

SPECIFIC PLAN NO. 93-3



ADOPTED BY THE CITY OF BEAUMONT

ON AUGUST 23, 1993

BY RESOLUTION NO. 1993-44

RECEIVED
SEP 01 1993

RESOLUTION NO. 1993-44

CITY OF BEAUMONT
PLANNING DEPT.

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BEAUMONT,
CALIFORNIA, CERTIFYING ENVIRONMENTAL IMPACT REPORT NO. 93-3 AND
APPROVING SPECIFIC PLAN NO. 93-3 (SENECA SPRINGS)**

WHEREAS, an application was duly filed by the Loma Linda University Development Corporation for a Specific Plan for 295 acres, located at the southwest corner of Highland Springs Avenue and First Street; and

WHEREAS, a public hearing was held before the City of Beaumont Planning Commission on August 17, 1993; and after a thorough evaluation the Planning Commission has found that Environmental Impact Report No. 93-3 has been prepared in accordance with the California Environmental Quality Act; and on August 17, 1993 the Planning Commission recommended that the City Council certify Environmental Impact Report No. 93-3 and approve Specific Plan No. 93-3, known as the Seneca Springs Specific Plan; and

WHEREAS, a Public Hearing before the Beaumont City Council was called for Monday, August 23, 1993 at 6:00 p.m. and notice of such hearing was given to all affected property owners, as shown on the last equalized assessment roll, in the manner and for the time required by law; and

WHEREAS, said Public Hearing was duly held at said time and Environmental Impact Report 93-3 and Specific Plan 93-3 were reviewed by the Beaumont City Council.

NOW, THEREFORE, IT IS HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF BEAUMONT, CALIFORNIA, AS FOLLOWS:

Section 1: The Final Environmental Impact Report, EIR-93-3, is hereby certified and is found to comply with the requirements of the California Environmental Quality Act and the City of Beaumont Guidelines for its implementation.

Section 2: The Findings of fact and mitigation monitoring program contained in Exhibits "A" and "B", respectively, attached hereto are hereby adopted. Certain significant unmitigable impacts will result from the project implementation, however, overriding considerations are applicable and are adopted herewith, as contained in Exhibit "A".

Section 3: Specific Plan 93-3 is consistent with the Land Use Element of the City of Beaumont General Plan and other applicable General Plan policies and elements.

Section 4: The City Council hereby approves the Seneca Springs Specific Plan, No. 93-3, subject to the Conditions of Approval contained in Exhibit "C" attached hereto.

MOVED, PASSED AND ADOPTED this 23rd day of August, 1993, upon the following vote:

AYES: Council Member Brey, McLaughlin, Parrott, Russo and Mayor Leja.

NOES: None.

None.

ABSTAIN: None.

ABSENT:

Jan Leja
Mayor of the City of Beaumont

Julia White
City Clerk (Deputy)

CERTIFICATION

I hereby certify the foregoing to be a true copy of Resolution 1993-44, duly adopted by the said City Council on the date herein set forth.

Julia White (Deputy)
City Clerk, City of Beaumont



SENECA SPRINGS SPECIFIC PLAN

CONDITIONS OF APPROVAL

The term "developer" is used below to refer to both the existing developer known as Loma Linda University Development Corporation, and any future developers of all or subdivided portions of the project site.

General

1. Project development shall adhere to the Specific Plan, except where superceded by these conditions of approval and/or mitigation measures specified in the EIR. In addition, the project shall adhere to all applicable City of Beaumont ordinances, as well as all applicable Riverside County, State and Federal regulations.
2. Additional environmental analysis and documentation shall be conducted for each tract, plot plan, Specific Plan amendment or any other development permits required to implement the Specific Plan. At a minimum, the environmental analysis and documentation shall utilize the evaluation of impacts addressed in the Specific Plan EIR. Environmental impacts associated with development plans for each planning area shall be assessed and may require additional mitigation to the proposed project.
3. In the event that, during or following grading of the project site, economic or other conditions prevent the developer from continuing with the project within a reasonable amount of time, the developer is obligated to contact the City Planning Department. The City shall identify necessary activities that the developer must implement to protect public safety and minimize/prevent environmental degradation, particularly due to wind and water erosion. The developer shall pay for any necessary activities.
4. In the event the project is abandoned or construction activities are halted for an extended period of time without notification of the City Planning Department by the developer, the City shall have the authority to secure the site and require and/or initiate any activities necessary to protect public safety and minimize/prevent environmental degradation. The developer shall be financially responsible for any necessary activities.
5. Prior to approval of grading permits, the developer shall provide the City with a grading bond or letter of credit. This bond will be utilized only in the event the project is abandoned or the developer stops work for an extended period of time without conferring with the City Planning Department. The bond will be used by the City to initiate activities necessary to protect public safety and minimize/prevent environmental degradation. A similar bond will be required of all future subdivision developers. Following project construction and landscaping, the bond will be returned.
6. Prior to the recordation of a final subdivision map, the developer shall be responsible for the establishment of or participation in a landscaping and lighting district or community services district to assure the maintenance of all parkways, medians, street lights and public parks within the project.

Specific Plan of Land Use Conditions

General

7. The project developer shall submit architectural and landscaping plans to the City of Beaumont to be processed prior to approval of each tentative tract map. These plans must include development plans for each project component, providing elevations, perspectives, and site plans with building footprints (to scale). The plans shall demonstrate their compliance with the Specific Plan for the density, lot size, living area, setbacks, height and other design criteria. The development must provide a functional and aesthetically pleasing design which satisfies basic community standards for development. Once approved, these plans shall be incorporated into the Specific Plan and shall be attached to all subdivision maps within the project boundaries. The City recommends incorporation of the following design elements into the plans, if not already part of the Specific Plan design guidelines:

- Buildings should be appropriate in mass and scale to the site on which they are placed.
- Building mass is probably the most prominent design feature of a project. The design of the townhouse development should avoid long, unbroken building faces and make offsets an integral part of the design.
- Interesting building massing can be achieved without superficial design elements through use of the following features:
 - a. Two story structures can be combined with one-story structures or elements.
 - b. Structures can employ projected balconies, recessed porches, entries and enclosures.
- The pitch and form of roofs are a very visible community feature. A range of roof forms and roof pitch can add an appealing visual impact to the community/street-scape. There is no one design desired, however flat roofs are strongly discouraged.
- All mechanical equipment shall be screened from view of surrounding roadways either with a wall similar in design to the project architecture or a planting space adequate in size for proper screening.
- All parking structures, either freestanding or attached garages, shall incorporate the same design elements as the dwelling units.
- The roofing materials used for all residential communities shall be of a fire retardant material. Wooden roofs are not allowable.

Commercial/Office

- Architecture should respond to the public street and shall contain significant elements relating to the human scale.
- Use of attractive roof forms is highly encouraged.
- Buildings with facades parallel to the street are highly encouraged. Long inarticulated facades and roof forms shall be avoided.
- Use of attractive, durable, high quality, weather resistant materials shall be required for all visible and/or weather exposed surfaces on the building exterior.
- Integrally colored inorganic materials, such as brick, concrete, stone, copper, core ten steel and anodized aluminum are encouraged.
- Use of reflective glass should be prohibited except where used on a minimal basis as an accent.,
- All parking required for employees, clients, customers or any others related to an enterprise shall be provided on site.

- Loading docks, staging areas and transformers shall be screened from public streets.
- Trash enclosures, rubbish bins, transformers, processing equipment and any other unsightly apparatus shall be situated away from the street and should be architecturally screened.

8. Final development densities for each Planning Area shall be determined through the appropriate development application up to the maximum density identified based upon but not limited to, the following:
 - Adequate availability of services
 - Adequate access and circulation
 - Sensitivity to landforms
9. A Specific Plan Amendment and Change of Zone applications shall be filed for any use proposed on the project site which is not permitted or conditionally permitted in the Specific Plan and its associated Zoning Ordinance. Any such Specific Plan Amendment and Zone Change shall meet the requirements of the California Environmental Quality Act.
10. Areas designated as open space easements that will be conveyed within parcel boundaries to individual property purchasers shall be deed restricted so as to create open space easements and prohibit grading, construction or other development activity in such open space.
11. The developer shall insure that all hazardous materials be properly disposed of.
12. Construction areas shall be fenced off to the greatest extent feasible to prevent the creation of an attractive nuisance.
13. Common areas identified in the Specific Plan and subsequent tract maps shall be owned and maintained as follows:
 - a. A permanent Homeowners' organization shall be established for the townhome development, to assume ownership and maintenance responsibility for all common recreation, open space and landscaped areas. The organization may be public or private. Merger with an area-wide or regional organization shall satisfy this condition provided that such organization is legally and financially capable of assuming the responsibilities for ownership and maintenance. If the organization is a private association then neighborhood associations shall be established for each residential development, where required, and such associations may assume ownership and maintenance responsibility for neighborhood common areas.
 - b. A permanent Homeowners' organization shall be established for the "Seniors Only" portion of the project area, to assume ownership and maintenance responsibility for all common recreation, open space, roadways and associated facilities, and landscaped areas. The organization may be public or private. Merger with an area-wide or regional organization shall satisfy this condition provided that such organization is legally and financially capable of assuming the responsibilities for ownership and maintenance.

responsibilities for ownership and maintenance. If the organization is a private association then neighborhood associations shall be established for each residential development, where required, and such associations may assume ownership and maintenance responsibility for neighborhood common areas.

c. Unless otherwise provided for in these standards, common areas shall be conveyed to the maintenance organization as implementing development is approved or any subdivision is recorded.

d. The maintenance organization shall be established prior to or concurrent with the recordation of the tract map for that phase of development which applies, or issuance of any building permits for any approved development permit (use permit, plot plan, etc.).

14. It is anticipated that maintenance associations, if formed, will be established as follows:

The master property owners association shall be charged with the unqualified right to assess their own individual owners for reasonable maintenance and management costs which shall be established and continuously maintained. The property owners association shall be responsible for private roads, parking, open space areas, signage, landscaping, irrigation, common areas and other facilities as necessary.

15. To the extent permitted by law the developer shall defend, indemnify and hold the City of Beaumont and its agents, officers and employees harmless from any and all claims, actions or proceedings of every kind or nature that may arise from, be related to, or be occasioned by the City's approval of the Specific Plan and/or its implementation by the applicant.

16. Prior to issuance of a building permit for construction of any use contemplated by this approval, the applicant shall first obtain clearance from the City of Beaumont Planning Department verifying that all pertinent conditions of Specific Plan approval have been satisfied for the phase of development in question.

17. All commercial, recreational, and institutional uses within the project shall provide for 100 percent of their parking requirements, per the City's Parking Standards, as off-street, on-site parking.

18. All landscaping provided by the developer within the project site shall be designed so as to conserve water resources. At a minimum, the developer shall be required to provide front yard landscaping for all single family dwellings, landscape all common areas within multiple family or townhome development, and all common area landscaping within the commercial development area. All landscaping shall be irrigated with water conserving devices. Landscaping and irrigation plans for each phase of development shall be reviewed and approved by the City Planning Department and the City Engineer prior to the issuance of building permits. To the degree feasible, reclaimed water shall be used.

Infrastructure Development

19. Prior to the approval of a tentative subdivision map, the developer shall provide the City with a current "will serve" letter from the Beaumont Cherry Valley Water District, assuring the City of the District's ability to serve the project site with water facilities.
20. Prior to the approval of a final subdivision map, the developer shall provide documentation to the satisfaction of the City detailing the plans for development of water and sewer facilities, including elevated storage tank locations. This documentation shall include, but not be limited to, any permits, easements or deeds required by other agencies and land owners, showing that the developer has legal, binding agreements to site and construct said infrastructure. Of particular concern is the siting of an elevated storage tank on the east side of Highland Springs Road.
21. Concurrent with submittal of a tentative subdivision map, the developer shall provide a Master Drainage Plan to be approved by the City Engineer.
22. Concurrent with the submittal of a tentative subdivision map, the developer shall obtain approval from the City Engineer for a Master Grading Plan. All future grading plans shall be submitted to the City engineer for review and approval. The City engineer may mandate revisions to grading plans to comply with the Master Grading Plan.
23. Concurrent with the submittal of a tentative subdivision map, the developer shall obtain approval from the City Engineer and the Beaumont Cherry Valley Water District for Master Water and Sanitary Sewer Plans. All future water and sewer plans shall be submitted to the City Engineer and/or the Beaumont Cherry Valley Water District for review and approval.
24. The developer shall be responsible for the establishment and construction of all parks and mini-parks within the project site. Upon completion of construction of these facilities, the developer shall convey the public parks to the City of Beaumont or the Beaumont Cherry Valley Parks and Recreation District for ownership and maintenance.
25. The developer shall be responsible for the establishment and construction of all open space/drainage easements and utility easements on the site. Upon completion of these easements, the developer shall convey them to the City of Beaumont for ownership and maintenance.
26. In order to avoid the potential for a public hazard caused by the dead-end landscaped easement located along the southern boundary of the Specific Plan area, the developer shall design said easement to extend northerly near the eastern boundary to the local street which accesses Manzanita Park Road in the southerly quarter of the project, thereby creating a "loop" for the proposed easement area.
27. Prior to the approval of any Tentative Tract Map, the developer shall obtain approval from the City Engineer for all interior and exterior circulation systems, including, but not limited to, street cross sections, curb, gutter and sidewalk design.

28. Any private streets within the project development which comprise less than 56 feet of right-of-way shall allow for parking on only one side of such street. The developer and Homeowners' Association shall be responsible for enforcing and maintaining the parking standard, so as to avoid a threat to public safety. Enforcement methods shall include one or more of the following measures: Erecting "no Parking signs; "red-curb" one side of the street, and providing appropriate parking restrictions in the CC&R's.

Environmental Impact Report Conditions

General

29. The developer shall conform with and implement all mitigation measures included within the Draft Environmental Impact Report and Response to Comments (hereinafter referred to as the Final EIR), and the Mitigation Monitoring Program, hereby incorporated into these Conditions of Approval by this reference.

Land Use

30. Residential development areas shall be adequately buffered from differing uses, as outlined in the Specific Plan.
31. Any soil disturbed within designated open space areas, including cuts and fills associated with the drainage plan, shall be revegetated using a hydromulch mix that provides soil stabilization and near-term cover, while reintroducing native shrubs. Revegetation should also utilize the mature plant species which are presently found on areas of the site marked for grading and development.
32. Natural features shall be protected to the greatest extent feasible in the siting of individual lots and building pads.
33. Lighting plans shall be submitted to the City Engineer for review for all planning areas of the site. In addition, only low pressure sodium street lights shall be used for project streets and private driveways. Decorative lighting of structural or landscaping elements shall be carefully designed and other lighting shall be limited to that required for safety or security. Recreational lights, such as the tennis courts, shall be placed on timers and shall be designed such that illumination is confined to court areas.

