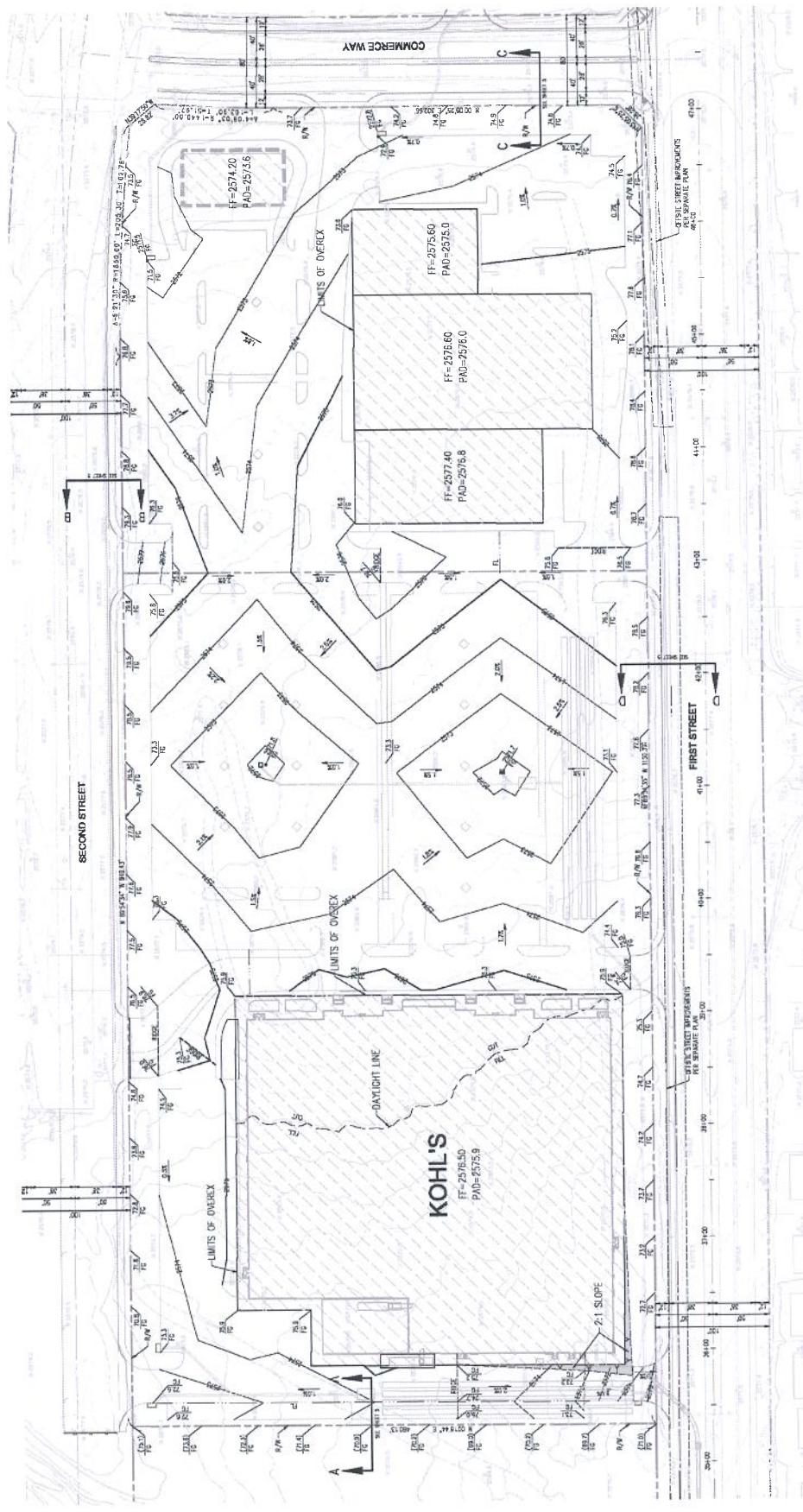


Figure 3-1
Grading Plan - West Parcel

Source: Hall & Foreman, Inc.



NOT TO SCALE

Source: Hall & Foreman, Inc.

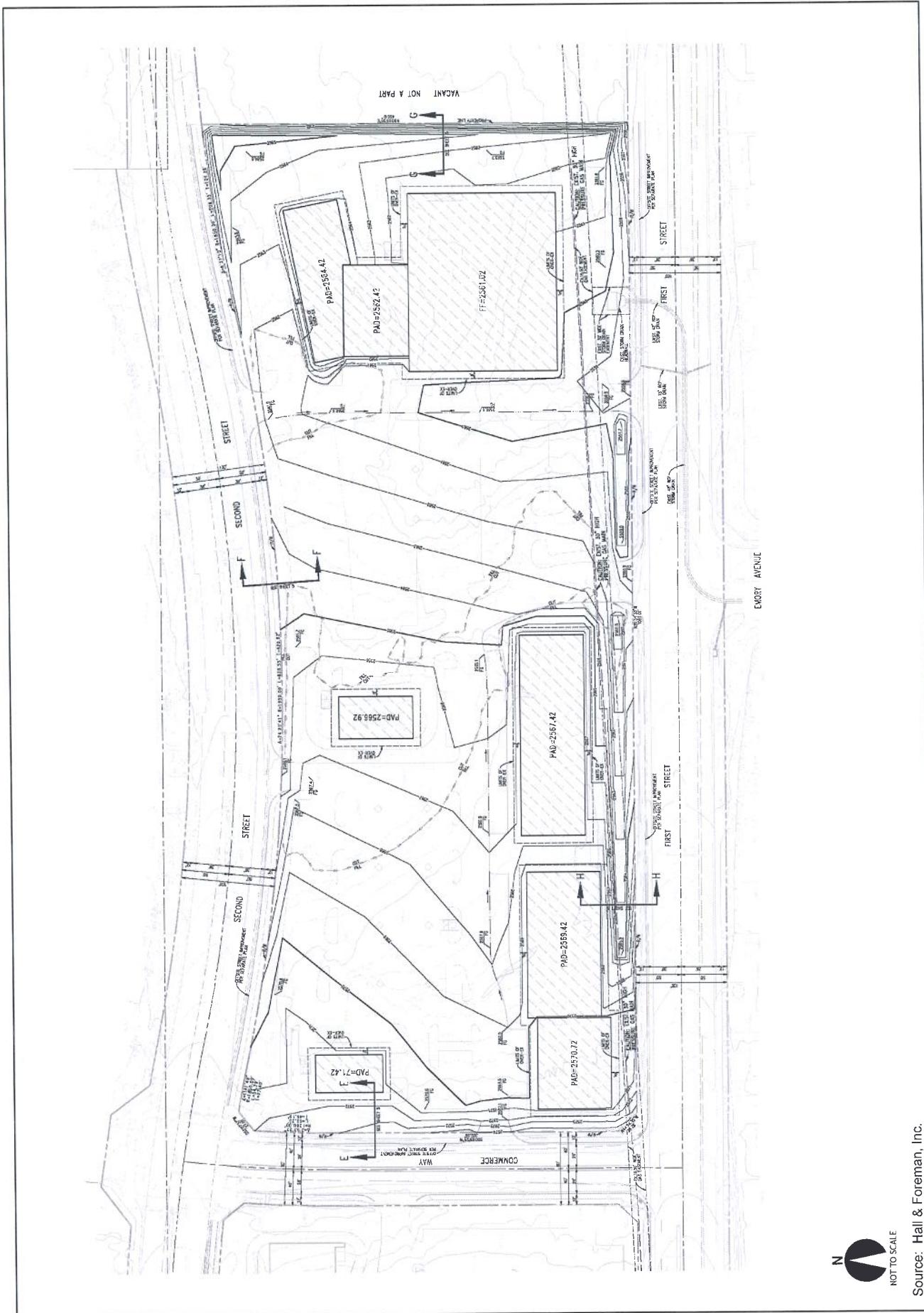
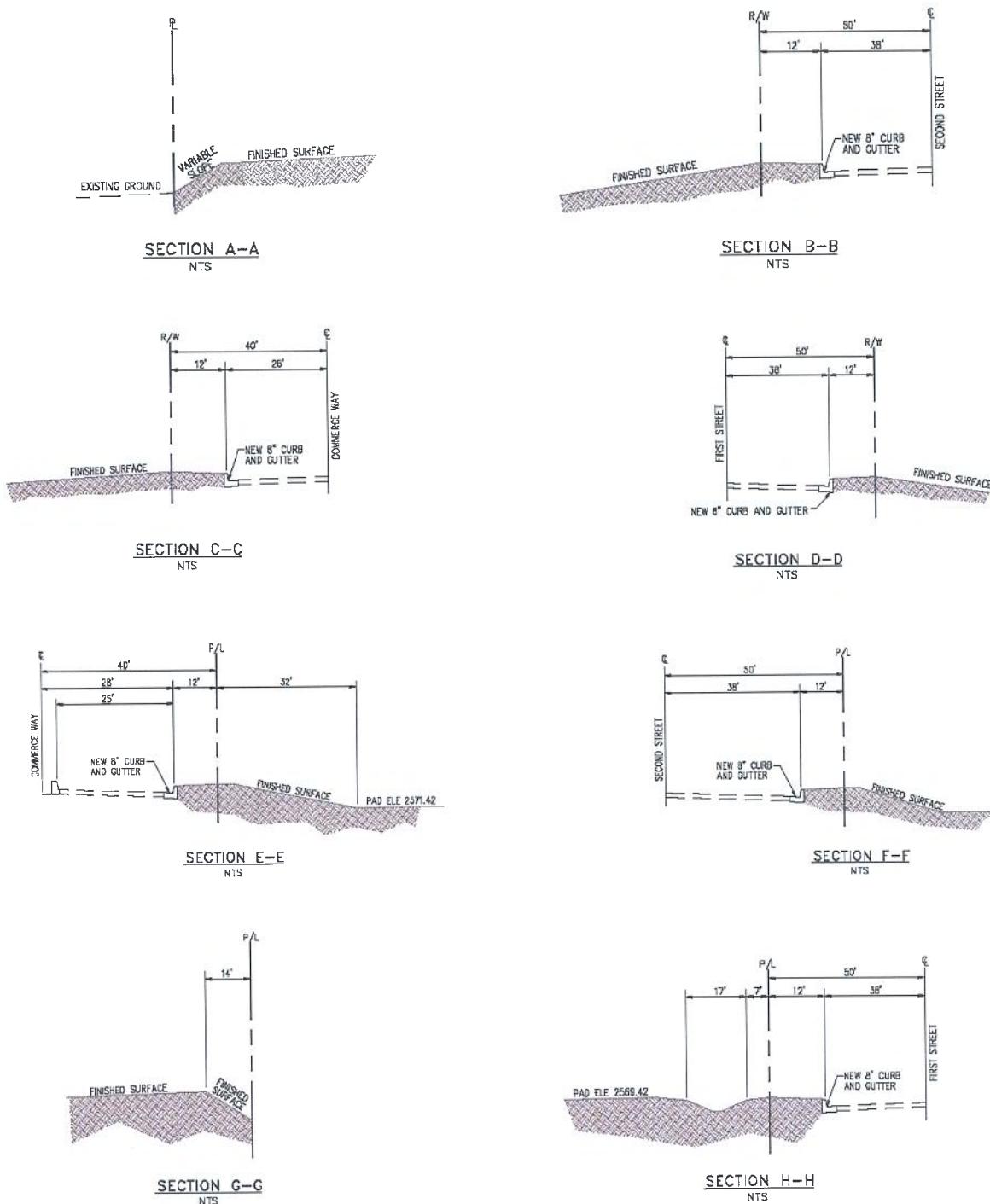


Figure 3-2
Grading Plan - East Parcel



Source: Hall & Foreman, Inc.

3.5 - ARCHITECTURAL CONCEPT

As presented in Figure 3-4, the San Gorgonio Village features contemporary architectural design featuring tiled roofs, metal and fabric awnings, stone veneer, enhanced pavement treatments, and abundant landscaping.

The architectural style of the San Gorgonio Village will conform to exterior materials, treatments and colors reflected in the following guidelines.

Development within the Specific Plan area shall comply with the design guidelines contained within the adopted City Code. Except as provided herein, the design guidelines in the City Code shall apply to all improvements within the Specific Plan area including new construction, remodels, additions, landscaping, paving, signage, amenities, and related facilities. They are provided to guide developers, builders, architects, engineers, landscape architects, and others involved in the preparation of future development proposals to ensure a consistent level of quality throughout the Project area. The design guidelines will assist the City of Beaumont staff and decision-making authorities with criteria to evaluate future development proposals.

Architectural Design Objectives

- To establish a comprehensively designed project that incorporates unity through the use of complementary colors, materials and landscape themes.
- To design within the context of the local environs.
- To create a project that provides for efficient circulation for both vehicles and pedestrians.



Figure 3-4
Architectural Concept

Source: Nadel Retail Architects, LLP

Architectural Design Guidelines

These Architectural Design Guidelines are intended to provide an overall direction in the design of structures within the Specific Plan. No particular style is intended to dominate; however, architectural concepts shall be compatible with existing, surrounding uses. These Guidelines are meant to be flexible over time and correspond with changing conditions in lifestyles, the marketplace and economic conditions.

Building Mass, Form and Elements

Building massing, scale and roof forms are the primary design components within the San Gorgonio Village Specific Plan. Therefore, these require careful articulation. The rear and side elevations, as well as the front, should provide variation in massing, wall and roof forms. Repetitive elements and modular materials are important elements and are encouraged.

Building Materials

Materials should be selected and detailed for compatibility throughout the site. Buildings should incorporate a mix of at least two of the prevalent materials including stone veneer, plaster, wood, or tile. These materials shall be used in traditional combinations that yield an impression of permanence as well as respect for the surrounding environment.

Color Palette

The use of complementary earth tones should be applied to building facades. The use of a neutral color palette and stone and/or tile accents that shall be repeated on multiple structures will act to unify the Specific Plan area. Company logos and colors shall be allowed on trims and accents.

Acceptable materials and colors are presented within Figure 3-5 and Table 3-2.



Figure 3-5: Color and Material Palette

Table 3-2
Material and Color Palette

Use	Material
Plaster Finish	Shortbread #DE 6134 Verona Beach #DE 6135 Terracotta San #DE 6136 Tan Plan #DE 6137 (Dunn Edwards)
Roof Tile	70% Carmel Blend 30% Bermuda Blend Custom Blends
Stone Veneer	Yukon Mountain Ledge
Metal Awning	Ral 8007
Fabric Awning	Burgundy # 8631
CMU Block	Canyonbluff Split Face Oak Precision

3.6 - LANDSCAPE CONCEPT

Landscaping and buffering elements will be provided within the Project site and along the Project's perimeter, to include enhanced landscape treatments along the site's First and Second Street frontages. Final design and implementation of landscaping components will be consistent with City requirements. Materials presented in Figures 3-6 and 3-7, are detailed in Table 3-3, "Plant Palette."

Plant Materials

The landscaping theme will enhance the overall Specific Plan's character. All landscape areas within the site will be planted with a combination of ground cover, shrubs and trees. Table 3-3 presents the proposed plant palette.

Table 3-3
Plant Palette

Botanical Name	Common Name	Size
Gleditsia Tricanthos	Honey Locust	36" Box
Lagerstroemia Indica	Crape Myrtle	24" Box
Eucalyptus Sideroxylon	Red Iron Bark	15 Gallon
Rhus Lancea	African Sumac	24" Box
Tabebuia Ipe	Lavender Trumpet Tree	24" Box
Lophostemon Confertus	Brisbane Box	24" Box
Jacaranda Mimosifolia	Jacaranda	48" Box
Liquidamber Styraciflua	Sweet Gum	15 Gallon
Anigozanthos 'Bush Ringer'	Kangaroo Paw	1 Gallon
Hemerocallis Burgundy	Daylily	1 Gallon
Dites Bicolor	Fortnight Lily	1 Gallon
Eleagnus Pungens	Silverberry	5 Gallon

Table 3-3
Plant Palette

Botanical Name	Common Name	Size
Rhaphiolepis Indica	India Hawthorn	5 Gallon
Phormium 'Maori Queen'	Dwarf Variegated Flax	5 Gallon
Pittosporum Species	Mock Orange	5 Gallon
Callistemon 'Little John'	Dwarf Bottlebrush	5 Gallon
Euryops 'Veridis'	Shrub Daisy	5 Gallon
Bougainvillea 'Hawaii'	Shrub Bougainvillea	5 Gallon
Rosmarinus Species	Rosemary	1 Gallon
Lantana Montevidensis	Trailing Lantana	1 Gallon
Agave Attenuata	Agave	5 Gallon
Photinia Fraseri	Photinia	5 Gallon
Echium Cadicans	Pride of Madera	5 Gallon
Rosa 'Iceberg'	Rose	5 Gallon
Punica Granatum 'Chico'	Dwarf Pomegranate	5 Gallon
Cistus Purpureus	Purple Rockrose	5 Gallon
Dodonaea 'Atropurpurea'	Purple Hopseed	5 Gallon
Parthenocissus Tricuspidata	Boston Ivy	5 Gallon
Gazania 'Mitsuwa Mixed'	Trailing Gazania	8" O.C.
Myoporum Parvifolium	Myoporum	18" O.C.
Fescue Marathon 2	Tall Fescue	Sod

Source: Nadel Retail, Preliminary Landscape Plan, November 2006



Figure 3-6
Landscape Plan - West Parcel



Figure 3-7
Landscape Plan - East Parcel

Streetscape

The typical streetscape setback and landscape treatment for the San Gorgonio Village Specific Plan area is presented in Figure 3- 8. The streetside landscape area will consist of a six (6) foot wide sidewalk combined with a six (6) foot landscaped parkway. This area will be combined with a landscape area inside the property boundaries that will contain an additional, minimum twelve (12) foot wide, landscape area. This landscape area will be complimented by a three (3) foot berm containing accent trees and shrubbery.

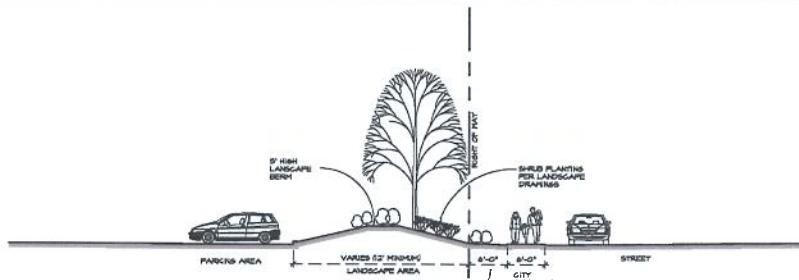


Figure 3-8: Typical Streetscape

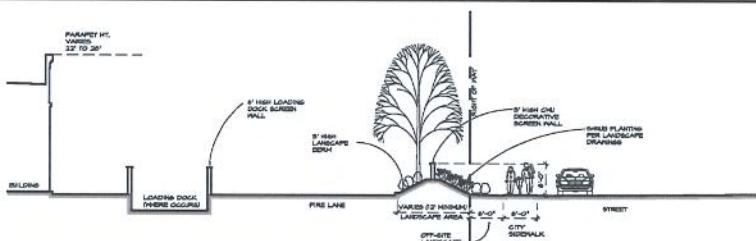


Figure 3-9: First Street Streetscape

Figure 3-9 is a cross section view of the First Street streetscape adjacent to the loading areas located behind Buildings B,C, and D on the West Parcel. The streetscape concept proposes the use of a combination of shrubs and trees to create an lush and undulating feeling as pedestrians walk along the First Street. Loading dock activities will be screened from public views through the use of a combination of a three (3) foot wall placed above a three (3) foot berm along this area. This treatment combined with the proposed landscape elements will serve to screen public views along this portion of the First Street.

3.7 - WALLS AND FENCES

The Project includes 6-foot walls along both the western and eastern property lines. In addition, the Second Street frontage will also feature a 5-foot wall placed above a 3-foot berm, to screen views of the Building A loading area. The First Street frontage will feature 5-foot walls placed above 3-foot berms behind Buildings B and C on the West Parcel, and

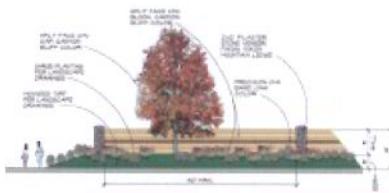


Figure 3-10: Berm and Wall Treatment

Buildings I and J on the East Parcel. These treatments combined with the proposed landscape elements will serve to screen public views along this portion of the First Street. A typical view of the berm and wall treatment, as viewed from the public right of way, is presented in Figure 3-10.

3.8 - SIGNAGE AND LIGHTING

3.8.1 - Signage

Retail center and tenant identification signs will be established along the Project site's public frontages. Specifications, designs, and locations of all Project-related signs are subject to review and approval by the City. Sign locations are presented in Figures 3-11 and 3-12. Proposed signage is also discussed further below.

A new freeway-oriented pylon sign is proposed along the southerly boundary of the I-10 Freeway, on a parcel located directly north of the Project site, across Second Street. This is the largest of all proposed signs, measuring 85 feet tall and 30 feet wide. This sign will identify the San Gorgonio Village as a whole, as well as provide major and minor tenant identification.



Figure 3-13: Pylon Sign



Figure 3-11
Sign Locations -West Parcel



Figure 3-12
Sign Locations -East Parcel

Two (2) styles of monument signs will also be provided for the major and minor tenants, as shown in Figures 3-14 and 3-15. Both styles of the double-sided monument signs will have a maximum width of 12 feet and a maximum height of 9 feet.



Figure 3-14: Monument Sign



Figure 3-15: Monument Sign

All other proposed new signs within the Specific Plan area will be addressed through the provisions of the San Gorgonio Village Sign Program, presented as Appendix B.

3.8.2 - Lighting

All outdoor lighting will be designed to complement the contemporary architectural theme of the Project. All lighting within the Specific Plan, including parking lot, security, landscape and ornamental lighting, will be installed and operated in conformance with Chapter 8.50 of the City of Beaumont Municipal Code, as well as the requisite portions of the Uniform Building and Electrical Codes.

SECTION 4: INFRASTRUCTURE, UTILITIES, AND PUBLIC SERVICES

SECTION 4: INFRASTRUCTURE, UTILITIES, AND PUBLIC SERVICES

Infrastructure and services to support the San Gorgonio Village Specific Plan area shall be extended and improved in conjunction with its phased development. Primary infrastructure facilities are described below.