Hydrology

34. Concurrent with the submittal of any tentative subdivision map, the project applicant shall submit a detailed hydrology analysis and drainage plan, which shall be reviewed and approved by all appropriate agencies. The Plan must include more detailed analysis of the site's hydrology, routing and flows. Agencies responsible for review of the drainage plans include, but are not limited to Riverside County Flood Control and Water Conservation District, the City Engineer and the Army Corps of Engineers, and the California Department of Fish and Game.
35. Any flood control facilities to be maintained by the Riverside County Flood Control and Water Conservation District shall be built to their specifications. The District will then agree to assume maintenance responsibilities for these facilities. The developer shall meet all requirements of Riverside County Flood Control and Water Conservation

District for any facilities it is to maintain.

36. The developer shall conform to all the requirements of the National Pollution Discharge Elimination System (NPDES) prior to the issuance of any grading permit.

Soils and Geotechnical Hazards

37. The developer shall implement all recommendations contained in the Geotechnical Investigation in any and all grading plans.

38. Any graded area left inactive for a period of 60 days shall be immediately re-vegetated, at the developer's expense, unless building permits are obtained. If building permits have been obtained, chemical soil stabilizers shall be utilized on the site until construction begins.

39. All building applications submitted for the project shall, at a minimum, conform with the most recent editions of the Uniform Building Code and the seismic design parameters of the Structural Engineer's Association of California.

40. As provided under the Uniform Building Code Chapter 70 (1988 Edition), the building official shall require inspection and testing of grading activities by an approved testing agency. Upon completion of the rough grading work, the testing agency monitor shall submit, at a minimum, an "as-graded grading plan" report, as described in Chapter 70, Section 7015 (a) of the Uniform Building Code (1988).

Biological Resources

41. Streambed Alteration Permit(s) or clearance therefrom, shall be obtained from the California Department of Fish and Game (CDFG) per Section 1600 of the CDFG Code. The U. S. Army Corps of Engineers shall be consulted to determine the need for dredge and fill permits as required under Section 404 of the Clean Water Act. The developer shall supply the City with copies of these permits, or clearance from the agencies, as appropriate, prior to the issuance of grading permits.

Cultural and Paleontological Resources

42. The developer shall, prior to the approval of any grading permit, provide the City with a report outlining the proper investigation, excavation, and ultimate disposal of Archaeological Site LL-1, as referred to in the Environmental Impact Report. All mitigation measures provided in the EIR shall be implemented in the collection of artifacts at the site.
43. At any time during grading of any phase of the project, in the event a buried cultural resource are found, all work shall cease until a qualified professional can evaluate the findings and make recommendations to the developer and the City as to how work shall proceed.
44. The developer shall ensure that a paleontological monitor is on-site during any grading activity in the San Timoteo Formation sediments, and any older alluvium found at the site. The intensity of monitoring shall be the responsibility of the paleontologist.

Traffic/Circulation

45. All traffic mitigation measures listed in the Final EIR shall be implemented. Details of the final roadway improvements will be refined by the developer, and presented to

the Planning Department and the City Engineer for approval.

46. Final design of access points to the project and within the internal circulation system will be subject to the review and approval of the City Planning Department, Beaumont Police Department and Riverside County Fire Department.
47. Prior to the approval of any Tentative Tract Map for each phase of development, the developer shall submit detailed roadway improvement plans for review and approval by the City Engineer. All costs involved in developing the roadway system shall be at the developer's expense.
48. Prior to the issuance of grading permits, a comprehensive Transportation Demand Management (TDM) program shall be developed for each phase of commercial development involving 100 or more employees. Said TDM program shall satisfy the requirements of the City and the South Coast Air Quality Management District.
49. The developer shall confer with the Transit District prior to the approval of each phase of development to ensure the adequate distribution and location of bus turnouts, and bus stops.
50. The developer shall confer with CalTrans regarding the location of a Park-and Ride lot near the project site. The developer shall pay his fair share of development fees incurred to establish the Park-and-Ride facility.

Noise

51. All construction equipment shall be fitted with well maintained functional mufflers to limit noise emissions. To the greatest extent feasible, earth moving and haul routes shall be located away from nearby existing residences.
52. Construction traffic routes shall be directed away from residential development wherever possible. Said routes shall be approved by the City Engineer prior to the issuance of grading permits.
53. The design, selection and placement of the mechanical equipment for the various buildings within the development shall include consideration of the potential noise impacts on nearby residences. Appropriate sound attenuating measures such as silencers and/or barriers shall be provided, where necessary, on outdoor equipment.

Air Quality

54. All construction/demolition control measures shall be adhered to by the developer, contractor and construction crew. These measures include, but are not limited to, those listed below.
 - Water site and equipment morning and evening.
 - Spread soil binders on unpaved areas, and parking areas.
 - Operate street-sweepers on paved roads adjacent to site.
 - Reestablish ground cover on construction site through seeding and watering.
 - Clean the access roads and public roadways of soil, if necessary.
 - Implement rapid cleaning up of debris from streets after major storm events.
 - Wash off trucks leaving site.
 - Trucks shall maintain two-feet of freeboard, (i.e. the distance between the top of the

load and the top of the truck's sides.

- Properly tune and maintain construction equipment.
- Use low sulfur fuel for construction equipment.
- Provide rideshare incentives for construction personnel.
- Configure construction parking to minimize traffic interference.
- Minimize obstruction of through-traffic lanes.
- Provide a flag person to ensure safety at construction sites.
- Schedule operations affecting roadways for off-peak traffic hours.

55. Developer/contractor equipment and construction water sources shall be maintained on-site. Construction activities shall be discontinued during first and second stage smog alerts.

56. The developer shall support the preservation of clean air through the installation of emission controls and/or filtration devices in all processes or activities associated with the project, which have the potential to degrade air quality. Where necessary, the developer shall secure permits from the South Coast Air Quality Management District to assure compliance with applicable state and federal emission regulations.

Water Resources

57. The developer shall utilize drought tolerant landscaping and efficient irrigation systems in all landscaping plans submitted for each phase of the project.

58. The developer shall work closely with the City Engineer and the Beaumont Cherry Valley Water District to ensure the development of water infrastructure to the project site, including the development of wells and the construction of elevated tank sites.

59. Prior to the approval of the master subdivision map, the developer shall demonstrate, to the satisfaction of the City Engineer and Planning Department, that sufficient water storage will be available to meet peak daily demand and fire flow storage requirements.

Public Services and Utilities

60. Efficient irrigation systems that minimize runoff and evaporation, and maximize effective watering of plant roots, shall be utilized to the greatest extent feasible. Drip irrigation and low moisture detectors are encouraged.

61. The use of low-flush toilets and water-conserving shower heads and faucets shall be required in conformance with Section 17921.3 of the Health and Safety Code; Title 20, California Administrative Code Section 1601 (b); and applicable sections of Title 24 of the State Code.

62. All water facility plans and sewage collection plans shall be subject to review by the City Engineer and the Beaumont Cherry Valley Water District.

63. Prior to the issuance of occupancy permits for any phase of development, the developer shall secure rights for sewer treatment capacity either through participation in CFD-93-1, or through payment of connection fees.

64. The project developer shall develop a comprehensive recycling program for the

development, with the assistance of the City Planning Department. This program shall include recycling provisions for both residences and commercial establishments, and shall follow the recommendations listed in the Final EIR, and meet the requirements of local and state law.

65. The developer shall, prior to the recordation of a subdivision map, comply with the requirements of the Southern California Gas Company, ensuring that natural gas facilities shall be sufficient to meet the needs of the project at buildout.
66. Riverside County Fire Department shall review all development plans to ensure that all fire prevention measures have been implemented.
67. The developer shall mitigate project impacts to public schools in accord with the "Cooperative Agreement between the City of Beaumont and Beaumont Unified School District" dated February 22, 1993, or at such level of mitigation as may be determined or established by the laws of the State of California.
68. Passive solar heating techniques will be employed whenever possible within the project. Passive solar systems do not utilize sophisticated hardware. Passive systems involve orientating buildings properly, planting trees to take advantage of the sun, seeing that roof overhangs are adequate, making sure that walls are properly insulated.
69. The developer shall adhere to the requirements of, and obtain clearances from, the following agencies:
 - Beaumont Cherry Valley Water District
 - Riverside County Flood Control and Water Conservation District
 - Riverside County Fire Department
 - City of Beaumont Police Department

OCT 13 1993

ORDINANCE NO. 729

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF BEAUMONT,
CALIFORNIA, RE-ZONING 295 ACRES OF LAND FROM PLANNED UNIT
DEVELOPMENT (PUD) TO SPECIFIC PLAN AREA (SPA), RE-ZONE NO. 93-RZ-6,
LOCATED AT THE SOUTHWEST CORNER OF HIGHLAND SPRINGS AVENUE AND
FIRST STREET.**

WHEREAS, an application was duly filed by the Loma Linda University Development Corporation for a change of Zone for 295 acres, located at the southwest corner of Highland Springs Avenue and First Street; and

WHEREAS, a public hearing was held before the City of Beaumont Planning Commission on August 17, 1993; and after a thorough evaluation the Planning Commission has found that Re-zone No. 93-RZ-6 is consistent with the City of Beaumont Municipal Code, and the Specific Plan and Environmental Impact Report approved for the Seneca Springs project; and on August 17, 1993 the Planning Commission recommended that the City Council approve Re-zone 93-RZ-6; and

WHEREAS, a Public Hearing before the Beaumont City Council was called for Monday, August 23, 1993 at 6:00 p.m. and notice of such hearing was given to all affected property owners, as shown on the last equalized assessment roll, in the manner and for the time required by law; and

WHEREAS, said Public Hearing was duly held at said time and the Re-zone 93-RZ-6 was reviewed by the Beaumont City Council.

**THE CITY COUNCIL OF THE CITY OF BEAUMONT DOES ORDAIN AS
FOLLOWS:**

Section 1: The Beaumont Zoning Map with respect to the subject property legally described in the approved Seneca Springs Specific Plan shall be amended to read:

SPA (Specific Plan Area)

The prevailing zoning standards shall become those standards as contained in the approved Zoning Ordinance of the Seneca Springs Specific Plan.

Section 2: This Ordinance shall take effect thirty (30) days after its final passage and within fifteen (15) days after its passage the City Clerk shall cause a summary to be published in the Record Gazette, a newspaper of general circulation, printed and published in the City of Beaumont, in the manner prescribed by law for publishing of Ordinances of said City.

MOVED, PASSED AND ADOPTED this 13th day of September,
1993.

Jan Leja
Mayor of the City of Beaumont

Attest.

Julia White
City Clerk (Deputy)

CERTIFICATION

I, Julia White, Deputy City Clerk of the City of Beaumont, DO HEREBY CERTIFY, that the foregoing Ordinance was introduced at a regular meeting of the City Council of said City held on August 23, 1993, and was duly adopted upon second reading on , 1993, upon the following roll call vote:

AYES: Council Member Brey, McLaughlin, Parrott, Russo and Mayor Leja.

NOES: None.

ABSTAIN: None.

ABSENT: None.



Julia W. White
Deputy City Clerk,
City of Beaumont

CITY OF BEAUMONT
550 East 6th Street
Beaumont, CA 92223

I.S. # _____

Proj. Ref.: _____

NOTICE OF DETERMINATION

TO: County Clerk
County of Riverside
3470 12th Street
P. O. Box 431, Riverside, Ca 92501

FROM: City of Beaumont

SUBJECT: Filing of Notice of Determination in Compliance with
Section 21108 or 21152 of the Public Resources Code

Project Title: Seneca Springs
Specific Plan SP-93-3,
Zone Change 93-R7-6. EIR/ND No.: EIR 93-3

State Clearinghouse Number (if submitted to State Clearinghouse)

92122068

Contact Person:

Nicole Criste

Telephone:

(619) 320-9040

PROJECT LOCATION: South of Interstate 10 bounded by 1st Street on the north, Highland Springs Avenue on the east and Manzanita Park Road on the west.

PROJECT DESCRIPTION: Adoption of a Specific Plan, certification of Environmental Impact Report 93-3 and approval of a Zone Change to develop a mix of residential and commercial uses to include 1,150 DUs, neighborhood commercial, a school site, a church site, parks, linear greenbelts and an internal circulation system.

Notice is hereby given that the City of Beaumont, Community Development Department has made the following determination on the above-described project:

1. The project was approved by the City Council on 8-23-93.
(City Council, Planning Comm., Sbdv. Comm., etc.) (date)
2. The project [x] will [] will not have a significant effect on the environment.

[x] An Environmental Impact Report was prepared for this project pursuant to the provisions of CEQA.
[] A Negative Declaration was prepared for this project pursuant to the provisions of CEQA.
3. Mitigation measures [x] were [] were not incorporated into the project through conditions of approval and project design.
4. For this project a Statement of Overriding considerations was [x] adopted [] not adopted.
5. For this project a De Minimis Impact Finding pursuant to Section 711.2 of the Fish and Game Code was [] made [x] not made.

COUNTY CLERK

A copy of the EIR and other environmental documents as mentioned above and the record of the project approval is on file and may be examined at the Community Development Department, City of Beaumont, 550 East 6th Street, Beaumont, CA 92223; telephone (909) 845-1171

AUG 31 1993

Date: August 27, 1993

WILLIAM E. CONERLY

COUNTY CLERK

County of Riverside, State of California

William E. Conerly

COUNTY CLERK

Signature: Douglas Kille SEP 6 - 1993
Title: City Clerk Printed _____
County of Riverside, State of California
Dept. _____

STATE OF CALIFORNIA-THE RESOURCES AGENCY
DEPARTMENT OF FISH AND GAME
ENVIRONMENTAL FILING FEE CASH RECEIPT

Receipt # 930194

Lead Agency: City of Beaumont Date: 8/31/93

County Agency of Filing: Riverside Document No.: 930194

Project Title: Seneca Springs SP-93-3 / CZ 93-RZ-6

Project Applicant Name: City of Beaumont Phone Number: (909) 845-1171

Project Applicant Address: 550 East 6th St., Beaumont, CA 92223

Project Applicant: Local Public Agency

CHECK APPLICABLE FEES:

<input checked="" type="checkbox"/> Environmental Impact Report\$850.00
<input type="checkbox"/> Negative Declaration\$0.00
<input type="checkbox"/> Application Fee Water Diversion (State Water Resources Control Board Only)\$0.00
<input type="checkbox"/> Projects Subject to Certified Regulatory Programs\$0.00
<input checked="" type="checkbox"/> County Administration Fee\$50.00
<input type="checkbox"/> Project that is exempt from fees (DeMinimis Exemption)	
<input type="checkbox"/> Project that is exempt from fees (Notice of Exemption)	

Total Received \$900.00

Signature and title of person receiving payment: Secretary David C.