4.1 - CIRCULATION

As shown in preceding Figures 2-1 and 2-2, the Project site is afforded access from three (3) sides of each parcel. Primary access is provided by both Second Street on the north and First Street on the south. Commerce Way provides both properties with secondary access. All surrounding roadways will be improved to their ultimate General Plan half section adjacent to the site. The following discussions describe the individual driveways for each parcel.

Western Parcel

Primary access to the proposed Kohl's store will be from primary driveways along the Kohl's frontage. These driveways will form a "left in and right out" along both Second and First Streets. Secondary access to the Kohl's and junior anchors located on the eastern portion of the parcel will be provided by a "right in and right out" driveway on First Street and a "left in/right in and right out" on Second Street. Access to the junior anchors and the retail/restaurant pads located on the eastern portion of the site will be provided by a "right in and right out" driveway from Commerce Way. Finally, service and employee parking will be provided by service driveways proposed on the western-most portion of the parcel.

Eastern Parcel

Primary signalized access to the eastern parcel will be provided by a traffic signal proposed at the main driveway on First Street. The driveway has been designed to align with Emory Avenue on the south and this intersection will provide full turning movements from the east/west and south in and out of the Project site. Two additional driveways will be provided on Second Street. Both of these drives will be right in and right out access. A fourth driveway is proposed on Commerce Way. This driveway will also be right in and right out.

4.2 - UTILITIES

The following provides a brief overview of how the services will be provided to the San Gorgonio Village Specific Plan area.

Water

The Beaumont Cherry Valley Water District has confirmed that adequate water supply and delivery systems will be in place to serve the Project. The water system has been sized to utilize a 6-inch on-site domestic water main system that will connect (via a loop system) to an existing 24-inch water line within Second Street. On-site water line laterals will consist of $\frac{3}{4}$ inch to $2\frac{1}{2}$ inch lines that tie to on-site uses. Both the western and eastern parcels will contain a 12-inch loop water system, capable of delivering the Riverside County Fire Department with a minimum fire flow of 3,375 gallons per minute for a duration of up to 3 hours. Please refer also to Figures 4-1 and 4-2.

Wastewater

The City of Beaumont has verified that there is adequate capacity within the existing sewerage collection system to serve the Project site. The existing sewer system has been sized to employ 6-inch on-site laterals to serve the various on-site uses. These laterals will connect to an existing sewer line that will be located south of First Street. Please refer also to Figures 4-3 and 4-4.

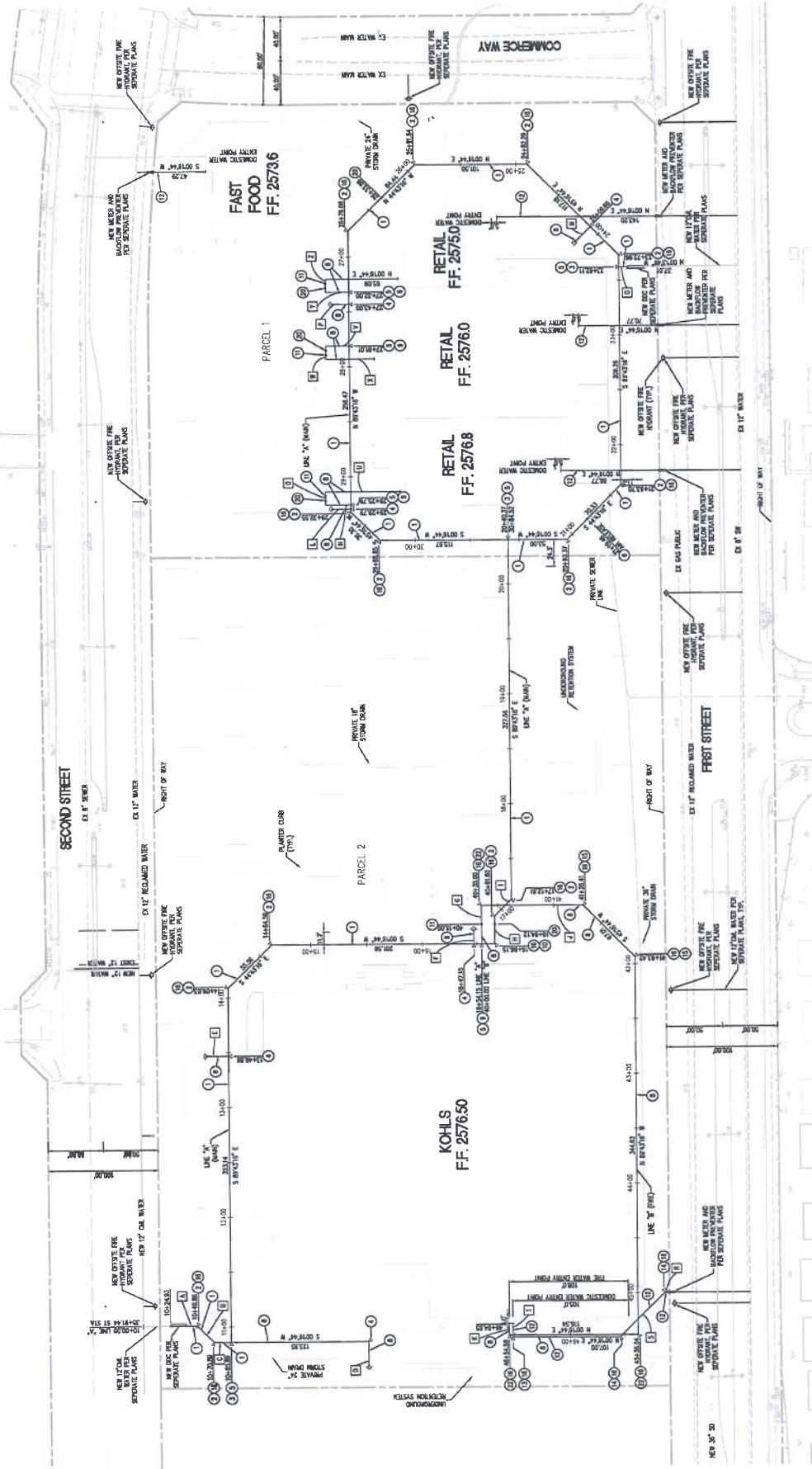
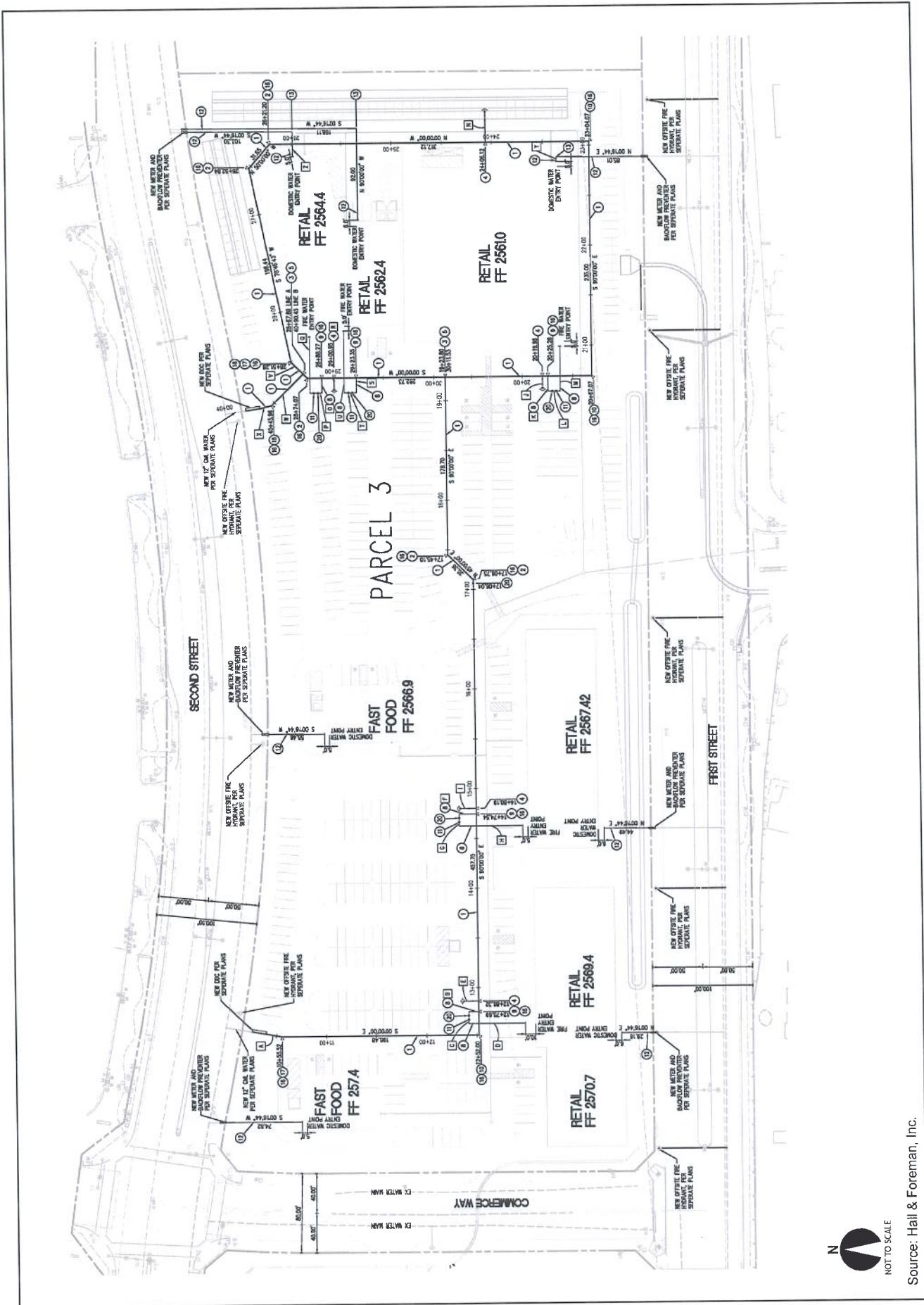


Figure 4-1
Water Improvement Plan - West Parcel

Figure 4-2
Water Improvement Plan - East Parcel



Source: Hall & Foreman, Inc.