Screencheck S.P. Submitted: 1st Screencheck - 1/92, 2nd Screencheck - 4/93
Draft S.P. Submitted: 5/93
Proposed Final S.P. Approved: 8/23/93
Final S.P. Certified Complete: 8/23/93

SENECA SPRINGS

Specific Plan No. 93-3

Developed by:
LOMA LINDA UNIVERSITY DEVELOPMENT CORPORATION
601 South Main Street
Corona, California 91720
Contact Person:
Derrill Yaeger

Prepared by:
T&B PLANNING CONSULTANTS, INC.
3242 Halladay, Suite 100
Santa Ana, California 92705
(714) 662-2774
Contact Persons:
Frank J.A. Greco

In Association with:
Madole & Associates - Civil Engineering
Richard Mills Associates, Inc. - Geotechnical
Land Concern, Landscape Architecture
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II. PROJECT DEVELOPMENT PLAN

A. PROJECT SUMMARY

1. PROJECT LOCATION AND LOCAL LAND USES

The Seneca Springs Specific Plan project site is comprised of approximately 295.17± acres in the City of Beaumont, as shown on the *Regional Map*, Figure 1 and *Vicinity Map*, Figure 2. The site is bounded by First Street to the north, Highland Springs Avenue to the east, Manzanita Park Road to the west and the approved Hovchild Specific Plan to the south. Existing land uses within close proximity to the project include single-family residences, a recreational vehicle park, Sunnyslope Cemetery, Childcare USA Camp facilities, industrial, commercial and vacant land.

a. Existing On-Site Land Uses and Zoning Designations

The project site involves relatively level terrain sloping gradually from the south to the north with elevations ranging from 2,540 feet in the northeast to 2,660 feet in the southwest. The site is currently vacant and has been used for dry farming in the past. Aside from planted Eucalyptus trees and several Black Locust and Willow trees, substantial shrub cover is absent from the property. Five fairly well-defined drainage courses traverse the site; the largest of which is Potrero Creek which runs in a northwest to the southeast direction. The stream channel ranges from 15 to 60 feet wide with slopes to near vertical banks.

The project involves approval of a proposed Specific Plan. The 295.1-acre subject property is zoned Planned Unit Development (P.U.D.), therefore, the proposed project will not necessitate a Change of Zone to Specific Plan (SP) Zoning. Please refer to the *Existing Zoning Map*, Figure 3.

b. Surrounding Land Uses

The site is predominantly surrounded by existing and proposed medium and low density residential uses. Other existing land uses adjacent to the site include the Childcare USA Camp facilities, Sunnyslope Cemetery, industrial, commercial and vacant land (see *Existing Land Uses*, Figure 4). Land immediately south of the project site is being developed as the approved Hovchild Specific Plan. Land use designations included in the Hovchild Specific Plan range from estate lot to high density residential and incorporate open space, park sites, a golf course and a village center. Additional master-planned communities in the vicinity include Sun Lakes Specific Plan, Potrero Creek Specific Plan, Potrero Estates Specific Plan and Noble Creek Specific Plan.

2. PROJECT DESCRIPTION

The proposed project combines a variety of residential opportunities, retirement living, open space, recreational and commercial uses along with an efficient circulation network within a comprehensive plan. The land use designations and residential densities for the plan reflect a mixed-use concept, responding to anticipated market demand and the urbanizing character of the City of Beaumont. Further, the plan has been designed to consider access links, land use relationships with adjoining properties and existing natural landforms.

A total of 1,150 dwelling units are proposed on 295.1 acres throughout the site. As indicated on the *Specific Land Use Plan*, Figure 5, a total of 293 dwelling units of 6,000 sq. ft. lots at a "Medium" density are proposed on 72.5 acres; 184 dwelling units of 8,000 sq. ft. lots at a "Medium" density are proposed on 57.3 acres; 217 townhomes at a "Medium-High" density are proposed on 18.0 acres; 261 dwelling units of 55' x 85' lots (Retirement Village) are proposed on 42.7 acres; and 195 dwelling units of 60' x 90' lots (Retirement Village) are proposed on 34.4 acres.

Private uses within the Retirement Village include two recreation centers totalling 3.9 acres, and a 1.1-acre recreation vehicle (R.V.) storage facility. In addition, the Seneca Springs Land Use Plan incorporates a 13.7-acre commercial center with a 1.4-acre day care center provided within, two community parks and three mini-parks totalling 15.8 acres, and 17.8 acres of landscaped utility easements and linear greenbelts. The Seneca Springs Specific Plan is briefly summarized in Table 1.

3. MARKET OBJECTIVES

This project has been designed to target the needs of a wide variety of homebuyers. Specific market objectives for the Seneca Springs Specific Plan include:

- ◆ Providing a variety of housing types and densities which will reflect the marketing needs of the area.
- ◆ Planning the project to create a master-planned community while attempting to keep housing prices to an acceptable minimum.
- ◆ Providing recreational amenities which will serve the needs of the community.
- ◆ Providing land uses that are consistent with on-going development in the area.
- ◆ Providing "first-time," "move-up" and secure retirement living opportunities for present residents in the City of Beaumont and the surrounding area.

- ◆ Providing a functional roadway system on-site, which fosters the safe and efficient movement of local traffic, while discouraging heavy through traffic in residential neighborhoods.
- ◆ Reinforcing the community identity of the project through control of design elements such as entry statements, signage, walls/fencing and landscaped parkways.
- ◆ Providing a balanced community that is aesthetically pleasing to residents, visitors, and the City of Beaumont.
- ◆ Providing a functional pedestrian path system that encourages walking and bicycling within the community.

TABLE I
LAND USE SUMMARY

Land Use	Acreage	Dwelling Units/Acre	Dwelling Units	Percentage
RESIDENTIAL				
6,000 s.f.	72.5	4.0	293	25.0%
8,000 s.f.	57.3	3.2	184	19.0%
Multi-Family (Townhomes)	18.0	12.0	217	6.0%
RETIREMENT VILLAGE				
55' x 85' Lots	42.7	6.0	261	14.0%
60' x 90' Lots	34.4	5.6	195	12.0%
R.V. Storage	1.1	--	--	0.4%
Recreation Centers	3.9	--	--	1.3%
NON-RESIDENTIAL				
Commercial*	13.7		--	5.0%
Parks	15.8		--	5.3%
Drainage/Open Space	6.9		--	2.0%
Linear Greenbelts/Landscaped	17.8		--	6.0%
Utility Easements				
Roads	10.4		--	4.0%
TOTAL	295.1	3.9	1,150	100.0%

*NOTE: A 1.4-acre day-care facility is planned within the 13.7-acre commercial center.

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III. SPECIFIC PLAN

A. DEVELOPMENT PLANS AND STANDARDS

■ PLANNING OBJECTIVES

This Specific Land Use Plan is being prepared within the framework of a detailed and comprehensive multi-disciplinary planning program. Issues such as engineering feasibility, market acceptance, economic viability, City General Plan goals and objectives, development phasing and local community goals have been fully examined and considered. To further ensure the environmental compatibility, aesthetic satisfaction and functional integrity of the plan, specific planning goals and objectives were identified. These were defined and identified in part through a careful analysis by an Opportunities and Constraints Study. With this analysis and the project goals and objectives in mind, the Seneca Springs Specific Plan:

- Considers topographic, geologic, hydrologic and environmental opportunities and constraints to create a design that generally conforms to the character of the land by retaining and utilizing basic existing landforms as much as possible.
- Reflects anticipated marketing needs and public demand by providing a range of housing types which will be marketable within the developing economic profile of the City of Beaumont and surrounding area.
- Provides residential and neighborhood commercial development, adequate support facilities (recreation), and circulation in a convenient and efficient manner.
- Provides direct and convenient access to individual residential neighborhoods and recreational areas via a safe and efficient circulation system comprised of a network of primary arterial, secondary, local and private streets, each designed for appropriate traffic and user needs.
- Provides for alternative modes of transportation within and adjacent to the site including pedestrian and bicycle trails, which will foster the conservation of valuable energy resources as well as lessen potential future air pollution in the immediate area.

1. SPECIFIC LAND USE PLAN

a. Project Description

The Seneca Springs development will be a high quality, master-planned community. Through a strong cohesive community design, the development will offer a diverse, convenient living environment for future residents.

When fully developed, a maximum of 1,150 homes will be constructed, including single family residences on 6,000 and 8,000 s.f. lots and townhomes. The plan also provides for a gated Retirement Village, offering residents a secured living environment with 55' x 85' and 60' x 90' lots, a 1.1-acre recreational vehicle storage facility and 3.9-acres of active recreational amenities. A church site, two neighborhood parks, three mini-parks, a neighborhood commercial center with a day-care center and a variety of open space uses will be provided for public use.

For specific information on the Planning Areas, please refer to Sections III-B and IV, *Planning Area Development Standards* and *Specific Plan Zoning Ordinance*.

The proposed land uses within the Specific Plan include:

- **RESIDENTIAL** - Development within the project will generate a density of approximately 3.9 dwelling units per acre overall and housing types will be spread over five categories, varying from 6,000 and 8,000 s.f. lots to townhomes. The acreage shown for each planning area represents gross acreage which is subject to minor fluctuations when detailed engineering and roadway alignment studies are completed.
 - **6,000 Square Foot Lots** - These lots will be located in Planning Areas 2, 3 and 6. A total of 293 homes are planned within this category of land use on 72.5 acres, at approximately 4.0 du/ac. This lot size will be primarily attractive to the first-time buyer with a young family.
 - **8,000 Square Foot Lots** - This lot size will be allocated in the southeast portion of the project site. A total of 184 units are planned on 57.3 acres within Planning Areas 4 and 5. This lot size will contain product type attractive to a wide variety of homebuyers, including "move-up" buyers.
 - **Townhomes** - Planning Area 8 will provide 217 attached units on 18.0 acres. These dwelling units have been conveniently located next to major access roads, community parks and open space areas. In addition, private recreational facilities and common open space areas will be provided to supplement community recreational opportunities. Private recreational facilities shall include, but not be limited to, a pool, spa and barbecues. Exact determination and layout of these recreational facilities will be accomplished in conjunction with detailed future tract layouts and will be reviewed by the City Planning Department at that time.
 - **Retirement (55' x 85' Lots)** - This lot size will be allocated to the northern portion of the Retirement Village along First Street in Planning Areas 12 and 13. A total of 261 homes are planned on 42.7 acres. This lot size will be attractive to the retiree looking for a smaller home within a secured environment.

- **Retirement (60' x 90' Lots)** - These lots are located along the southern portion of the Retirement Village in Planning Areas 10 and 11A. A total of 195 homes will be built on 34.4 acres. The majority of these lots will have direct access to the landscaped utility easement. This lot size will appeal to the retiree that is still looking for an average-size home within a secured living environment.
- **RECREATION CENTER** - Private recreation center facilities are planned within the Retirement Village community on a total of 3.9 acres. Planning Area 9 will contain a 3.2-acre recreation center offering Retirement Village residents both formal and informal recreational opportunities. These facilities shall include, but not be limited to, a community multi-purpose center, swimming pool, spa, tennis courts and a variety of outdoor recreational amenities. Planning Area 14 contains 0.7 acres planned as a mini recreation center, which will include a cabana, swimming pool and spa. Exact determination and layout of these recreation facilities will be accomplished in conjunction with detailed future tract layouts, and will be reviewed by the City Planning Department at that time.
- **RECREATIONAL VEHICLE (R.V.) STORAGE** - Within the Retirement Village, a 1.1-acre R.V. storage lot is planned for Planning Area 11B. This storage area will be secured with fencing and a card or key activated gate system. Those Retirement Village residents who wish to store their R.V.'s here will pay a fee to the Retirement Village's Homeowner's Association, who in turn will provide maintenance of this facility.
- **COMMERCIAL** - The Seneca Springs community will be served by a 13.7-acre neighborhood commercial center conveniently located on-site adjacent to the First Street/Highland Springs intersection. Located in Planning Area 15, the commercial center will provide service-oriented uses to both on-site residents and those of surrounding communities. Additionally, the neighborhood commercial center will reduce the need for daily off-site vehicular travel for convenience items and create employment opportunities on-site. A 1.4-acre day care center will be appropriately sited within the commercial center.
- **CHURCH SITE** - A 0.6-acre church site has been reserved for religious worship within the project, as shown in Planning Area 1. The church site is situated adjacent to a 0.1-acre portion of the landscaped utility easement. This portion of the easement may be used for overflow parking for church services if permission from the utility company is obtained.
- **PARKS** - Two community parks and three mini-parks are planned to provide the Seneca Springs residents with a wide variety of recreational opportunities and facilities. Planning Area 7A consists of 11.1 acres centrally located to the surrounding neighborhoods at the intersection of Street "A" and Street "B". Planning Area 7B will provide 2.3 acres, located adjacent to the 6.9-acre drainage/open space corridor in Planning Area 18. Three pocket parks are planned within Planning Areas 2, 3 and 5. These small parks range in

size from 0.5 - 1.3 acres and are designed to provide neighborhood enclaves with a central gathering place, while enhancing the community as a whole. Neighborhood and mini-parks will contain various configurations of tot lots, open play areas, ball fields and picnic areas, as detailed in Section III.C, *Landscape Design Guidelines*.

- **DRAINAGE/OPEN SPACE CORRIDOR** - Approximately 6.9 acres of land designated as a drainage/open space corridor is provided within Seneca Springs, as depicted in Planning Area 18. This area contains a portion of Potrero Creek, which crosses the property flowing in a northwest to the southeast direction. Planning Area 18 will be preserved as an open space corridor, providing passive recreational opportunities to surrounding neighbors. The predominant feature of this area is the existing drainage courseway, which when dry or low-flowing, will permit recreational activities including hiking, jogging and mountain biking along its edges.
- **LINEAR GREENBELTS/LANDSCAPED UTILITY EASEMENTS** - Approximately 17.8 acres of land, as illustrated within Planning Areas 16A-B and 17, are proposed as linear greenbelts. The linear greenbelts within the Seneca Springs community will provide non-vehicular, pedestrian access throughout the site in a park-like atmosphere and feature a twelve-foot (12') wide meandering pedestrian/bicycle path. Portions of the linear greenbelts further serve as a natural buffer zone between individual residential enclaves, providing residents with passive and active recreational amenities. Utility line easements consume 11.8 acres of the 17.8 acres and lie within Planning Areas 16A & B and 17. (Please refer to the Seneca Springs EIR for a complete discussion of existing utilities.)
- **ROADS** - Major roadways totalling approximately 10.4 acres will be constructed in conjunction with project development, as depicted on the *Circulation Plan*, Figure 6A and *Roadway Cross-Sections*, Figures 8A, B & C. On-site traffic will be handled by a hierarchical roadway system consisting of primary arterial, secondary arterial, enhanced collector, local and private streets. Off-site traffic flow will connect to the on-site traffic system via three separate and distinct roadways: First Street (88' R.O.W.), which runs in an east-west direction; Highland Springs Avenue (98' R.O.W.), providing a north-south connection; and Pennsylvania Avenue (100' R.O.W.), providing a northeast-southwest connection.

b. Land Use Development Standards

Various levels of development standards and guidelines have been established that, when combined, ensure an orderly, sensitive methodology for implementation and development of the permitted uses established for this project by the *Specific Plan Zoning Ordinance* set forth in Section IV.

At one level, special techniques and mitigations have been designed for application, as appropriate, to each Planning Area. These specifications are discussed at length in Section III.B

of this Specific Plan and will be employed to insure high quality consistency and provide provisions for proper transition between the varying land uses and product intensity.

A second level encompasses design considerations relative to landscaping and community elements. Cross-sections and plan views are provided to depict entry features, right-of-way, and parkway landscaping. These measures are discussed in Section III.C, *Landscape Design Guidelines*, of this Specific Plan.

Yet another, broader level of general project-wide provisions have been established. These standards will work in coordination with the *Planning Area Standards* and have been provided to insure overall project sensitivity. They are discussed below and throughout Section III.B. of this Specific Plan:

- 1) The Seneca Springs Specific Plan shall be developed with a maximum of 1,150 dwelling units within a total 295-acre area in the manner illustrated on the *Specific Land Use Plan*, Figure 5. Generally, the permitted uses shall include residential, retirement village, R.V. parking, park and recreational, open space, commercial, day-care center and circulation. These uses are delineated in Section III.B, *Planning Area Development Standards*, Figures 15A-T.
- 2) Uses and development standards will be in accordance with the zoning regulations established by this Specific Plan and detailed in the *Planning Area Development Standards* and shall be defined by Specific Plan objectives and future detailed plot plans.
- 3) Standards relating to signage, landscaping, parking and other related design elements will conform to the zoning regulations set forth in Sec. IV and the *Landscape Design Guidelines*, Sec. III.C. When appropriate and necessary to meet the goals of this Specific Plan, the standards will exceed the zoning requirements provided herein.
- 4) The development of the property shall be in accordance with the mandatory requirements of all City of Beaumont Ordinances or as amended by this Ordinance and State laws. It also shall conform substantially with this approved Specific Plan, as filed in the Office of the City of Beaumont Planning Department, unless otherwise amended. Where a conflict, if any, arises between this Specific Plan and a City Ordinance, this Specific Plan shall take precedence. Notwithstanding the foregoing, any conflict arising between a provision of this Specific Plan and a future ordinance adopted solely for the purposes of public health or safety shall be reviewed by the City Attorney and/or City Planning Director whose interpretation of the conflicting provisions shall take precedence.
- 5) Prior to issuance of a building permit for construction of any use contemplated by this approval, the applicant shall first obtain clearance from the City of Beaumont Planning Department verifying that all pertinent conditions of Specific Plan approval have been satisfied.

- 6) Public recreation areas on-site will be developed per appropriate zoning requirements.
- 7) A minimum environmental assessment shall be conducted for each tract, change of zone, plot plan, specific plan amendment or any other discretionary permit required to implement the Specific Plan. The environmental assessment shall utilize the evaluation of impacts addressed in the EIR prepared for this Specific Plan. The project will conform with State and local regulations as required.
- 8) A City Change of Zone Application, which would constitute a Specific Plan Amendment, may be required, as determined by the Planning Department, with a subsequent development application if the proposed use varies substantially from the use(s) provided for by the zoning standards established by this Specific Plan.
- 9) Lots created pursuant to this Specific Plan and any subsequent tentative maps shall be in conformance with the development standards of the zones applied to the property by this Specific Plan.
- 10) If necessary, roadways, infrastructure, parks, open space and any other public facilities may be coordinated by and paid for through an assessment district to facilitate construction, maintenance and management.
- 11) Final development densities for each Planning Area shall be determined through the appropriate development application. The maximum dwelling unit total for any particular planning area may be exceeded by up to ten (10) percent without an amendment to this plan, provided that an equal or greater number was unused in a previously approved application within another planning area. If the developer should wish to exceed the maximum for a particular planning area, as stated above, a tracking report will be submitted to the City Planning Department, to demonstrate all dwelling unit shifts on a project-wide basis. A Specific Plan Amendment may not be required if the Planning Director determines that the changes do not constitute a major modification of the Specific Plan and provided that the tracking report adequately explains the proposed dwelling unit increase. Similarly, if the developer should wish not to build the maximum number of units within a planning area, the number of dwelling units within the Specific Plan shall not fall below thirty percent (30%) of the total 1,150 units.
- 12) Prior to the issuance of building permits, improvement plans for developed common areas, including irrigation plans, shall be submitted for Planning Department approval. Irrigation plans shall be prepared by a certified landscape architect.
- 13) For the security and safety of future residents the applicant and/or developer shall incorporate the following design concepts within each individual tract:

- a) Circulation for pedestrians, vehicles and police patrols.
- b) Lighting of streets, walkways, bikeways and park area.
- c) Fencing heights and materials.

14) A Landscape and Lighting District shall assume maintenance responsibility for all common open space areas, public streets, street right-of-ways and street medians. Expanded parkways and landscape utility easements also shall be maintained by the Landscape and Lighting District. A Retirement Village Homeowners Association shall be responsible for the ownership and maintenance responsibility of all private streets, private open space areas, recreational facilities and the R.V. storage lot. For a complete discussion of maintenance responsibilities, please see Section III.H, *Maintenance Districts*.

15) Passive solar heating techniques will be employed whenever possible within the project. Passive solar systems do not utilize sophisticated hardware. Passive solar systems involve orienting buildings properly, planting trees to shield dwelling from summer sun, providing adequate roof overhangs, adequately insulating walls, and simple heat storage systems.

16) Mitigation measures for environmental resources shall be implemented as identified in the Environmental Impact Report in applicable planning areas.

TABLE II
DETAILED LAND USE SUMMARY

Land Use Designation	Planning Area	Acreage	Dwelling Density	Dwelling Units
RESIDENTIAL				
6,000 s.f. lots	2	44.3	4.1	184
	3	12.2	3.8	47
	6	16.0	3.8	62
8,000 s.f. lots	4	15.2	3.1	48
	5	42.1	3.2	136
Multi-Family (Townhomes)	8	18.0	12.0	217
RESIDENTIAL SUBTOTAL		147.8	4.7	694
RETIREMENT VILLAGE				
55'x85' lots	12	27.2	6.2	169
	13	15.5	5.9	92
60'x90' lots	10	19.0	5.6	106
	11A	15.4	5.8	89
R.V. Storage	11B	1.1		
Recreation Centers	9	3.2		
	14	0.7		
RETIREMENT VILLAGE SUBTOTAL		82.1	5.5	456
NON-RESIDENTIAL				
Commercial	15	13.7		
Church Site	1	0.6		
Parks	7A	11.1		
	7B	2.3		
	2	0.6		
	3	1.3		
	5	0.5		
Drainage/Open Space	18	6.9		
Linear Greenbelts/Landscaped Utility Easements	16A	9.6		
	16B	3.7		
	17	4.5		
Roads		10.4		
NON-RESIDENTIAL SUB-TOTAL		65.2		
PROJECT TOTAL		295.1	3.9	1,150

2. CIRCULATION PLAN

a. Circulation Plan Description

As a result of a thorough traffic analysis conducted by Kunzman and Associates Traffic Engineering Consultants, a project roadway concept has been developed as illustrated in the *On-Site Circulation Plan*, Figure 6A. Off-site, on-site and non-vehicular circulation patterns were identified in order to arrive at an efficient circulation plan.

Principal off-site, north-south roadway access to the site is provided by Highland Springs Avenue and Pennsylvania Avenue, both of which connect to Interstate 10 (I-10) north of the subject property. Highland Springs Avenue has been partially improved (east one-half) by the neighboring Sun Lakes development. Ultimately, Highland Springs Avenue is designed to accommodate four lanes of travel, consisting of two lanes in either direction, and will be classified as a Major Arterial Highway (98' R.O.W.). Pennsylvania Avenue ultimately will be improved as a Primary Arterial Highway (100' R.O.W.) and is designed to accommodate four lanes of travel, consisting of two lanes in either direction. Pennsylvania Avenue will eventually tie into an off-site, east-west directional street that is proposed as the primary entry road for the Potrero Creek Specific Plan (see *Off-Site Circulation Plan*, Figure 6B). Pennsylvania Avenue will provide an alternative route to accessing I-10, in addition to using the existing Beaumont Avenue and Highland Springs Avenue routes. East-west access to the site is provided by First Street, an existing roadway, which will be improved to a Secondary Highway (88' R.O.W.). First Street will connect with Sun Lakes Boulevard at Highland Springs Avenue and will remain the only continuous east-west street on the south side of I-10.

On-site circulation is accommodated by an efficient roadway network consisting of Primary Arterial, Secondary Arterial, local and private roads (see *Roadway Cross-Sections*, Figures 8A & B). Each road's location and size is designed to facilitate the safe and continuous movement of traffic throughout the site. The plan's main objective is to provide direct and convenient access to residential neighborhoods, recreation areas and the commercial center. On-site access will be provided by Pennsylvania Avenue, which will traverse the westerly portion of the property in a north-southwest direction. Although Pennsylvania Avenue will provide a direct freeway connection, it is not designed as the principal community entry. Street "B" is planned as the primary project entry and will carry traffic through the site in a north-south direction. Street "B" will provide access to the townhomes, Retirement Village and southwesterly portion of the project. Designed as an enhanced collector road (100' R.O.W.), Street "B" will accommodate four lanes of travel, two lanes in each direction and a twelve-foot (12') wide landscaped median between First Street and the entrances into the Retirement Village and townhome complex. South of Street "A", Street "B" will transition into a local road (60' R.O.W.) as it enters the residential neighborhoods. This transition from a 100' to a 60' R.O.W. is conceptually shown on the *Street "B" Conceptual Transition Plan*, Figure 8C. Actual engineering of this transition will be accomplished at the Tract Map stage, in conjunction with City traffic engineering and safety standards. Additional on-site project roads include Local

Streets "A" and "D". Local interior streets (60' R.O.W.) will provide direct access through residential enclaves.

The Retirement Village will have its own internal circulation system comprised of private streets secured with guard gates or card-operated devices at all entry points. The primary entrance will be off of Street "B", with secondary entries on First Street and Street "D". Street "C", a private local street (40' R.O.W.), provides the primary east-west connection within the Retirement Village. All internal streets within the Retirement Village also are planned as private streets (40' R.O.W.).

All streets within the Retirement Village will be privately owned and maintained by the Retirement Village's Homeowner's Association. The remainder of the project's on-site roads will be for general public use and shall be dedicated to the City for ownership and maintenance responsibilities.

Non-vehicular circulation, as shown on the *Pedestrian Circulation Plan*, Figure 7, is provided in the form of pedestrian sidewalks adjacent to all streets; a twelve-foot (12') wide combination pedestrian/bike path meandering throughout the landscaped utility easements and linear greenbelts; and Class II bike lanes within First Street, portions of Street "B" and Pennsylvania Avenue. Non-vehicular transportation plays a key role in the Seneca Springs community, whereby allowing the pedestrian to safely travel from one destination to another with minimal street crossings.

b. Circulation Plan Development Standards

- 1) The proposed Circulation Plan provides an efficient traffic design that meets or exceeds the public safety, security and transportation needs of the project. The on-site system, depicted on the *Circulation Plan*, Figure 6A, has been derived from the Master Circulation Plan outlined in the project Traffic Study and will serve as the composite circulation plan for the Specific Plan (see Technical Appendices). The illustrated, on-site roadway improvements will be phased in accordance with this plan.
- 2) Heavy through traffic should be eliminated from residential neighborhoods. Major roadways will be implemented as non-access roadways, with residential neighborhoods served by smaller residential local roads.
- 3) The subdivision shall comply with the street improvement recommendations/mitigations outlined in the project Traffic Study (see Technical Appendices).
- 4) On-site roads will be constructed as:
 - Major Arterial Highway (98' R.O.W.) - Highland Springs Avenue
 - Primary Arterial Highway (100' R.O.W.) - Pennsylvania Avenue

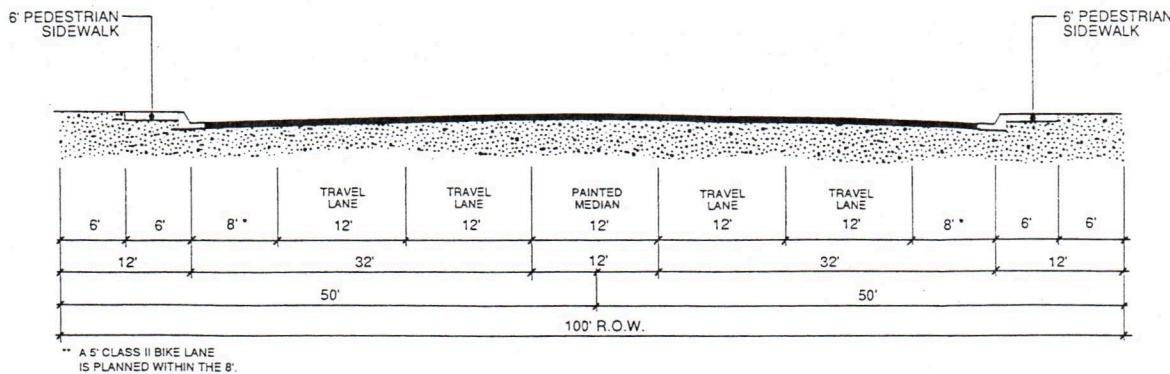
- Secondary Highway (88' R.O.W.) - First Street
- Secondary Entry Street (80' R.O.W.) - Private Entry into Retirement Village off First Street
- Enhanced Collector Street (R.O.W. varies 100' - 60') - Street "B"
- Local Street (60' R.O.W.) - Streets "A" and "D" and all Single-Family Residential Local Interior Streets
- Private Local Street (40' R.O.W.) - Street "C" and all Retirement Village Interior Streets.

5) Landscaping requirements will be based on street width in accordance with the Roadway Landscape Treatments depicted on Figures 17 through 26 in the *Landscape Plan*, Section III.C.8.

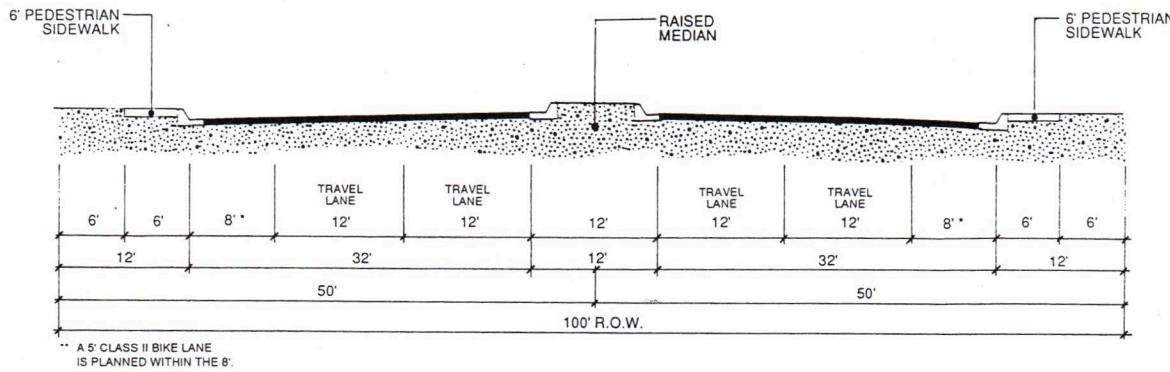
6) Some major off-site roadway improvements may be implemented through an assessment district or similar financing mechanisms.

7) All roads shall be constructed to ultimate City standards as a requirement of the implementing subdivisions for the Specific Plan, subject to approval by the City Engineer.