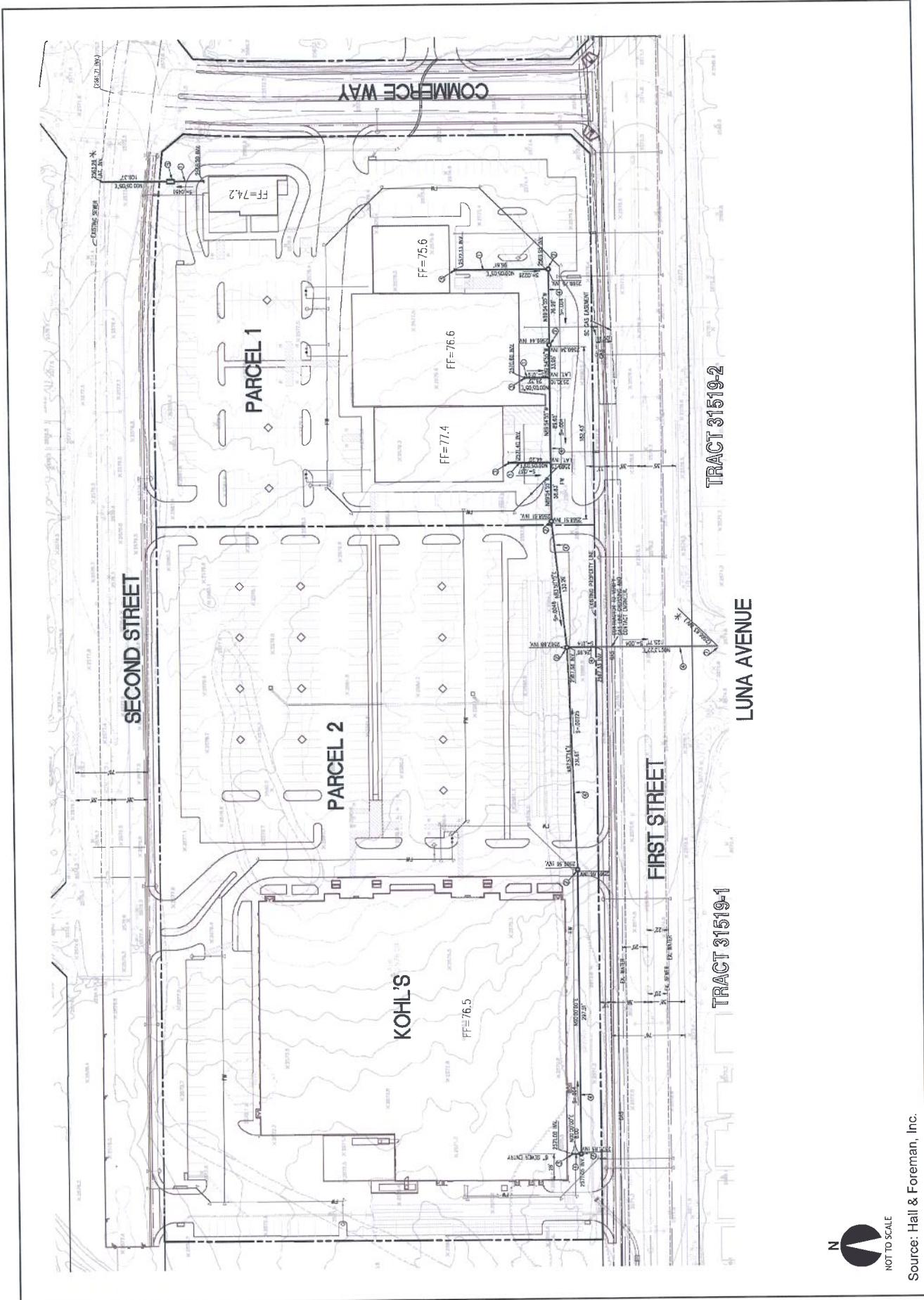


Figure 4-3
Sewer Improvement Plan - West Parcel

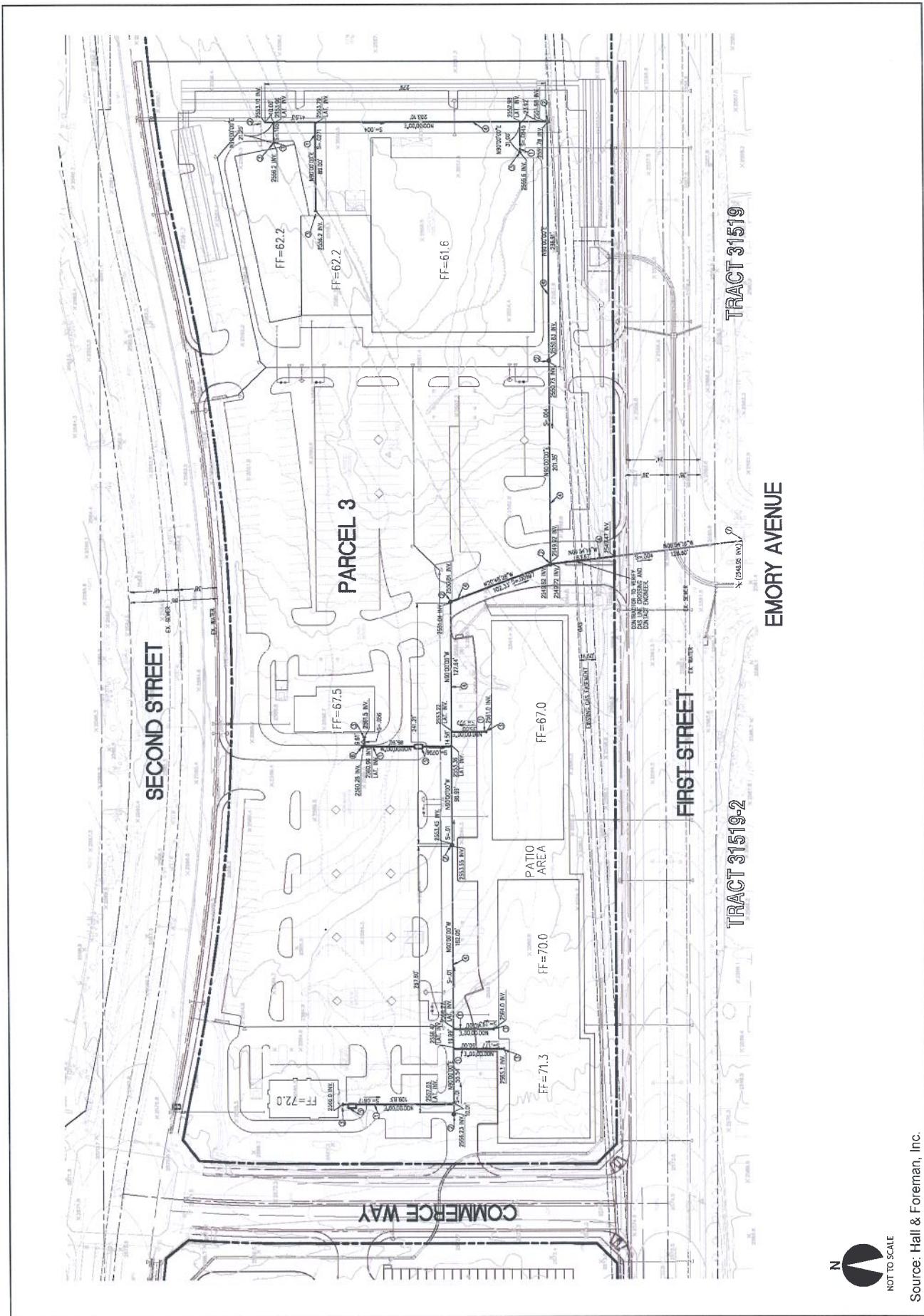


Figure 4-4
Sewer Improvement Plan - East Parcel

Storm Drain

Two (2) separate drainage flows currently cross the Project site. Development of the site, combined with the capture of these confluence flows, is projected to increase runoff by approximately 30 percent. To handle this increase in storm water, the Project design includes the development of three (3) underground retention basins. Each basin is sized to retain the maximum 100-year, 24-hour storm event. The use of the retention basins will assure that downstream flows will not significantly exceed the pre-development conditions. The basins will then be connected to the downstream drainage system located in and south of First Street.

Dry Utilities

Dry utilities, including gas, electric, telephone, and broadband will be provided on-site, as required. Adequate capacity exists to serve the Specific Plan area and substantial upgrades are not anticipated.

SECTION 5:

IMPLEMENTATION & ADMINISTRATION

SECTION 5:

IMPLEMENTATION & ADMINISTRATION

5.1 - METHODS AND INTERPRETATION

Development within the Project area shall be implemented through the City of Beaumont Specific Plan Review process as set forth in Section 17.15.025 et seq. of the City's Zoning Code. The implementation process described below provides for the mechanisms for review and approval of development projects within the Project area.

5.1.1 - Applicability

All development proposals within the Project area shall be subject to the implementation procedures established herein. Whenever the provisions and development standards contained herein conflict with those contained in the City Code, the provisions of this Specific Plan shall take precedence.

5.1.2 - Interpretation

Unless otherwise provided, any ambiguity concerning the content or application of the San Gorgonio Village Specific Plan shall be resolved by the City of Beaumont Planning Director in a manner consistent with the goals, policies, purpose and intent established herein.

5.1.3 - Implementation of Design Guidelines

Adoption of this Specific Plan by the City includes adoption of the design guidelines contained in the City Code which shall be the sole design criteria by which development projects within the Project area will be reviewed during the Development Review process.

5.2 - DEVELOPMENT REVIEW PROCESS

5.2.1 - Development Review

Development Review is required for the adoption of the Specific Plan and concurrent Master Plot Plan for the Project. Submittal of a Development Review Permit application shall be of a form and content consistent with the City of Beaumont requirements. The City Council shall review and concurrently approve the Specific Plan and Master Plot Plan.

After City approval of a Master Plot Plan, changes to the size, location, and design of any uses or structures may be approved by the Planning Director. Upon determination by the Planning Director that the proposed revision is in substantial conformance with the provisions of this Specific Plan, the revised plan shall be approved by the Planning Director or the Director's designee.

APPENDIX A: LEGAL DESCRIPTION

**San Gorgonio Village
Legal Description**

Parcel 1, 2, and 3 of Parcel Map No. 35266, County of Riverside, State of California.

APPENDIX B: SIGN PROGRAM



Sign Program

Presented by



PROJECT DIRECTORY

OWNER: LCG BEAUMONT, LLC
1850 SIDEWINDER DRIVE
SECOND FLOOR
PARK CITY, UT 84060

ARCHITECT:

NADEL RETAIL
3080 BRISTOL STREET STE. 500
COSTA MESA, CA. 92626

SIGN CONSULTANT:

ONTARIO NEON COMPANY, INC.
303 WEST MAIN STREET
P.O. BOX 9297
JIM BARNETT
ONTARIO, CA. 91762
TEL: (909) 230-5581
FAX: (909) 988-6376

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San Gorgonio Village SIGN PROGRAM

The intent of this Sign Criteria is to provide the guidelines necessary to achieve a visually coordinated, balanced and appealing signage environment at the above mentioned project. Adherence to this Sign Criteria shall be rigorously enforced and any nonconforming signs shall be removed by the tenant at their expense, upon demand by the landlord or the City of Beaumont. Exceptions to these standards shall be reviewed by the landlord, and the City of Beaumont to determine their validity. The City of Beaumont Development Code governs all signage not addressed in this sign program.

A. GENERAL REQUIREMENTS

1. Prior to applying for a sign permit the tenant shall submit to the landlord for approval, four copies of scaled drawings indicating the size, location, design and color of the proposed sign, with manufacturing and installation details and the width of the leased store front.
2. Prior to manufacturing, the tenant shall submit to the City of Beaumont Planning Department at least three copies of the sign drawing approved by the Landlord and obtain a valid sign permit from the Building Department.
3. The tenant shall pay for all of their signs, installation, (including final connection), permit labor and permit fees.
4. The tenant shall be responsible for fulfillment of all the requirements of this sign criteria.
5. Sign contractor will repair any damage caused by his work, and tenant shall be fully responsible for the operations of his sign contractor(s).
6. The Landlord shall furnish an electrical circuit for each sign. The Landlord shall have control over the hours of illumination of all building signs.
7. Upon termination of the lease, the tenant shall be responsible for removing their sign, patching any holes in the fascia, and painting them to match the surrounding wall color in a manner acceptable to the Landlord. If the tenant has space on a pylon or monument sign, the tenant will replace their sign panel(s) with a blank panel(s) to match the color and texture.
8. Promotional or special event signs, banners and flags shall be in conformance with the City of Beaumont Sign Ordinance and and must be approved by the Landlord prior to submission to the City.
9. No other types of signs except those specifically mentioned within this criteria will be allowed without prior approval from the Landlord and the City.
10. It is understood that there may be the need for additional signs for information and directional purposes. These signs will be reviewed by the Landlord and the City Planning Department for consistency of design with the Shopping Center prior to installation.
11. Any sign on which stains or rust appear, or which becomes damaged in any way, or which in any manner whatsoever is not maintained properly, shall be promptly repaired by tenant. Landlord may remove and store, at tenants expense, any signs not maintained properly or not in accordance with this sign program.