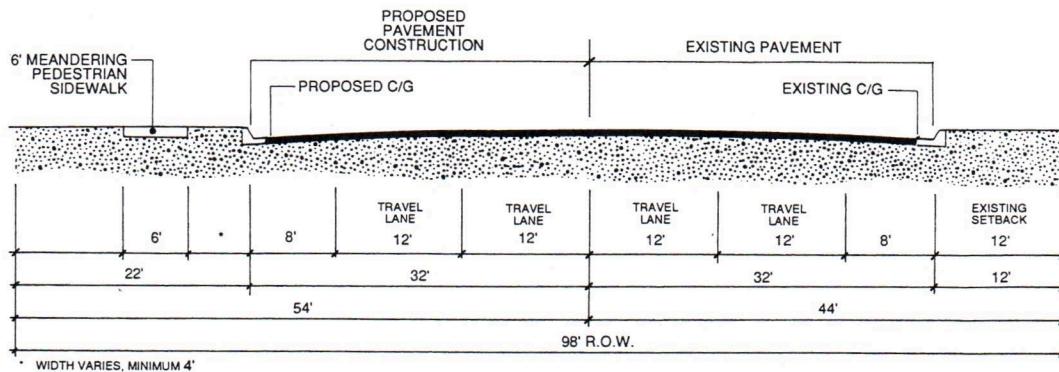
8) A bike path system, as shown on the *Pedestrian Circulation Plan*, Figure 7, shall be constructed in accordance with City standards for such facilities.



PRIMARY ARTERIAL HIGHWAY
PENNSYLVANIA AVENUE
100' R.O.W.



ENHANCED COLLECTOR ROAD
STREET "B"
100' R.O.W. TO 60' R.O.W.
(Street "B" transitions from a 100' R.O.W. at First Street to a 60' R.O.W. at its intersection with Street "A".)



MAJOR ARTERIAL HIGHWAY
HIGHLAND SPRINGS AVENUE
98' R.O.W.
(Only the Sun Lakes side has a 12' setback.)

SENECA
SPRINGS

ROADWAY CROSS-SECTIONS

Prepared For:
LOMA LINDA UNIVERSITY DEVELOPMENT CORPORATION
601 South Main Street, Corona, CA 91720

FIGURE 8A



3. DRAINAGE PLAN

a. Drainage Plan Description

The Seneca Springs project site lies near the crest of the San Gorgonio Pass and drains southeasterly where it is collected in Potrero Creek. Potrero Creek flows into the San Jacinto River, eventually flowing into Lake Elsinore. The site is within a Flood Zone "C" which indicates it is an area of minimal flooding, therefore, no floodplain boundaries have been mapped. If any actual flooding would occur within the site, it will be confined to the existing creek channels.

There are several existing features of the watershed which restrict the flow of water to the site, including undersized culverts at the I-10 freeway and the Southern Pacific Railroad tracks. Riverside County Flood Control District prepared a Master Drainage Plan for the Beaumont Area - Zone 5, in July, 1983. This Master Drainage Plan was designed to eliminate existing flooding problems upstream of these restrictions through construction of two detention basins, the Stewart Park and Winesap Basins. Both basins would reduce peak flows so that downstream facilities are not flooded. Thus, the existing flow rate reaching the Seneca Springs site would be equal to the flow rates anticipated by the County's Master Drainage Plan (see the *Conceptual On-Site Drainage Plan*, Figure 9).

The County's Master Drainage Plan contains two planned facilities tributary to the Seneca Springs property. Line 1, the Cherry Avenue - 8th Street Channel is shown terminating at the northern boundary of the site with a flow rate of 555 cubic feet per second (C.F.S.) Line 2 is shown terminating at First Street just east of Pennsylvania Avenue with a flow rate of 690 C.F.S. Both of these lines will flow into facilities to be constructed as a part of this project.

Some of the runoff from this site will flow into two existing reinforced concrete pipe (R.C.P.) culverts that were constructed with the adjacent Sun Lakes project on the east side of Highland Springs Road. The remaining portion of the site will drain into facilities to be constructed as part of the approved Hovchild Specific Plan. If the Hovchild project has not been constructed when development of Seneca Springs commences, the runoff will be discharged into the natural watercourse.

On-site drainage courses will consist of streets, channels and swales, underground storm drains and culverts. Approximate drainage line sizes and locations are shown on the *Conceptual On-Site Drainage Plan*, Figure 9. A more detailed Master Drainage Plan will be prepared at the Tentative Map stage of development. The final system layout and sizing will be determined during final Tract Map preparation, when final planning and engineering studies have been completed.

b. Drainage Plan Development Standards

- 1) Drainage and flood control facilities and improvements as identified on the *Conceptual On-Site Drainage Plan*, Figure 9, shall be provided in accordance with the City of Beaumont and Riverside County's Flood Control and Water Conservation District requirements.
- 2) Major drainage/flood control facilities will be maintained by the City of Beaumont or Riverside County Flood Control and Water Conservation District. Local drainage devices not located in roadway right-of-ways will be maintained by a Homeowner's Association or Riverside County Flood Control District. Maintenance responsibilities for local drainage facilities will be determined upon filing of individual tract maps.

4. WATER AND SEWER PLANS

a. Water and Sewer Plan Description

1) Water Plan

The Seneca Springs project site will be supplied potable water by the Beaumont-Cherry Valley Water District.

Existing water lines located in Highland Springs Avenue north of the site will be extended to serve the project. Additional water storage facilities also are planned for the area, however, the need for additional storage to serve this project cannot be established until future planning and engineering studies are completed by the District. The District's current Water Master Plan shows two 2.0 million gallon (MG) water storage tanks to be constructed on a site east of Highland Springs Avenue approximately one and one quarter miles south of the Seneca Springs site. The Seneca Springs property does not contain a location suitable for a reservoir because the base of a reservoir must be a minimum elevation of 2,740 feet; the highest elevation within Seneca Springs is 2,679 feet.

Approximate water line locations and sizes are depicted on the *Conceptual On-Site Water Plan*, Figure 10. A more detailed Master Water Plan will be prepared at the Tentative Map stage of development. The exact system layout and sizing will be determined during Final Tract Map preparation. Please see the Technical Appendices, *Preliminary Engineering Report*, for the projected daily water demand on-site.

2) Sewer Plan

Sewage generated from the project will be treated at off-site facilities by the City of Beaumont. The location of the off-site sewage treatment plant has not yet been determined by the City. Proposed sewer lines from Seneca Springs will connect to a proposed 15" trunk line required to collect sewage from this property and the adjacent Hovchild property. This line would be located in Highland Springs Avenue and extend south from the project limits approximately one mile. This line is currently known as the Sewer Master Plan Area "B" trunk line. Once the sewage reaches this point, it would have to be pumped via a force main to the off-site treatment plant. The location and size of the force main cannot be specified until the location of the off-site sewage treatment facility is determined by the City.

Approximate sewer line locations are shown on the *Conceptual On-Site Sewer Plan*, Figure 11. A more detailed Master Sewer Plan will be prepared at the Tentative Map stage of development. The exact on-site sewer system layout and sizing will be determined during Final Tract Map preparation.

b. Water and Sewer Plan Development Standards

- 1) All water and sewer lines shall be placed underground.
- 2) All water lines and related and required water service will be designed per City of Beaumont requirements.
- 3) All sewer service improvements will be constructed in accordance with the City of Beaumont's requirements.
- 4) All water and sewer service improvements to be maintained by the City of Beaumont.
- 5) All water and sewer lines will be properly sized to adequately service proposed future growth potential.
- 6) The pro-rata cost of constructing oversized lines to serve existing or future off-site population shall be the responsibility of those to be served in accordance with the rules and regulations of the City of Beaumont.

5. PROJECT PHASING PLAN

a. Project Phasing Plan Description

It is expected that the proposed project will be phased over a seven-ten (7-10) year period. Fluctuations or deviations in the Project Phasing Plan may occur in response to market demands and according to a logical and orderly extension of roadways, public utilities and infrastructure (see Table III, *Project Phasing Schedule* and the *Project Phasing Plan*, Figure 12).

b. Project Phasing Plan Standards

- 1) The maximum dwelling unit total for any particular planning area may be exceeded by up to ten percent (10%) without an amendment to this plan, provided that an equal or greater number was unused in a previously approved application within another planning area. If the developer should wish to exceed the maximum for a particular planning area, as stated above, a tracking report will be submitted to the City Planning Department, to demonstrate all dwelling unit shifts on a project-wide basis. A Specific Plan Amendment may not be required, if the Planning Director determines that the changes do not constitute a major modification of the Specific Plan and provided that the tracking report adequately explains the proposed dwelling unit increase. Similarly, if the developer should wish not to build the maximum number of units within a Planning Area, the number of dwelling units within the Specific Plan shall not fall below thirty percent (30%) of the total 1,150 units.
- 2) Prior to issuance of building permits, improvement plans for respective landscape areas for that stage of development shall be submitted to the City Planning Department for approval. The improvement plans shall include, but not be limited to, the following:
 - Final grading plan.
 - A landscaping plan with seed mixes for mulching and staking methods, locations, type, size and quantity of plantings.
 - Fence treatment plans.
 - Special treatment/buffer area treatments plans.

TABLE III
PROJECT PHASING SCHEDULE

LAND USE	PLANNING AREA	ACREAGE	DWELLING UNITS
PHASE I			
Retirement Village Residential (55' x 85' Lots)	12 (partial)	10.4	64
Retirement Village Residential (60' x 90' Lots)	10 (partial)	2.5	14
Single Family Residential (6,000 SF Lots)	2 (partial)	24.4	101
Primary Recreation Center (Retirement Village)	9	3.2	
Neighborhood Park	7B	2.3	
Drainage/Open Space Corridor	18	6.9	
Linear Greenbelts/Landscape Utility Easements	16A (partial)	3.6	
Landscaped Utility Easement	16B (partial)	1.7	
Mini-Park	2	.6	
SUBTOTAL		55.6	179
PHASE II			
Retirement Village Residential (55' x 85' lots)	12 (partial)	16.8	105
Retirement Village Residential (60' x 90' lots)	10 (partial)	16.5	92
Single Family Residential (8,000 SF lots)	5 (partial)	29.0	94
Linear Greenbelts/Landscape Utility Easements	16A (partial)	3.2	
Park	7A	11.1	
Mini-Park	5	.5	
SUBTOTAL		77.1	291
PHASE III			
Retirement Village Residential (55' x 85' Lots)	13	15.5	92
Retirement Village Residential (60' x 90' Lots)	11A	15.4	89
Single Family Residential (8,000 SF Lots)	5 (partial)	13.1	42
Single Family Residential (6,000 SF Lots)	2 (partial)	19.9	83
Single Family Residential (6,000 SF Lots)	6	12.6	62
R.V. Storage	11B	1.1	
Recreation Center (Retirement Village)	14	.7	
Linear Greenbelts/Landscaped Utility Easements	16A	2.4	
Landscaped Utility Easement	16B	1.2	
SUBTOTAL		81.9	368

TABLE III
PROJECT PHASING SCHEDULE
(Continued)

LAND USE	PLANNING AREA	ACREAGE	DWELLING UNITS
PHASE IV			
Single Family Residential (6,000 SF Lots)	3	15.6	47
Townhomes	8	18.0	217
Commercial	15	13.7	
Linear Greenbelts/Landscape Utility Easements	16A (partial)	.4	
Landscaped Utility Easement	17 (partial)	2.3	
Church	1	.6	
Mini-Park		1.3	
SUBTOTAL		51.9	264
PHASE V			
Single Family Residential (8,000 SF Lots)	4	15.2	48
Landscaped Utility Easement	16B (partial)	.8	
Landscaped Utility Easement	17 (partial)	2.2	
SUBTOTAL		18.2	48
Roads		10.4	--
PROJECT TOTAL		295.1	1,150

6. GRADING PLAN

a. Grading Plan Description

Grading for the Seneca Springs site is tailored to the existing topography of the property. It is intended that the proposed plan be sensitive to and reflect original natural land forms where feasible, as depicted on the *Grading Plan*, Figure 13.

The site is comprised of relatively level terrain sloping gradually from the south to the north with elevations ranging from 2,540 feet in the northeast to 2,660 feet in the southwest. Five fairly well-defined drainage courses traverse the property; the largest being Potrero Creek. The project grading plan accommodates these drainage courses as shown on the *Conceptual On-Site Drainage Plan*, Figure 9. The Grading Plan also establishes a basis for appropriate treatment of drainage requirements and provides for a street system which meets the City of Beaumont standards for acceptable grades. Earthwork quantities will be balanced in logical areas on-site.

b. Grading Plan Development Standards

- 1) All grading activities shall be in substantial conformance with the overall *Grading Plan*, Figure 13, and shall implement any grading related mitigation measures outlined in the accompanying Environmental Impact Report, including Seismic Safety, Slopes and Erosions, and Preliminary Geotechnical Investigation (see Technical Appendices).
- 2) Prior to any development within the Specific Plan, a Grading Plan for the portion in process shall be submitted to the Planning Department and City Engineer for approval. The Grading Plan for each area shall be used as a guideline for subsequent detailed grading plans for individual stages of development within that area.
- 3) All streets shall have a gradient not to exceed 10%.
- 4) Prior to initial grading activities, a specific site soils report and geotechnical study shall be performed if needed and/or required, to analyze on-site soil conditions and include appropriate measures to control erosion and dust.
- 5) Detailed grading plans shall be prepared prior to any on-site grading for each project or group of projects, and shall be in substantial conformance with the grading approved as part of the Specific Plan Master Grading Plan and/or any Master Tentative Map.
- 6) The applicant shall be responsible for maintenance and upkeep of all planting and irrigation systems until those operations are the responsibility of other parties.
- 7) The overall shape, height and grade of any cut and fill slope shall be developed in concert with the existing natural contours and scale of the natural terrain of a particular site.

- 8) Potential brow ditches, terrace drains or other minor swales, determined necessary at future stages of project review, shall be lined with natural erosion control materials or concrete.
- 9) Grading work shall be balanced on-site where and whenever possible.
- 10) Graded slopes shall be planted with interim erosion control plant materials, if and when needed.
- 11) All cut and fill slopes shall be constructed at inclinations of no steeper than two (2) horizontal feet to one (1) vertical foot unless otherwise approved by the City, and/or the Geotechnical Engineer of Record.
- 12) Grading shall not be permitted prior to approval of grading permits for the development area in question.
- 13) Graded slopes shall be oriented to minimize visual impacts to surrounding areas.

7. OPEN SPACE AND RECREATION PLAN

a. Open Space and Recreation Plan Description

A major element of the Seneca Springs community is the open space and recreation program. The program is extensive and provides a wide array of passive and active recreational opportunities in which all members of the community can participate. Passive recreational amenities take the form of the drainage/open space corridor, landscaped utility easements and linear greenbelts, while active recreational opportunities are afforded by the neighborhood parks, mini-parks and private recreation centers. The various elements of the open space and recreation program are identified on the *Open Space and Recreation Plan*, Figure 14, and discussed below.

1) Neighborhood Parks

Two neighborhood parks totalling 13.4 acres will be provided within Seneca Springs, as illustrated in Planning Areas 7A (11.1 acres) and 7B (2.3 acres). Both parks are sited adjacent to the drainage/open space corridor (Planning Area 18). The parks will be constructed by the developer, then dedicated to the City or the Beaumont Cherry Valley Parks and Recreation District for ownership and maintenance responsibilities. Facilities will vary in each park, but may include the following: Picnic areas, tot lots, sports fields, on-site parking, barbecues and restrooms.

2) Mini-Parks

Three mini-parks are proposed within the residential enclaves, totalling 2.4 acres. These parks are planned within Planning Areas 2, 3 and 5, and range in size from 0.5-1.3 acres. Facilities within each park may vary slightly, however, it is anticipated that the following uses will be provided: Tot lots, picnic grounds and open play areas. The objective of these small parks is to encourage community interaction at central gathering places throughout the residential neighborhoods.

3) Private Recreation Facilities

Within the townhome complex (Planning Area 8), private recreation facilities and landscaped common areas will be provided. These facilities shall include, but not be limited to a pool, spa and barbecues. The exact layout of these facilities will be determined on future tract map submittals.

4) Pedestrian/Bike Path

A twelve-foot (12') wide combination pedestrian/bike path will meander throughout the landscaped utility easements and linear greenbelts (see *Pedestrian Circulation Plan*, Figure 7). Figures 50-55 depict typical edge conditions illustrating this combination path.

5) Drainage/Open Space

The existing Potrero Creek Channel, which traverses the site in a northwest to southeast direction, will be preserved in an open space corridor, as presented in Planning Area 18. This drainage/open space corridor will provide residents with passive recreational opportunities and link together the two neighborhood parks (Planning Areas 7A and 7B), thus serving as one contiguous recreational corridor. Pedestrian walkways may be constructed alongside the creek's edge, and limited planting is permitted within the upper banks as long as it does not constrict the flow of water and complies with City flood control standards.

6) Linear Greenbelts/Landscaped Utility Easements

Approximately 17.8 acres of land, as illustrated within Planning Areas 16A-B and 17, are proposed as linear greenbelts. The linear greenbelts within the Seneca Springs community will provide non-vehicular, pedestrian access throughout the site in a park-like atmosphere and feature a twelve-foot (12') wide meandering pedestrian/bicycle path. Portions of the linear greenbelts further serve as a natural buffer zone between individual residential enclaves, providing residents with passive and active recreational amenities. Utility line easements consume 11.8 acres of the 17.8 acres and lie within Planning Areas 16A & B and 17.

7) Retirement Village Recreation Centers

Two private recreation centers will be provided within the Retirement Village, as illustrated in Planning Areas 9 (3.2 acres) and 14 (0.7 acres). These facilities will be available for the exclusive use of the retirement community residents and incorporate a variety of formal and informal recreational opportunities (see Figures 47 and 48).

b. Open Space and Recreation Plan Development Standards

- 1) Two neighborhood parks (Planning Areas 7A and 7B) will be provided for the benefit of all community residents. These parks shall include, but shall not be limited to the following facilities: Picnic area, tot lot, sports fields, group barbecue, shade arbor and restroom facilities.
- 2) Three mini-parks within Planning Areas 2, 3 and 5 will be provided for the benefit of all community residents. These parks shall include, but shall not be limited to the following facilities: Tot lots, picnic grounds and open play areas.
- 3) Private recreational facilities will be provided in the townhomes area for the exclusive benefit of those residents. These facilities shall include, but not be limited to a swimming pool, spa and barbecues. The exact layout of these facilities will be determined on future tract map submittals.

- 4) Twelve-foot (12') wide combination pedestrian/bike paths will be provided within the project's linear greenbelts and landscaped utility easements.
- 5) All recreation areas will be landscaped and irrigated.
- 6) The Retirement Village's recreation centers will be limited to the use of Retirement Village residents and their guests.
- 7) The linear greenbelts (portion of Planning Area 16A) within the Retirement Village will be owned and maintained by the Retirement Village Homeowner's Association. The landscaped utility easements, expanded parkways and neighborhood and mini-parks will be dedicated to the City and maintained by the Landscape and Lighting District.
- 8) Landscaping within recreational and open space areas will be further governed by the Development Standards in Section III.C, *Landscape Design Guidelines*.

B. PLANNING AREA DEVELOPMENT STANDARDS

■ GENERAL PROVISIONS/INTRODUCTION

Development Standards for Seneca Springs have been established at two levels: General Development Provisions, which were addressed in Sec. III.A, and Planning Area Development Standards, to which this section is devoted.

Planning Areas were selected on the basis of logical, separate units of development. Criteria considered in this process included uniformity of use as it pertains to zoning and relationship to adjoining product and surrounding topography. Major roadways are depicted, however, local interior roadways and actual lotting will be determined during tract map preparation and approval by the City of Beaumont.

1. PLANNING AREA 1: CHURCH SITE

a. Land Use

Planning Area 1, as depicted on Figure 15A, provides for the development of a 0.6-acre church site. The church site is situated adjacent to a portion of the landscaped utility easement (see Planning Area 16B). If this Planning Area is not developed as a church site, the project proponent reserves the right to develop this area with medium density residential, 6,000 square foot lots. This alternative use is permitted within the underlying Church Zone, as discussed in the Specific Plan Zoning Ordinance, Section IV.H.

b. Development Standards

- 1) Access to Planning Area 1 will be provided via Pennsylvania Avenue and Manzanita Park Road.
- 2) A community secondary entry, as shown on Figures 33 and 34, is planned alongside Pennsylvania Avenue as it enters the project's northerly boundary.
- 3) A neighborhood entry, as shown on Figures 39 and 40, is planned at the corner of Manzanita Park Road and Pennsylvania Avenue.
- 4) Roadway landscape treatments, as shown on Figures 21 and 24, are planned along Pennsylvania Avenue and Manzanita Park Road.
- 5) Please refer to Sections III.A.1. through III.A.7 and III.C for the following development plans and standards that apply site-wide:

III.A.1.: Specific Land Use Plan
III.A.2.: Circulation Plan
III.A.3.: Drainage Plan
III.A.4.: Water and Sewer Plans

III.A.5.: Public Facility Sites and Project Phasing
III.A.6.: Grading Plan
III.A.7.: Open Space and Recreation Plan
III.C.: Landscape Design Guidelines

2. **PLANNING AREA 2: MEDIUM DENSITY RESIDENTIAL (6,000 S.F. LOTS)**

a. **Land Use**

Planning Area 2, as depicted on Figure 15B, provides for the development of 44.3 acres with Medium Density Residential 8,000 sq. ft. lots. A total of 184 dwelling units are planned at a density of 4.1 du/ac.

b. **Development Standards**

- 1) Access to Planning Area 2 will be provided via Street "A", Manzanita Park Road and local roads.
- 2) Neighborhood entries, as shown on Figures 39 and 40, are planned along Street "A" and Manzanita Park Road at the entrances into Planning Area 2.
- 3) Roadway landscape treatments, as shown on Figures 21, 23 and 24, are planned along Pennsylvania Avenue, Manzanita Park Road, Street "A" and local interior streets.
- 4) A project theme wall, as shown on Figure 58, is planned between the mini-park and the adjacent residential side and/or rear yards, and along Manzanita Park Road.
- 5) A 0.6-acre mini-park is planned within Planning Area 2.
- 6) A residential/mini-park edge condition, as shown on Figure 44, is planned as a buffer between residential and park uses.
- 7) Please refer to Sections III.A.1 through III.A.7 and III.C for the following development plans and standards that apply site-wide:

III.A.1.: Specific Land Use Plan
III.A.2.: Circulation Plan
III.A.3.: Drainage Plan
III.A.4.: Water and Sewer Plans

III.A.5.: Public Facility Sites and Project Phasing
III.A.6.: Grading Plan
III.A.7.: Open Space and Recreation Plan
III.C: Landscape Design Guidelines

3. **PLANNING AREA 3: MEDIUM DENSITY RESIDENTIAL (6,000 S.F. LOTS) AND MINI-PARK**

a. **Land Use**

Planning Area 3, as depicted on Figure 15C, provides for the development of 12.2 acres with Medium Density Residential 6,000 sq. ft. lots. A total of 47 dwelling units are planned at a density of 3.8 du/ac. A 1.3-acre mini-park also is provided within Planning Area 3, and will feature a variety of uses, including a tot lot, picnic grounds and open play areas.

b. **Development Standards**

- 1) Access to Planning Area 3 will be provided from Manzanita Park Road and local streets.
- 2) A neighborhood entry, as shown on Figures 39 and 40, is proposed along Manzanita Park Road at the entrance into Planning Area 3.
- 3) A Southern California Edison powerline easement (Planning Area 17) lies adjacent to the southern boundary of Planning Area 3 and will be landscaped in a park-like setting.
- 4) A residential/utility easement edge condition, as shown on Figure 54, will buffer the proposed residences from the adjacent easement in Planning Area 17.
- 5) Roadway landscape treatments, as shown on Figure 23 and 24, are planned along Manzanita Park Road and the interior local streets.
- 6) A project theme wall, as shown on Figure 58, will separate the proposed residences from the adjacent landscaped utility easement, mini-park and Manzanita Park Road streetscene.
- 7) A 1.3-acre mini-park is planned within Planning Area 3.
- 8) A residential/mini-park interface is planned as a buffer between the two uses, as shown on Figure 44.
- 9) Please refer to Sections III.A.1. through III.A.7. for the following development plans and standards that apply site-wide:

III.A.1.: Specific Land Use Plan
III.A.2.: Circulation Plan
III.A.3.: Drainage Plan
III.A.4.: Water and Sewer Plans

III.A.5.: Public Facility Sites and Project Phasing
III.A.6.: Grading Plan
III.A.7.: Open Space and Recreation Plan
III.C.: Landscape Design Guidelines

4. PLANNING AREA 4: MEDIUM DENSITY RESIDENTIAL (8,000 S.F. LOTS)

a. Land Use

Planning Area 4, as depicted on Figure 15D provides for the development of 15.2 acres with Medium Density Residential 8,000 sq. ft. lots. A total of 48 dwelling units are planned at a density of 3.1 du/ac.

b. Development Standards

- 1) Access to Planning Area 4 will be provided via Street "B" and local roads.
- 2) Roadway landscape treatments, as depicted on Figure 23, will be provided along the local streets within Planning Area 4.
- 3) A Southern California Edison powerline easement (Planning Area 17) lies adjacent to the southern boundary of Planning Area 4 and will be landscaped in a park-like setting.
- 4) A residential/utility easement edge condition, as shown on Figure 54, will buffer the proposed residences from the adjacent utility easement in Planning Area 17.
- 5) A project theme wall, as shown on Figure 58, will be used to separate residential side and/or rear yards from adjacent park, utility easement and off-site uses.
- 6) A residential/mini-park interface will provide a buffer between the two uses, as shown on Figure 44.
- 7) Please refer to Sections III.A.1. through III.A.7. and III.C for the following development plans and standards that apply site-wide:

III.A.1.: Specific Land Use Plan
III.A.2.: Circulation Plan
III.A.3.: Drainage Plan
III.A.4.: Water and Sewer Plans

III.A.5.: Public Facility Sites and Project Phasing
III.A.6.: Grading Plan
III.A.7.: Open Space and Recreation Plan
III.C: Landscape Design Guidelines

5. **PLANNING AREA 5: MEDIUM DENSITY RESIDENTIAL (8,000 S.F. LOTS)**

a. **Land Use**

Planning Area 5, as depicted on Figure 15E, provides for the development of 42.1 acres with Medium Density Residential 8,000 sq. ft. lots. A total of 136 dwelling units are planned at a density of 3.2 du/ac.

b. **Development Standards**

- 1) Access to Planning Area 5 will be provided via Streets "A" and "B".
- 2) A neighborhood entry, as shown on Figures 39 and 40, is planned along Street "A" and the entries into Planning Area 5. A residential/mini-park interface will buffer the two uses, as shown on Figure 44.
- 3) A 0.5-acre mini-park is planned within Planning Area 5.
- 4) The project theme wall, as shown on Figure 58, will separate the residential side or rear yards from the mini-park, drainage corridor (Planning Area 18) and off-site land uses.
- 5) A roadway landscape treatment, as shown on Figure 23, is planned along Street "A", Street "B" and the interior local streets within Planning Area 5.
- 6) Please refer to Sections III.A.1 through III.A.7 and III.C for the following development plans and standards that apply site-wide:

III.A.1.: Specific Land Use Plan
III.A.2.: Circulation Plan
III.A.3.: Drainage Plan
III.A.4.: Water and Sewer Plans

III.A.5.: Public Facility Sites and Project Phasing
III.A.6.: Grading Plan
III.A.7.: Open Space and Recreation Plan
III.C: Landscape Design Guidelines

6. PLANNING AREA 6: MEDIUM DENSITY RESIDENTIAL (6,000 S.F. LOTS)

a. Land Use

Planning Area 6, as depicted on Figure 15F, provides for the development of 16.0 acres with Medium Density Residential 6,000 sq. ft. lots. A total of 62 dwelling units are planned at a density of 3.8 du/ac. The Beaumont Unified School District has expressed interest in locating within the Seneca Springs property a 16-acre middle or 8-acre elementary school site. Planning Area 6 has been reserved within the Seneca Springs community as a potential school site. However, at the time of this Specific Plan preparation, no agreement between the School District and the project developer existed. If the School District pursues the purchase of all or a portion of Planning Area 6 for development of a middle or elementary school, a Specific Plan Amendment would not be required. If eight (8) acres are purchased for development of an elementary school, the remaining eight (8) acres shall be developed with thirty (30) medium density residential units (6,000 sq. ft. lots of 3.8 du/ac). The school site would have joint use of the adjacent neighborhood park in Planning Area 7A. If the School District should decline to purchase Planning Area 6 for development of a middle or elementary school, then the project proponent reserves the right to develop this site with the proposed 62 dwelling units.

b. Development Standards

- 1) Access to Planning Area 6 will be provided via Street "A".
- 2) A community secondary entry, as shown on Figures 33 and 34, is planned alongside Pennsylvania Avenue as it enters the project's northerly boundary.
- 3) Neighborhood entries, as shown on Figures 39 and 40, are planned along Street "A" at the entrances into Planning Area 6.
- 4) A residential/neighborhood park edge condition, as shown on Figure 43, is planned as a buffer between residential and park uses.
- 5) An open view wall, as shown on Figure 59, will separate residential from neighborhood park uses. A project theme wall, as shown on Figure 58, will separate residential uses from the utility easement (Planning Area 16B).
- 6) A residential/utility easement edge condition, as shown on Figure 54, will buffer the proposed residences from the adjacent utility easement in Planning Area 16B.
- 7) Roadway landscape treatments, as shown on Figures 21 and 23, are planned along Pennsylvania Avenue, Street "A" and the local interior streets within Planning Area 6.
- 8) Please refer to Sections III.A.1 through III.A.7 and III.C for the following development plans and standards that apply site-wide:

III.A.1.: Specific Land Use Plan
III.A.2.: Circulation Plan
III.A.3.: Drainage Plan
III.A.4.: Water and Sewer Plans
III.A.5.: Public Facility Sites and Project Phasing
III.A.6.: Grading Plan
III.A.7.: Open Space and Recreation Plan
III.C: Landscape Design Guidelines