SIGN DESIGN GUIDELINES FOR ALL SIGNS

1. Signs shall be designed in a manner compatible with the shape and layout of the architectural features of the building. Signs shall be consistent with the scale and proportions of the building elements within the facade.
2. Incorporating logos and/or images to enhance the signage identity is encouraged. Designs and colors to be approved by the landlord and the City of Beaumont.
3. Wall signs shall not have any visible attachments unless the attachments make an intentional statement or are architectural elements.
4. All exterior (exposed) sign surfaces shall be primed and painted or pre-coated.
5. Wall signs shall consist of individual, interior-illuminated, plastic faced metal channel letters. Reverse channel letters are allowed with indirect and direct lighting. Can signs as logos may be allowed on a case by case basis by the Landlord and City of Beaumont, providing it is a registered trademark or symbol commonly used by the applicant.
6. Wall sign placement must be centered both vertically and horizontally within the sign fascia area. Wall signs are not to exceed 70 percent of fascia/building width or (1) square foot of sign area for each lineal footage of the building. Anchor tenants are allowed up to 72" letter height. Major tenants are allowed up to 54" letter height. Shop and pad tenants are allowed up to 30" letter height.
7. Sign square footage shall be calculated by drawing up to four straight lines around copy and logo.
8. Freestanding signs shall be placed a minimum of 100' apart. They shall be placed in a planter or landscaped area with a minimum of 125 square feet. Pylon and monument signs shall be a minimum of five (5) feet from any right-of-way, sidewalk or drive way.

OTHER SIGNAGE:

FREE STANDING SIGNS:

A total of three (3) freeway pylon signs (one for parcels C and D and two for reference only) and four (4) monument signs for parcel C, and four (4) monument signs for Parcel D will be allowed for this property (refer to Site Plan for locations). These double-faced freestanding signs herein described will be located in planters or landscaped areas with a minimum 125 square feet. See elevation drawings for dimensions.

DIRECTIONAL SIGNS:

Directional signs are allowed with a maximum of ten (10) square feet of area and four (4) feet of overall height. Such directional signs shall only contain information necessary for on-site circulation, parking, and information. No advertising is allowed. Tenant identity will be allowed. All directional signs must be approved by the Landlord prior to submission to the City of Beaumont.

MENU BOARD SIGNS:

Menu boards located on the interior driveways of drive-through facilities shall not exceed forty two (42) square feet in area and six (6) feet in overall height. Speakers shall face away from residential property. No more than three (3) menu boards per drive-through shall be permitted.

AWNINGS SIGNS:

No sign affixed to or incorporated into an awning shall exceed ten (10) percent of the awning elevation.

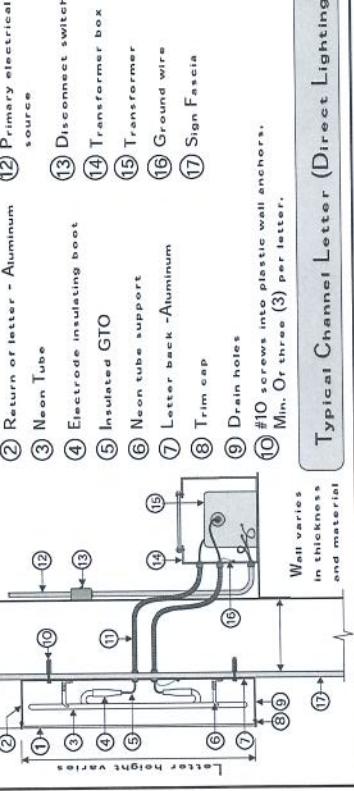
PROHIBITED SIGNS

Signs painted directly on the wall.

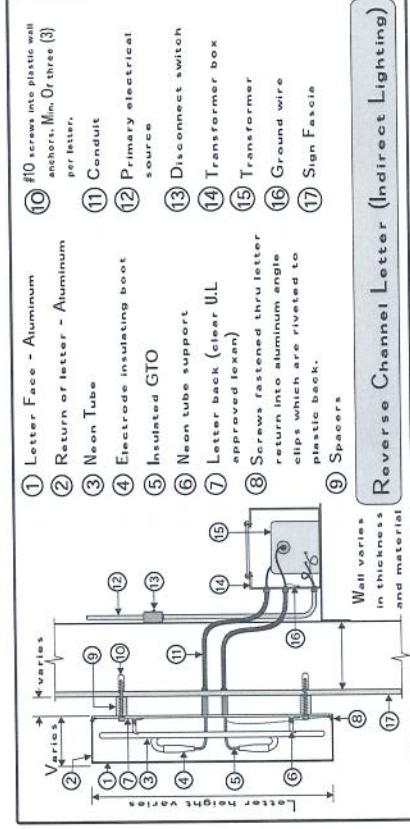
Window painted signs.
Roof or ground inflated balloons / figures.
A-frame signs.

Advertising flag poles.
Signs affixed to trucks, trailers or other vehicles that advertise or promote the activity of the business.
Signs deemed to be immoral, obscene, or unlawful.

CONSTRUCTION REQUIREMENTS FOR ALL SIGNS



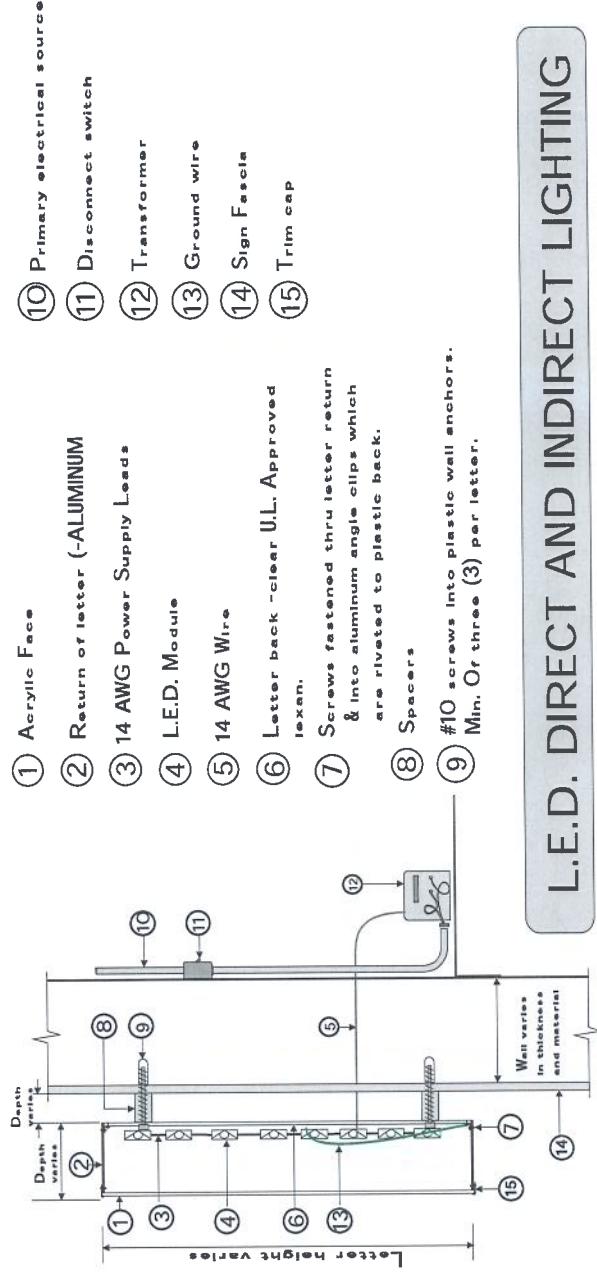
Typical Channel Letter (Direct Lighting)



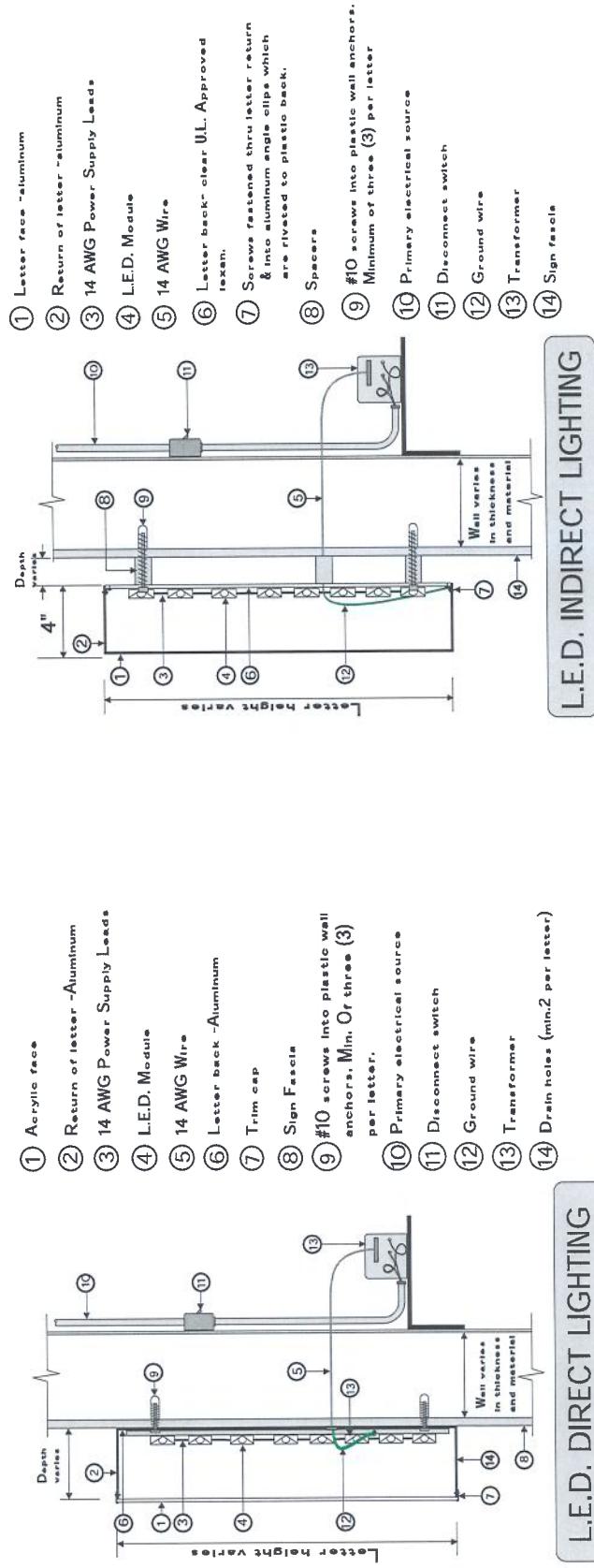
Reverse Channel Letter (Indirect Lighting)

- Sign contractors must be U.L. approved, fully licensed with the city and state, with full Workman's Compensation and General liability insurance.
- Signs must be constructed of durable, rust-inhibited materials that complement the design intent of the tenants identity and are complementary to the architecture.
- No exposed conduit, transformers, or wiring will be permitted on the fascia. Exposed raceways are not allowed unless they are incorporated into the overall design of the sign. All penetrations of the building required for sign installation shall be neatly sealed in a watertight condition. Color and finish to match existing wall.
- No sign manufacturer labels shall be permitted on the surfaces of the letters that are visible from the ground.
- All signs shall bear the Underwriters Laboratories label, and shall comply with local building and electrical codes.
- It is the responsibility of the tenant's sign company to obtain a sign permit from the City of Beaumont and verify the location of each sign and the type of wiring method required.
- All sign fabrication and lighting must match the specifications of the approved working drawings. Internal illumination to be 30 millamp neon or L.E.D. modules, Sioam or Gelcore are the approved L.E.D. systems to be used.
- L.E.D. or Neon accent lighting may be approved on a case by case basis by Landlord and City of Beaumont.

* SEE PAGE #6 FOR L.E.D. DETAILS



L.E.D. DIRECT AND INDIRECT LIGHTING



L.E.D. DIRECT LIGHTING

San Gorgonio Village sign program

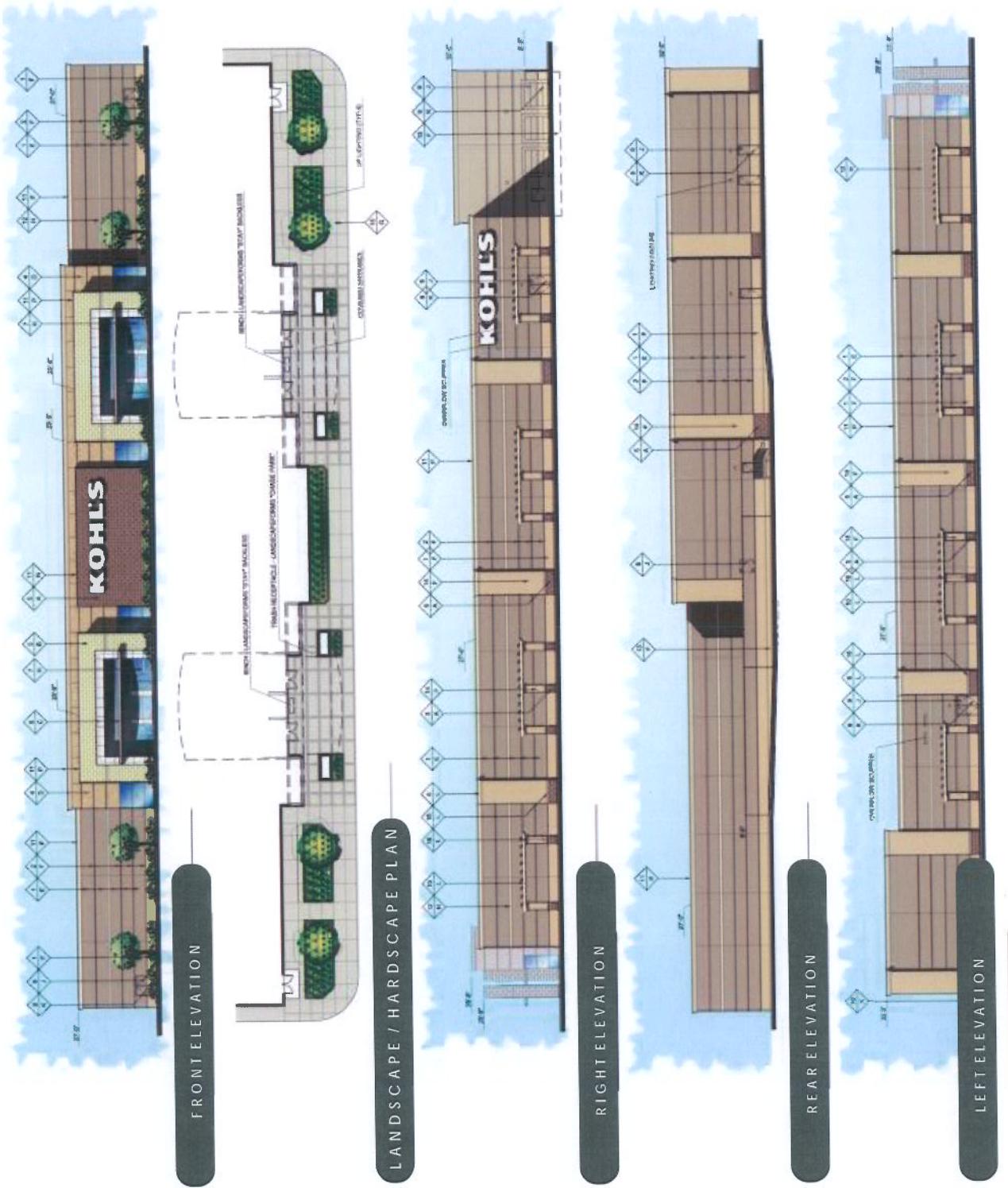


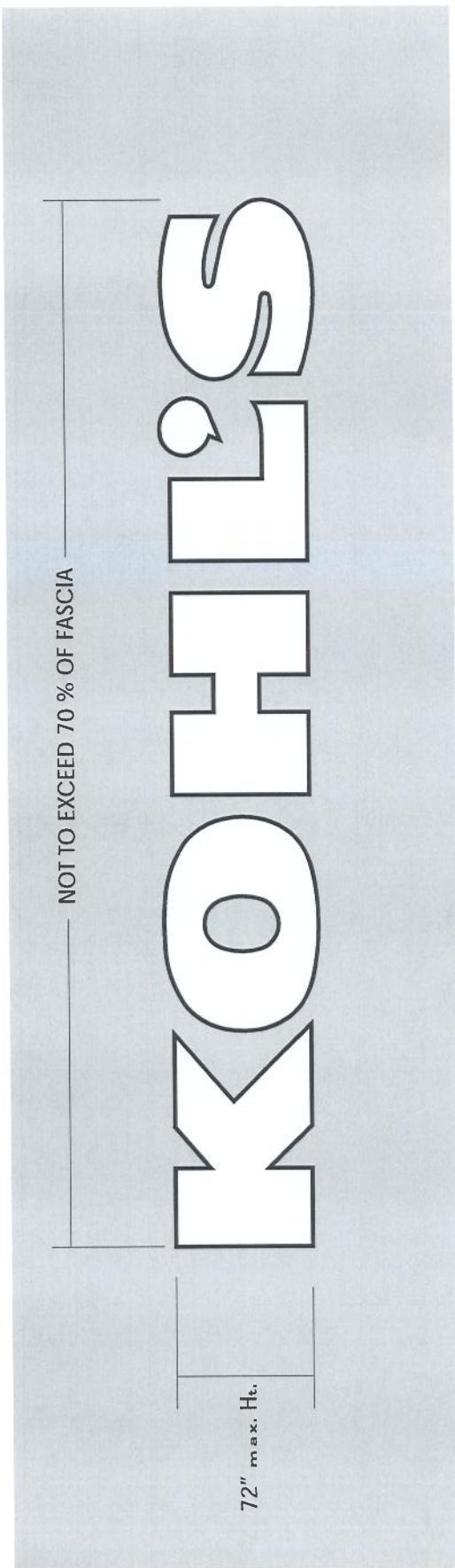
DOUBLE FACED INTERNALLY ILLUMINATED DIRECTIONAL SIGN CABINET. .090 ALUMINUM FACES ROUTED OUT AND BACKED WITH ACRYLIC PER TENANT DESIGN AND COLORS. FACES PAINTED TO MATCH BUILDING COLORS W/SUEDE FINISH. (KOHL'S BACKGROUND PAINTED TO MATCH BURGUNDY PMS 188C WITH WHITE COPY.)

SUPPORTS PAINTED TO MATCH BUILDING COLOR

TO BE INSTALLED AS NEEDED WITH THE APPROVAL OF THE OWNER AND THE CITY OF BEAUMONT

ILLUMINATED DIRECTIONAL SIGN





PRIMARY WALL SIGN ON FRONT ELEVATION

ANCHOR TENANT

ANCHOR TENANT - 10,000 SQUARE FEET OF LEASED SPACE OR MORE.

WALL SIGNS

Sign Copy:

Letter size shall be proportional to the background and overall sign size.

72" Maximum letter height.

Sign Area = 1 square foot of signage per lineal foot of lease frontage per building elevation.

Primary Wall Sign:

Anchor tenants are allowed one primary wall sign per building elevation, not to exceed 70% of the portion of the facade or building element where it is placed.

Secondary Wall Sign:

Major tenants are allowed secondary signage, not to exceed 70% of the portion of the facade or building element where it is placed.

NOT TO EXCEED 70 % OF FASCIA

MAJOR TENANT

54" max. Ht.

PRIMARY WALL SIGN ON FRONT ELEVATION

MAJOR TENANT

MAJOR TENANT - 5,000 SQUARE FEET OF LEASED SPACE TO A MAXIMUM OF 9,999 SQUARE FEET.

WALL SIGNS

Sign Copy:
Letter size shall be proportional to the background and overall sign size,
54" Maximum letter height.

Sign Area = 1 square foot of signage per linear foot of lease frontage per building elevation.

Primary Wall Sign: Major tenants are allowed one primary wall sign per building elevation, not to exceed 70% of the portion of the facade or building element where it is placed.

Secondary Wall Sign:
Major tenants are allowed secondary signage, not to exceed 70% of the portion

SHOP TENANT / PAD TENANT

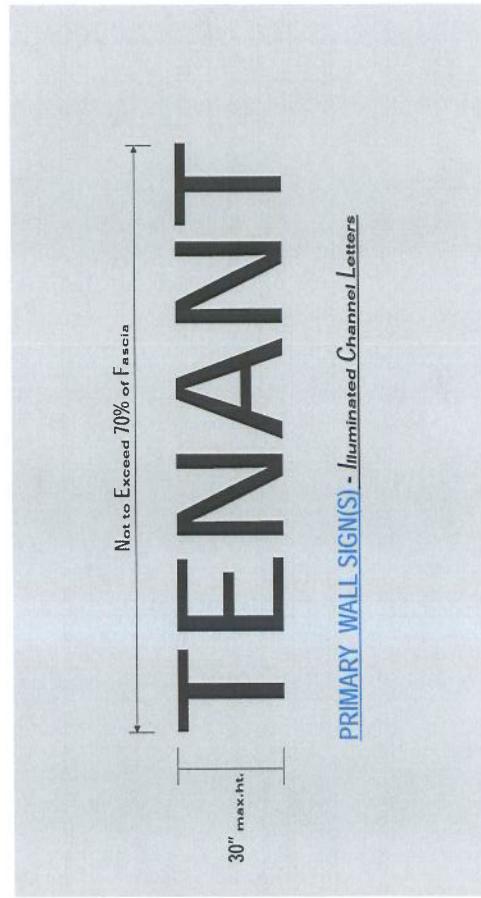
WALL SIGNS

Tenants are allowed one primary wall sign per frontage, not to exceed 70% of the portion of the facade or building element where it is placed. Maximum of three (3) wall signs total per end tenant and four (4) for pad tenants.

Sign Copy:

Letter size shall be proportional to the background and overall sign size, 30" Maximum letter height.

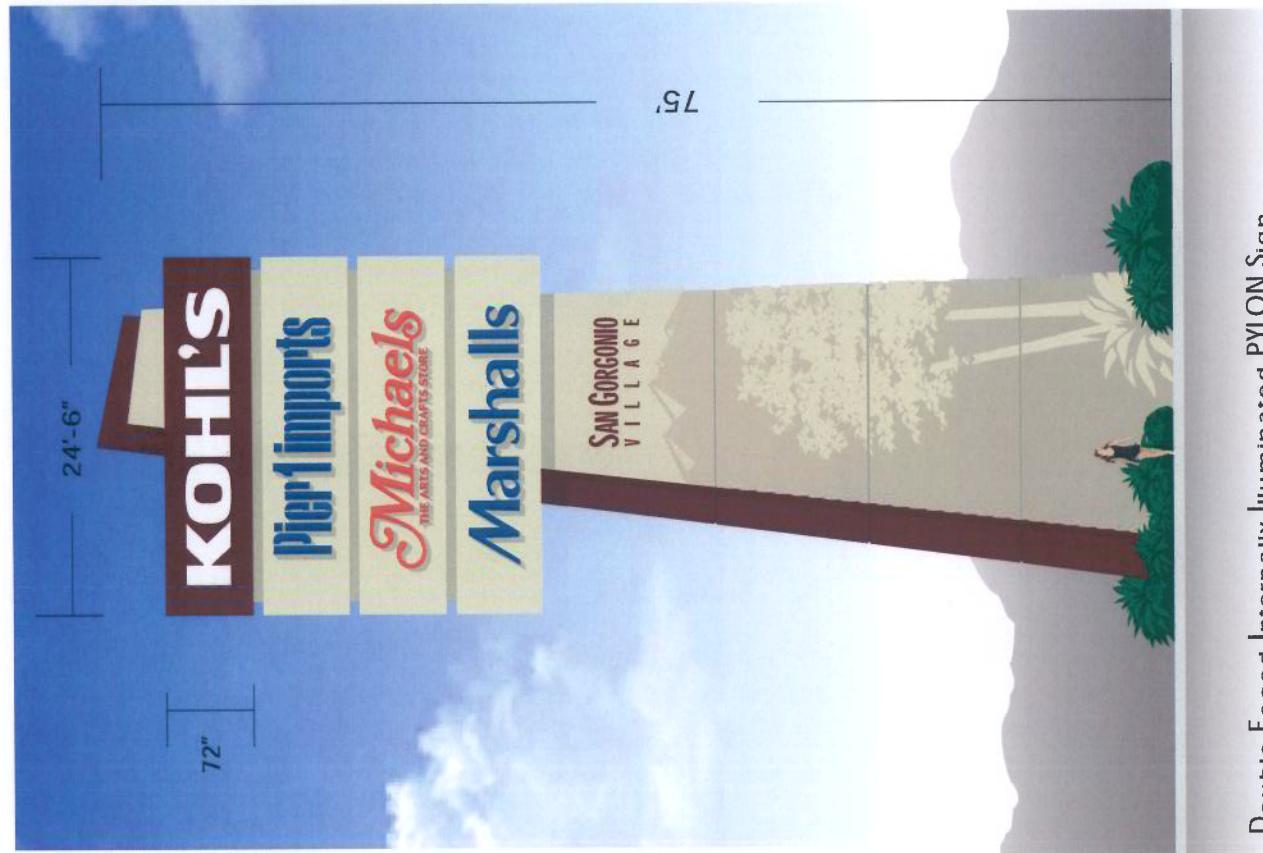
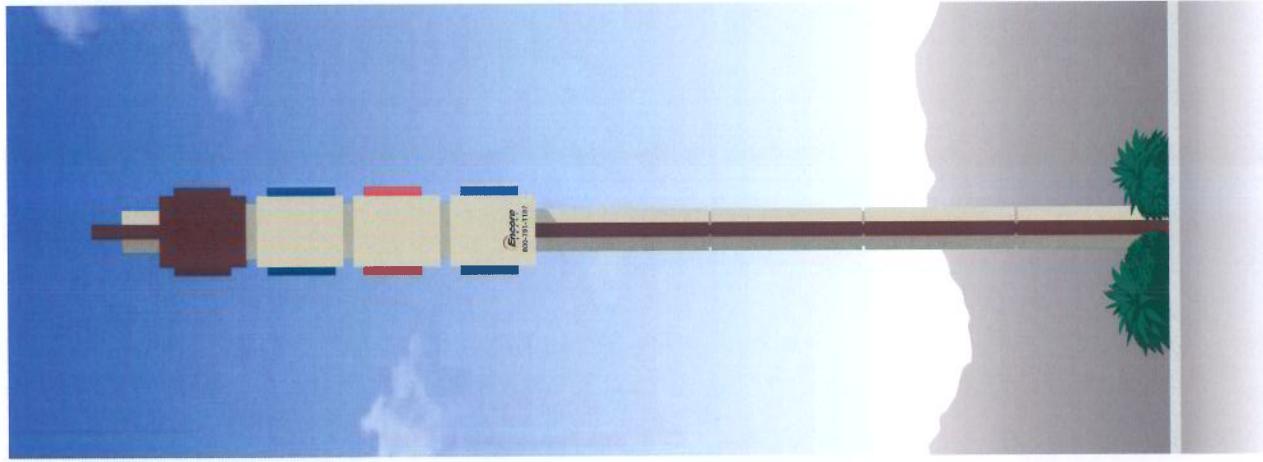
Sign Area = 1 square foot of signage per lineal foot of lease frontage per building elevation.



FOUR (4) DOUBLE FACED TENANT CABINETS.
.125 ALUMINUM FACES WITH CHANNEL LETTERS. COPY
AND LOGO'S PER TENANT DESIGNS AND COLORS.

KOHL'S FACES: PAINTED TO MATCH BURGUNDY
PMS 188C SUEDE FINISH WITH WHITE COPY.
REMAINING FACES PAINTED TO MATCH LIGHT BUILDING
COLOR SUEDE FINISH.

POLE COVER: PAINTED TO MATCH BUILDING COLORS.



Double Faced Internally Illuminated PYLON Sign
Tenant copy is subject to change

Tenant copy is subject to change

Double Faced Internally illuminated MONUMENT Sign

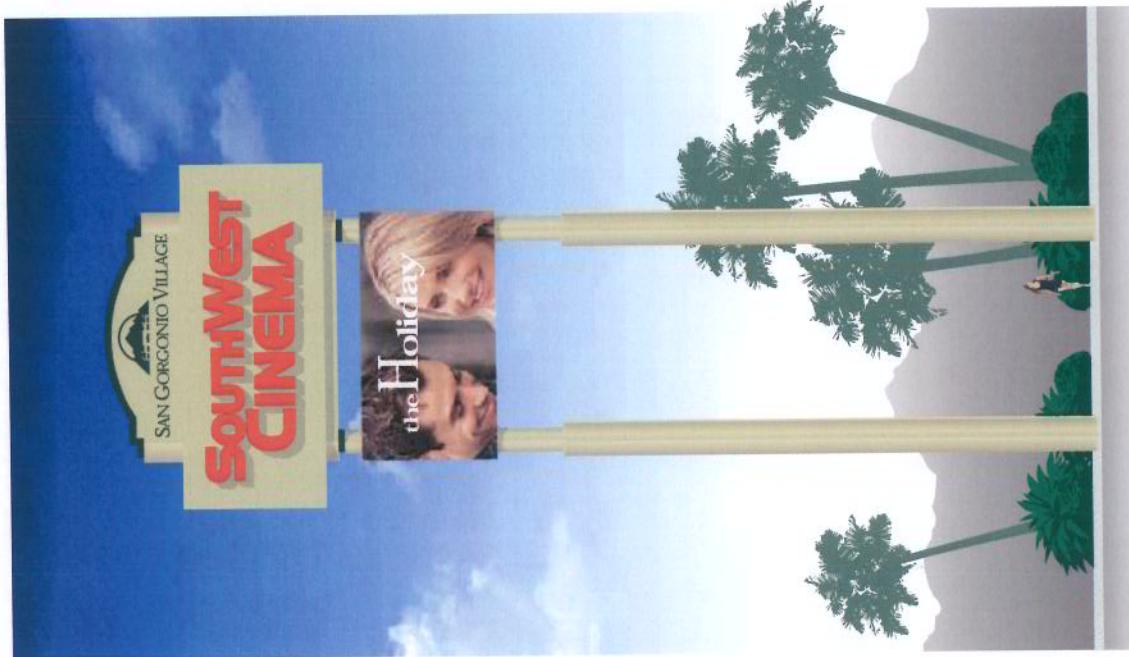
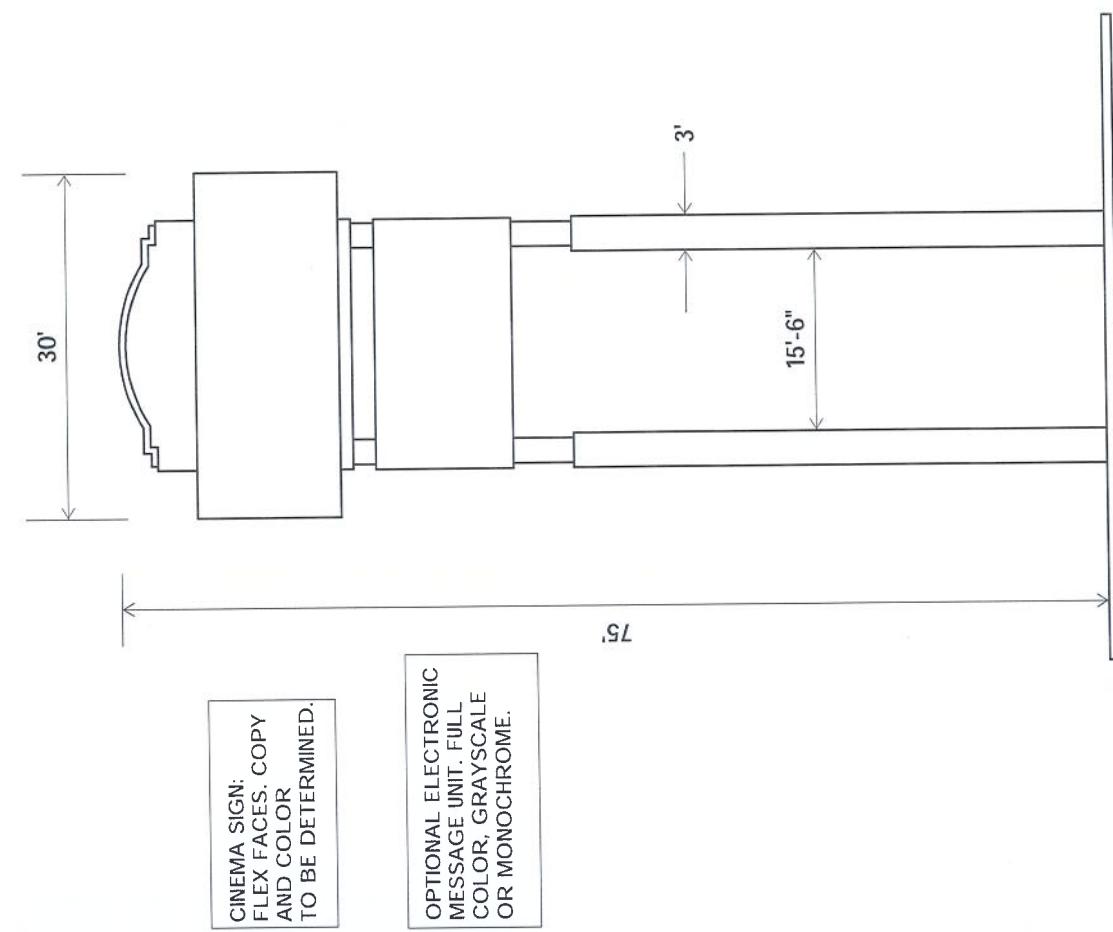


CABINET: ALUMINUM CONSTRUCTION.
 FACES: .125 ALUMINUM ROUTED OUT
 AND BACKED WITH ACRYLIC PER
 TENANT COPY / LOGO DESIGNS
 AND COLORS.
 FACES PAINTED SUEDE FINISH.
 KOHL'S: FACES PAINTED TO
 MATCH BURGUNDY PMS 188 C
 WITH WHITE COPY

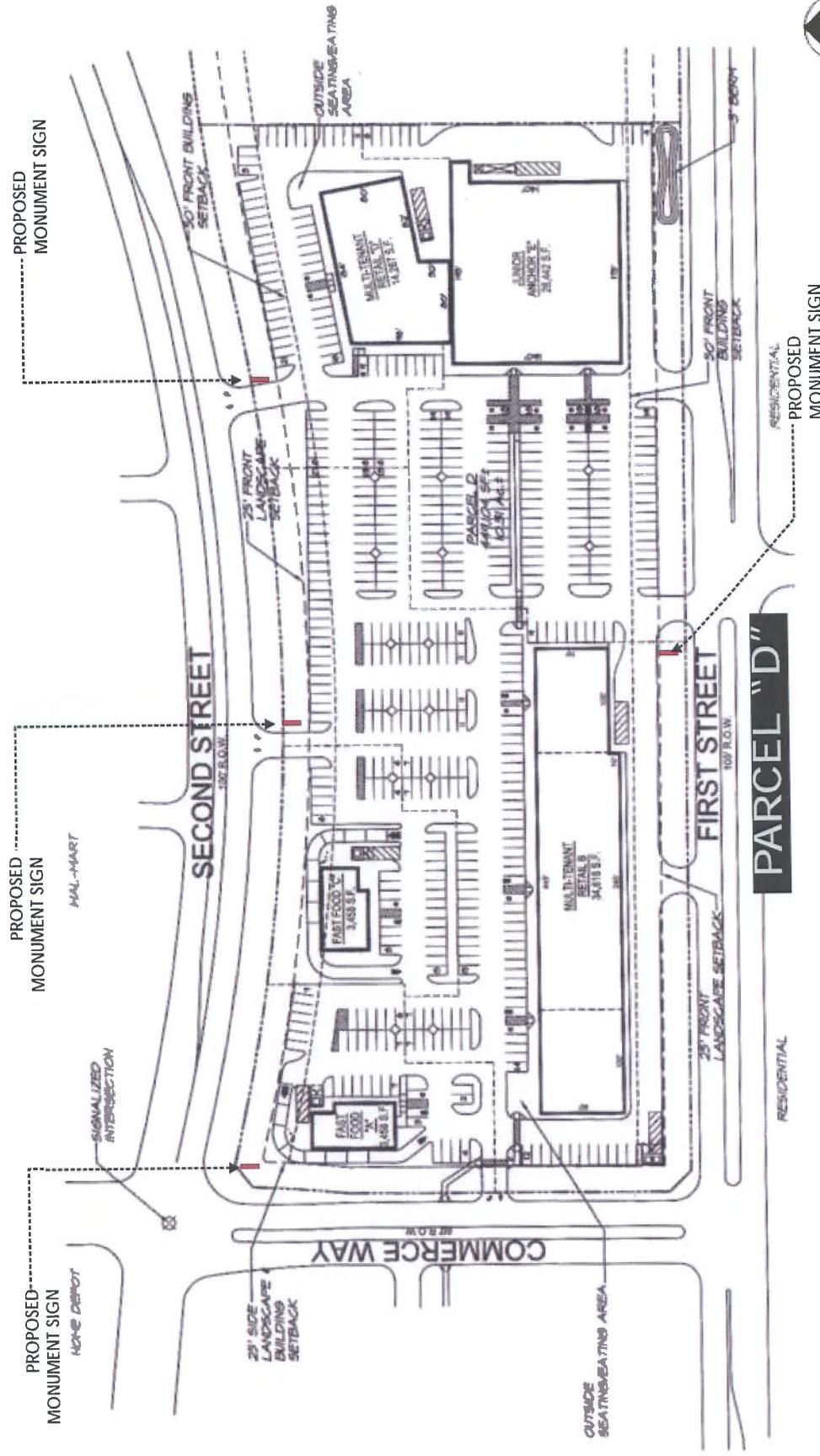
Double Faced Internally illuminated MONUMENT Sign



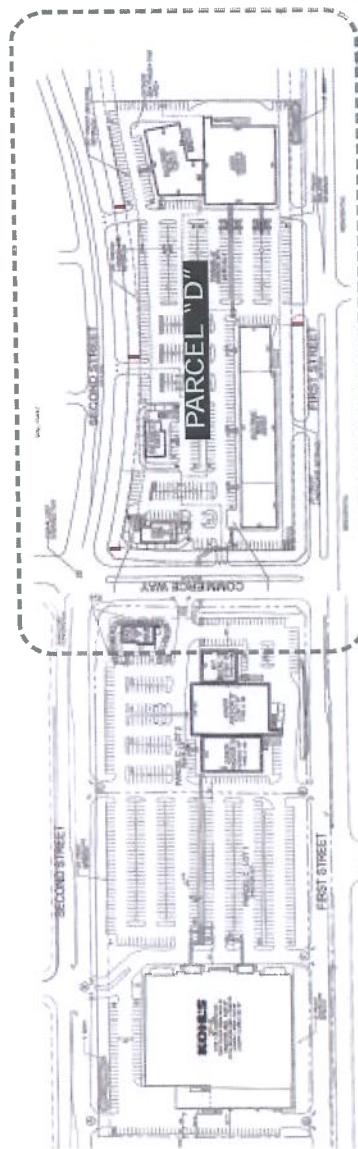
CABINET: ALUMINUM CONSTRUCTION.
 FACES: .125 ALUMINUM ROUTED OUT
 AND BACKED WITH ACRYLIC PER
 TENANT COPY / LOGO DESIGNS
 AND COLORS.
 FACES PAINTED SUEDE FINISH.
 KOHL'S: FACES PAINTED TO
 MATCH BURGUNDY PMS 188 C
 WITH WHITE COPY



DOUBLE FACED INTERNALLY ILLUMINATED PYLON SIGN
Tenant copy is subject to change. (FOR REFERENCE ONLY)



SITE PLAN
NOT TO SCALE



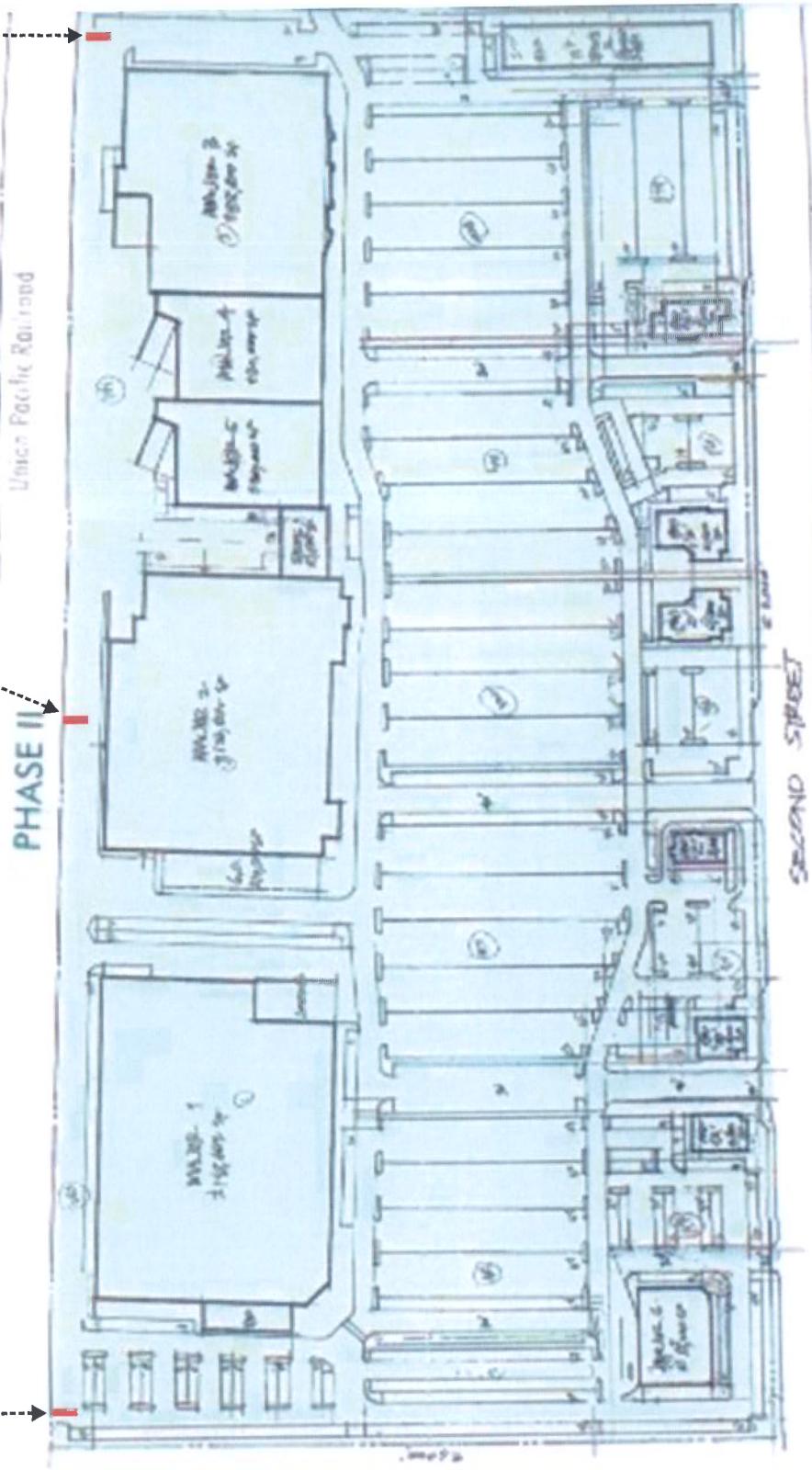
San Gorgonio Village sign program

**PROPOSED
THEATRE PYLON
(FOR REFERENCE ONLY)**

FOR LEASE

**PROPOSED
FREEWAY PYLON SIGN
(FOR REFERENCE ONLY)**

**PROPOSED
PYLON FOR PARCELS "C" & "D"**



SITE PLAN - FREEWAY PARCEL



NOT TO SCALE