7A. PLANNING AREA 7A: NEIGHBORHOOD PARK

a. Land Use

Planning Area 7A, as depicted on Figure 15G, provides for the development of an 11.1-acre Neighborhood Park. Anticipated uses within the park include sports fields, picnic grounds and benches, tot lots, open play areas, barbecue, restrooms and on-site parking. An illustrative site plan of this park is depicted in Figure 42.

b. Development Standards

- 1) Access to Planning Area 7A will be provided from Street "A" and Street "B".
- 2) A residential/neighborhood park edge condition, as depicted on Figure 43, is provided as a buffer between the proposed park and adjacent residential land uses in Planning Area 6. An open view wall, as shown on Figure 59, will separate park and residential uses.
- 3) A portion of the utility easement lies adjacent to the community park site. This easement (Planning Area 16B) will be landscaped in a park-like setting.
- 4) A conceptual park plan illustration is provided on Figure 42.
- 5) A neighborhood entry, as shown on Figures 39 and 40, is planned at the intersection of Street "A" and Street "B".
- 6) Roadway landscape treatments, as shown on Figures 22 and 23, are planned along Street "A" and Street "B".
- 7) Please refer to Sections III.A.1 through III.A.7 and III.C for the following development plans and standards that apply site-wide:

III.A.1.: Specific Land Use Plan

III.A.2.: Circulation Plan

III.A.3.: Drainage Plan

III.A.4.: Water and Sewer Plans

III.A.5.: Public Facility Sites and Project Phasing

III.A.6.: Grading Plan

III.A.7.: Open Space and Recreation Plan

III.C: Landscape Design Guidelines

7B. PLANNING AREA 7B: NEIGHBORHOOD PARK

a. Land Use

Planning Area 7B, as depicted on Figure 15H, provides for the development of a 2.3-acre Neighborhood Park. Anticipated uses within the park include a basketball court, restroom, open play areas and meandering pedestrian sidewalks.

b. Development Standards

- 1) Access to Planning Area 7B will be provided from First Street, Street "B" and through the neighborhood park in Planning Area 7A.
- 2) A conceptual park site plan is provided on Figure 41.
- 3) A park/cemetery edge condition, as shown on Figure 45, is planned as a buffer between on-site and off-site uses. The project theme wall, as depicted on Figure 58, also will be used to separate on- and off-site uses.
- 4) A gas line transmission easement lies adjacent to the southern boundary of Planning Area 7B and will be landscaped in a park-like setting.
- 5) Please refer to Sections III.A.1 through III.A.7 and III.C for the following development plans and standards that apply site-wide:

III.A.1.: Specific Land Use Plan

III.A.2.: Circulation Plan

III.A.3.: Drainage Plan

III.A.4.: Water and Sewer Plans

III.A.5.: Public Facility Sites and Project Phasing

III.A.6.: Grading Plan

III.A.7.: Open Space and Recreation Plan

III.C.: Landscape Design Guidelines

8. PLANNING AREA 8: TOWNHOME RESIDENTIAL

a. Land Use

Planning Area 8, as depicted on Figure 15I, provides for the development of an 18.0-acre Townhome complex. A total of 217 dwelling units are planned at a density of 12.0 du/ac. This Planning Area will feature a private recreation center and common open space area for the exclusive use of the townhome residents and their guests. The recreation center facilities will include, but not be limited to, a pool, spa and barbecues.

b. Development Standards

- 1) Access to Planning Area 8 will be provided from First Street and Street "B".
- 2) A community primary entry is proposed at the corner of First Street and Street "B", as shown on Figures 31 and 32.
- 3) A community intersection with a primary project entry is proposed along Street "B" at the entrance into Planning Area 8, as shown on Figures 35 and 36.
- 4) A neighborhood entry, as shown on Figures 39 and 40, is planned along First Street at the entrance into Planning Area 8.
- 5) A townhome residential/drainage corridor/park edge condition, as shown on Figure 46, depicts the transition between the three land uses.
- 6) Roadway landscape treatments are planned along First Street and Street "B", as depicted on Figures 18 and 22.
- 7) A conceptual townhome landscape plan is illustrated on Figure 56.
- 8) Please refer to Sections III.A.1 through III.A.7 and III.C for the following development plans and standards that apply site-wide:

III.A.1.: Specific Land Use Plan
III.A.2.: Circulation Plan
III.A.3.: Drainage Plan
III.A.4.: Water and Sewer Plans

III.A.5.: Public Facility Sites and Project Phasing
III.A.6.: Grading Plan
III.A.7.: Open Space and Recreation Plan
III.C: Landscape Design Guidelines

9. PLANNING AREA 9: PRIMARY RECREATION CENTER - RETIREMENT VILLAGE

a. Land Use

Planning Area 9, as depicted on Figure 15J, provides for the development of a 3.2-acre Recreation Center within the Retirement Village. This private Recreation Center will be for the exclusive use of the Retirement Village residents and their guests. Facilities will include, but not be limited to, a community multi-purpose center, swimming pool, spa, tennis courts and a variety of outdoor recreational amenities. A conceptual recreation center site plan is illustrated on Figure 47.

b. Development Standards

- 1) Access to Planning Area 9 will be provided from Street "C".
- 2) A community intersection with a project entry is proposed at the corners of Street "B" and Street "C", as shown on Figures 35 and 36.
- 3) A primary project entry at the Retirement Village is planned along Street "C", as shown on Figure 27.
- 4) An open view wall, as shown on Figure 59, is planned to enclose the recreation center adjacent to Streets "B", "C" and the utility easement (Planning Area 16A). A project theme wall, as shown on Figure 58, separates the recreation center from the adjacent residences in Planning Area 10.
- 5) A Retirement Village residential/recreation center edge condition, as depicted on Figure 49, will be provided to buffer the proposed residential uses in Planning Area 10 from the adjacent recreational center.
- 6) A gas line transmission easement (Planning Area 16A) lies adjacent to the southern boundary of Planning Area 9.
- 7) Please refer to Sections III.A.1 through III.A.7 and III.C for the following development plans and standards that apply site-wide:

III.A.1.: Specific Land Use Plan
III.A.2.: Circulation Plan
III.A.3.: Drainage Plan
III.A.4.: Water and Sewer Plans

III.A.5.: Public Facility Sites and Project Phasing
III.A.6.: Grading Plan
III.A.7.: Open Space and Recreation Plan
III.C: Landscape Design Guidelines

10. **PLANNING AREA 10: MEDIUM DENSITY RESIDENTIAL (60' X 90' LOTS) - RETIREMENT VILLAGE**

a. **Land Use**

Planning Area 10, as depicted on Figure 15K, provides for the development of 19.0 acres of Medium Density Residential 5,400 sq. ft. lots (60' x 90'). A total of 106 retirement dwelling units are planned at a density of 5.6 du/ac.

b. **Development Standards**

- 1) Access to Planning Area 10 will be off of Street "C".
- 2) A gas line transmission easement (Planning Area 16A) lies adjacent to the southern boundary of Planning Area 10, and will be landscaped in a park-like setting. A residential/utility easement landscape edge condition, as shown on Figure 53, and a project theme wall with open view fences at the access points, as shown on Figures 58 and 59, separates the residential from utility easement uses.
- 3) A residential/recreation center edge treatment, as depicted on Figure 49, will be provided to buffer the residential and recreational center uses.
- 4) A residential/greenbelt edge treatment, as depicted on Figure 51, will integrate the residential and greenbelt land uses.
- 5) A roadway landscape treatment will be provided along Street "C" and all Retirement Village local streets, as shown on Figure 26.
- 6) Please refer to Sections III.A.1 through III.A.7 and III.C for the following development plans and standards that apply site-wide:

III.A.1.: Specific Land Use Plan

III.A.2.: Circulation Plan

III.A.3.: Drainage Plan

III.A.4.: Water and Sewer Plans

III.A.5.: Public Facility Sites and Project Phasing

III.A.6.: Grading Plan

III.A.7.: Open Space and Recreation Plan

III.C: Landscape Design Guidelines

11A. PLANNING AREA 11A: MEDIUM DENSITY RESIDENTIAL - RETIREMENT (60' x 90' LOTS)

a. Land Use

Planning Area 11A, as depicted on Figure 15L1, provides for the development of 15.4 acres of Medium Density Residential 5,400 sq. ft. lots (60' x 90'). A total of 89 retirement dwelling units are planned at a density of 5.8 du/ac.

b. Development Standards

- 1) Access to Planning Area 11A will be provided by Street "C".
- 2) A secondary project entry is proposed at the corner of Street "C" and Street "D", as shown on Figures 28, 37 and 38.
- 3) A gas line transmission easement (Planning Area 16A) lies adjacent to the southern boundary of Planning Area 11A and will be landscaped in a park-like setting. A residential/utility easement edge condition as depicted in Figure 53, will buffer between the residential and utility easement uses.
- 4) Roadway landscape treatments, as shown on Figures 25 and 26, are planned along Street "D", Street "C" and all Retirement Village local streets.
- 5) A residential/recreation center edge treatment, as depicted on Figure 49, will be provided to buffer the residential and recreational center land uses.
- 6) A residential/greenbelt edge treatment, as depicted on Figure 51, will integrate the residential and adjacent greenbelt land uses.
- 7) A project theme wall, as depicted on Figure 58, separates the proposed residences from the adjacent R.V. storage lot (Planning Area 11B) and the adjacent linear greenbelt/landscaped utility easement (Planning Area 16A). A community theme wall, also shown on Figure 58, is planned along Street "D", adjacent to the Retirement Village.
- 8) Please refer to Sections III.A.1 through III.A.7 and III.C for the following development plans and standards that apply site-wide:

III.A.1.: Specific Land Use Plan
III.A.2.: Circulation Plan
III.A.3.: Drainage Plan
III.A.4.: Water and Sewer Plans

III.A.5.: Public Facility Sites and Project Phasing
III.A.6.: Grading Plan
III.A.7.: Open Space and Recreation Plan
III.C: Landscape Design Guidelines

11B. PLANNING AREA 11B: RECREATIONAL VEHICLE (R.V.) STORAGE

a. Land Use

Planning Area 11B, as depicted on Figure 15L2, provides for the development of a 1.1-acre R.V. storage facility. This storage area will be secured with fencing and a card or key activated gate system. Those Retirement Village residents who wish to store their R.V.'s here will pay a fee to the Retirement Village's Homeowner's Association, who in turn will provide maintenance of this facility.

b. Development Standards

- 1) Access to Planning Area 11B will be provided by Street "D".
- 2) A project theme wall, as shown on Figure 58, separates the adjacent residences and utility easement from the R.V. storage lot. A community wall, also shown on Figure 58, is planned between the R.V. storage lot and Street "D".
- 3) A roadway landscape treatment, as shown on Figure 25, is planned along Street "D".
- 4) Please refer to Sections III.A.1 through III.A.7 and III.C for the following development plans and standards that apply site-wide:

III.A.1.: Specific Land Use Plan
III.A.2.: Circulation Plan
III.A.3.: Drainage Plan
III.A.4.: Water and Sewer Plans

III.A.5.: Public Facility Sites and Project Phasing
III.A.6.: Grading Plan
III.A.7.: Open Space and Recreation Plan
III.C: Landscape Design Guidelines

12. PLANNING AREA 12: MEDIUM DENSITY RESIDENTIAL - RETIREMENT (55' x 85' LOTS)

a. Land Use

Planning Area 12, as depicted on Figure 15M, provides for the development of 27.2 acres of Medium Density Residential 4,675 sq. ft. lots (55' x 85'). A total of 169 retirement dwelling units are planned at a density of 6.2 du/ac.

b. Development Standards

- 1) Access to Planning Area 12 will be provided by Street "C".
- 2) A community primary entry is proposed at the corner of First Street and Street "B", as shown on Figures 31 and 32.
- 3) The primary project entry at the Retirement Village is depicted on Figure 27.
- 4) A secondary project entry, as depicted on Figures 28, 37 and 38, will be provided at the intersection of First Street and the secondary access into the Retirement Village.
- 5) A community intersection with a project entry will be provided at the intersection of Street "B" and Street "C", as depicted on Figures 35 and 36.
- 6) A residential/greenbelt edge treatment, as depicted on Figure 51, will integrate the residential and greenbelt land uses.
- 7) Roadway landscape treatments, as depicted on Figures 17, 22 and 26, will be provided along First Street, Street "B", Street "C" and all Retirement Village local streets.
- 8) A First Street/greenbelt interface is depicted on Figure 50.
- 9) A community wall, as shown on Figure 58, will separate the proposed residences from First Street and Street "B". A project theme wall, also shown on Figure 58, will separate the greenbelt from adjacent residences. An open view fence, as shown on Figure 59, will be provided at the access points to the greenbelts and residential cul-de-sacs that back up to First Street.
- 10) Please refer to Sections III.A.1 through III.A.7 and III.C for the following development plans and standards that apply site-wide:

III.A.1.: Specific Land Use Plan
III.A.2.: Circulation Plan
III.A.3.: Drainage Plan
III.A.4.: Water and Sewer Plans

III.A.5.: Public Facility Sites and Project Phasing
III.A.6.: Grading Plan
III.A.7.: Open Space and Recreation Plan
III.C: Landscape Design Guidelines

13. PLANNING AREA 13: MEDIUM DENSITY RESIDENTIAL - RETIREMENT (55' X 85' LOTS)

a. Land Use

Planning Area 13, as depicted on Figure 15N, provides for the development of 15.5 acres of Medium Density Residential 5,400 sq. ft. lots (55' x 85'). A total of 92 retirement dwelling units are planned at a density of 5.9 du/ac.

b. Development Standards

- 1) Access to Planning Area 13 will be provided by Street "C".
- 2) A secondary project entry, as depicted on Figures 28, 37 and 38, will be provided at the intersection of Street "C" and Street "D", and at the secondary entry off of First Street.
- 3) A neighborhood entry is proposed at the corner of First Street and Street "D", as depicted on Figures 39 and 40.
- 4) A community theme wall, as shown on Figure 58, is planned to separate the proposed residences from Street "D" and First Street. Open view fences, as shown on Figure 59, will be provided at access points where residential cul-de-sacs back onto First Street.
- 5) Roadway landscape treatments, as depicted on Figures 17, 25 and 26, will be provided along First Street, Street "C", Street "D" and all Retirement Village local streets.
- 6) Please refer to Sections III.A.1 through III.A.7 and III.C for the following development plans and standards that apply site-wide:

III.A.1.: Specific Land Use Plan
III.A.2.: Circulation Plan
III.A.3.: Drainage Plan
III.A.4.: Water and Sewer Plans

III.A.5.: Public Facility Sites and Project Phasing
III.A.6.: Grading Plan
III.A.7.: Open Space and Recreation Plan
III.C: Landscape Design Guidelines

14. PLANNING AREA 14: SECONDARY RECREATION CENTER - RETIREMENT VILLAGE

a. Land Use

Planning Area 14, as depicted on Figure 15O, provides for the development of a 0.7-acre secondary recreation center for the Retirement Village. A conceptual site plan of this recreation center is illustrated on Figure 48.

b. Development Standards

- 1) Access to Planning Area 14 will be provided from Street "C".
- 2) A residential/recreation center edge treatment, as depicted on Figure 49, will be provided to buffer the residential and recreational center land uses.
- 3) Please refer to Sections III.A.1 through III.A.7 and III.C for the following development plans and standards that apply site-wide:

III.A.1.: Specific Land Use Plan
III.A.2.: Circulation Plan
III.A.3.: Drainage Plan
III.A.4.: Water and Sewer Plans

III.A.5.: Public Facility Sites and Project Phasing
III.A.6.: Grading Plan
III.A.7.: Open Space and Recreation Plan
III.C: Landscape Design Guidelines

15. PLANNING AREA 15: NEIGHBORHOOD COMMERCIAL

a. Land Use

Planning Area 15, as depicted on Figure 15P, provides for development of a 13.7-acre Neighborhood Commercial Center. A day-care facility consisting of 1.4 acres will be incorporated into the Neighborhood Commercial center. An illustrative site plan of this commercial center is depicted on Figure 57.

b. Development Standards

- 1) Access to Planning Area 15 will be provided from Highland Springs Avenue and Street "D".
- 2) Community primary monuments are proposed at the corner of First Street and Highland Springs Avenue and at the southeast project boundary at Highland Springs Avenue, as shown on Figures 30 and 57.
- 3) A neighborhood entry is proposed at the corner of First Street and Street "D", as shown on Figures 39 and 40.
- 4) A commercial/utility easement edge treatment is depicted on Figure 52, to transition between the commercial uses and landscaped utility easement.
- 5) Roadway landscape treatments, as shown on Figures 19, 20 and 25, are planned along First Street, Highland Springs and Street "D".
- 6) Please refer to Sections III.A.1 through III.A.7 and III.C for the following development plans and standards that apply site-wide:

III.A.1.: Specific Land Use Plan
III.A.2.: Circulation Plan
III.A.3.: Drainage Plan
III.A.4.: Water and Sewer Plans

III.A.5.: Public Facility Sites and Project Phasing
III.A.6.: Grading Plan
III.A.7.: Open Space and Recreation Plan
III.C: Landscape Design Guidelines

16A. PLANNING AREA 16A: LINEAR GREENBELTS/LANDSCAPED UTILITY EASEMENT

a. Land Use

Planning Area 16A, as depicted on Figures 15Q, provides for development of 9.6 acres which consist of a 6-acre landscaped gas transmission line easement and 3.6 acres of linear greenbelts. Both will be enhanced by a detailed landscape palette and a meandering pedestrian/bike path system.

b. Development Standards

- 1) Access to Planning Area 16A can be achieved via Planning Areas 9, 10, 11A, 15 and 18.
- 2) A Retirement Village residential/utility easement edge condition, as depicted on Figure 53, will be provided to buffer the adjacent residential and easement land uses.
- 3) A commercial/utility easement edge treatment, as depicted on Figure 52, will be provided to transition between the commercial center and landscaped utility easement.
- 4) An open view wall, shown on Figure 59, will separate the landscaped utility easement from the adjacent recreation center in Planning Area 9. A project theme wall with open view fences at access points, as shown on Figures 58 and 59, will separate the easement from adjacent Retirement Village residential and R.V. storage lot uses.
- 5) Please refer to Sections III.A.1 through III.A.7 and III.C for the following development plans and standards that apply site-wide:

III.A.1.: Specific Land Use Plan
III.A.2.: Circulation Plan
III.A.3.: Drainage Plan
III.A.4.: Water and Sewer Plans

III.A.5.: Public Facility Sites and Project Phasing
III.A.6.: Grading Plan
III.A.7.: Open Space and Recreation Plan
III.C: Landscape Design Guidelines

16B. PLANNING AREA 16B: LANDSCAPED UTILITY EASEMENT

a. Land Use

Planning Area 16B, as depicted on Figure 15R, provides for development of a 3.7-acre landscaped gas transmission line easement. This easement will be enhanced by a detailed landscape palette and a meandering pedestrian/bike path system.

b. Development Standards

- 1) Access to Planning Area 16B can be achieved via Planning Areas 1, 6, 7A and 7B.
- 2) A residential/utility easement edge condition, as depicted on Figure 54, is provided to buffer residences from the adjacent utility easement. A project theme wall, as shown on Figure 58, separates the residential and utility easement uses.
- 3) A community secondary entry is proposed at the northern project boundary at Pennsylvania Street, as shown on Figures 33 and 34.
- 4) Please refer to Sections III.A.1 through III.A.7 and III.C for the following development plans and standards that apply site-wide:

III.A.1.: Specific Land Use Plan
III.A.2.: Circulation Plan
III.A.3.: Drainage Plan
III.A.4.: Water and Sewer Plans

III.A.5.: Public Facility Sites and Project Phasing
III.A.6.: Grading Plan
III.A.7.: Open Space and Recreation Plan
III.C.: Landscape Design Guidelines

17. PLANNING AREA 17: LANDSCAPED UTILITY EASEMENT

a. Land Use

Planning Area 17, as depicted on Figure 15S, provides for development of a 4.5-acre landscaped transmission line easement. This easement will be enhanced by a detailed landscape palette and a meandering pedestrian/bike path system.

b. Development Standards

- 1) Access to Planning Area 17 can be achieved via Planning Areas 3 and 4.
- 2) A residential/utility easement edge treatment, as depicted on Figure 54, will be provided to buffer the residential and utility easement land uses. A project theme wall, as shown on Figure 58, separates the residential and utility easement uses.
- 3) Please refer to Sections III.A.1 through III.A.7 and III.C for the following development plans and standards that apply site-wide:

III.A.1.: Specific Land Use Plan

III.A.2.: Circulation Plan

III.A.3.: Drainage Plan

III.A.4.: Water and Sewer Plans

III.A.5.: Public Facility Sites and Project Phasing

III.A.6.: Grading Plan

III.A.7.: Open Space and Recreation Plan

III.C: Landscape Design Guidelines

18. PLANNING AREA 18: DRAINAGE/OPEN SPACE CORRIDOR

a. Land Use

Planning Area 18, as depicted on Figure 15T, provides for development of a 6.9-acre drainage/open space corridor. This drainage corridor will be enhanced by a detailed landscape palette and will provide passive recreational uses.

b. Development Standards

- 1) Access to Planning Area 18 can be achieved via Planning Areas 8, 7A and 7B.
- 2) A townhome residential/drainage corridor/park edge condition, as depicted on Figure 46, will be provided as a transition between the three uses.
- 3) The drainage corridor shall be developed in compliance with City of Beaumont's Flood Control standards.
- 4) A project theme wall, as shown on Figure 58, will separate the drainage corridor from the adjacent residences in Planning Area 5. An open view fence, as shown on Figure 59, will separate the drainage corridor from the adjacent Hovchild Specific Plan.
- 5) A roadway landscape treatment, as shown on Figure 22, is planned along Street "B".
- 6) Please refer to Sections III.A.1 through III.A.7 and III.C for the following development plans and standards that apply site-wide:

III.A.1.: Specific Land Use Plan
III.A.2.: Circulation Plan
III.A.3.: Drainage Plan
III.A.4.: Water and Sewer Plans

III.A.5.: Public Facility Sites and Project Phasing
III.A.6.: Grading Plan
III.A.7.: Open Space and Recreation Plan
III.C: Landscape Design Guidelines

C. LANDSCAPE DESIGN GUIDELINES AND COMMUNITY ELEMENTS

1. INTRODUCTION

The landscape plays an important role in reinforcing the overall theme of the community. The primary intent of the project is to establish a Mediterranean character compatible with California's inland desert traditions.

A specific, consistent plant palette will be used throughout the streetscenes to reinforce the character of the community. The streetscenes will consist of vertical evergreen or medium-sized evergreen or deciduous canopy trees with the remaining trees serving as accents to enrich the community character throughout the year. All plant material will be selected for its adaptability to the project character, climate and soil types found at Seneca Springs.

The hardscape elements also will carry intended community character throughout the project. Entry monumentation will be incorporated to announce the arrival of various points of interest within the community. Hierarchy will be established through the use of plant material, design configuration and location. Community and project theme walls will function as a continual link and further reinforce the project's character. Upgraded paving also will be incorporated at designated entries and intersections to further embellish primary community locations. Project walls shall resemble the architectural detailing of the community.

Recreation plays an important role in Seneca Springs, as evidenced by the provision of the two neighborhood parks, three mini-parks, Retirement Village recreation centers, landscaped utility easements and linear greenbelts.

Through the use of plant material, hardscape elements and a distinct architectural style, a sense of place will be established within Seneca Springs.

The landscape architectural guidelines set forth represent the proposed concept for the commonly maintained areas associated with Seneca Springs. The intent of these guidelines is to provide a supplement to the architectural and site planning guidelines, so that Seneca Springs may represent a distinct and cohesive community.

2. COMMUNITY STREETSCENES AND EDGE CONDITIONS

A hierarchy of perimeter and interior landscape development has been planned consisting of major community, minor community, local and private road streetscenes. Each streetscene's landscape development hierarchy is uniform and consistent in order to provide a strong sense of community identity, see *Community Street Tree Plan*, Figure 16 and *Monumentation/Fence and Wall Plan*, Figure 29. All landscape plant materials for the community streetscenes and edge conditions are identified in the *Plant Material Guidelines*, Section III.C.7.

a. Major Community Streetscenes

The proposed landscape character for the streetscenes along First Street and Highland Springs Avenue shall consist of the following:

- Informal street tree pattern.
- Evergreen or deciduous medium size canopy trees in foreground.
- Vertical evergreen trees in background.
- Hierarchy of entry monumentation.
- Meandering sidewalks.
- Turf or ground cover in parkway on one or both sides of sidewalk.
- Community theme wall or fence per Fencing Plan. No wall at commercial land use edge.
- Three-foot-wide landscape buffer (groundcover and shrubs) at community walls and at commercial pad edges.

- 1) The First Street streetscene planting concept is informal in nature. The foreground comprises informally spaced, medium-sized evergreen or deciduous accent trees, while the background consists of vertical evergreen trees designed to screen adjacent uses from First Street. The First Street streetscene is defined as the planting area from the face of curb to the street right-of-way, a twelve-foot (12') distance, plus an expanded parkway beyond to the community theme wall. This streetscene incorporates a six-foot (6') wide concrete sidewalk, meandering to a minimum of four feet (4') away from the back of curb. A turf or groundcover parkway follows both sides of the walk, with the remaining three-foot (3') wide landscape buffer area adjacent to the community theme wall planted with a combination of groundcover and shrubs. (Please see *Retirement Village/First Street Edge Condition*, Figure 17; *Townhome Residential/First Street Edge Condition*, Figure 18; and *Commercial Site/First Street Edge Conditions*, Figure 19.)
- 2) The Highland Springs Avenue streetscene planting concept also is informal in nature. The foreground comprises informally spaced, medium-sized evergreen or deciduous accent trees, while the background consists of vertical evergreen background trees, designed to screen off-site uses from the proposed commercial center. The Highland Springs Avenue streetscene is defined as the twenty-two foot (22') wide parkway area from the face of curb to the edge of the commercial pad. This streetscene incorporates a six-foot (6') wide concrete sidewalk, meandering to a minimum of four feet (4') away from the back of curb. A turf or groundcover parkway follows both sides of the walk with the remaining

three-foot (3') wide landscape buffer area adjacent to the edge of commercial pad planted with a combination of groundcover and shrubs. (Please see *Commercial Site/Highland Springs Avenue Edge Condition*, Figure 20.)

In a situation where a slope occurs within the landscaped parkway, the following criteria will be followed:

- Slopes less than five feet (5') in height will have a gradient of 2:1 or less and taper down two feet (2') from the edge of the sidewalk. This will allow for vertical changes along the meandering sidewalk.
- Turf will be planted on slope gradients of 4:1 or less only.

The following planting criteria will occur within these major community streetscenes:

- Street trees will be planted informally spaced on either one or both sides of the sidewalk. Spacing shall allow for ample growth spread.
- All slopes greater than 4:1 will be planted with a combination of trees, shrubs and ground cover.
- All areas will be irrigated by an automatic system.

b. Minor Community Streetscenes

The proposed landscape character for the streetscene along Pennsylvania Avenue and Street "B" between First Street and Street "A" shall consist of the following:

- Formal street tree pattern - medium-sized flowering canopy trees.
- Tree groupings at entry monumentation per monumentation hierarchy.
- Community theme wall or fence per Fencing Plan.
- Standard width turf or groundcover parkways.
- Parallel sidewalks adjacent to curb.

1) The Pennsylvania Avenue streetscene planting concept consists of a single row of uniformly spaced street trees. This streetscene is defined as the area from the face of curb to the street right-of-way, a twelve-foot (12') distance. Included within the streetscene is a six-foot (6') wide concrete sidewalk parallel to the curb and a six-foot (6') wide landscaped parkway adjacent to the walk, planted with shrubs, turf or groundcover. (Please see *Pennsylvania Avenue Landscape Edge Condition*, Figure 21.)

2) The Street "B" streetscene planting concept (between First Street and Street "A") consists of a single row of uniformly spaced street trees. The streetscene comprises the area between the face of curb and the edges of street right-of-way, a twelve-foot (12') wide distance. Included within this streetscene is a six-foot (6') wide concrete sidewalk parallel to the curb and a six-foot (6') wide landscaped parkway adjacent to the walk, which will be planted with shrubs, turf or groundcover. (Please see *Street "B" Landscape Edge Condition (from First Street to Street "A")*, Figure 22).

The following planting criteria will occur within the minor community streetscenes:

- Street trees will be planted uniformly spaced on one side of the walk. Spacing shall allow for ample growth spread.
- Tree groupings at entry monumentation per monumentation hierarchy.
- All areas will be irrigated by an automatic system.

c. Local Road Streetscenes

The streetscene planting concept for the local project roads shall consist of the following:

- Formal street tree pattern.*
- Deciduous and flowering accent trees at ends of cul-de-sacs.
- Standard width turf or groundcover parkways.
- Parallel sidewalks adjacent to curb.*

* Note: With the exception of Street "D" adjacent to the commercial center, which will feature an informal street tree pattern and a meandering sidewalk in a 4'-10' expanded landscape parkway (width varies).

- 1) The streetscene planting concept along Street "A" and Street "B", south of Street "A" and all internal, single-family residential streets, shall consist of a single-row of uniformly spaced vertical (evergreen or deciduous) street trees, planted in a formal pattern. The streetscene is defined as the area from the face of curb to street right-of-way, a ten-foot (10') distance. Included within the streetscene is a six-foot (6') wide concrete sidewalk parallel to the curb and a four-foot (4') wide landscaped parkway adjacent to the walk, planted with groundcover or turf. (Please see *Typical Local Street*, Figure 23.)
- 2) The streetscene planting concept along Manzanita Park Road shall be similar to that of Streets "A" and "B", however a medium-sized, deciduous or evergreen canopy tree shall be used. (Please see *Manzanita Park Road Landscape Edge Condition*, Figure 24.)

3) The streetscene planting concept along the west side of Street "D", adjacent to the Retirement Village, will resemble that of Manzanita Park Road. The east side of Street "D", adjacent to the proposed commercial center, also will consist of medium-sized (deciduous or evergreen) canopy trees, however, they will be planted in an informal manner in conjunction with the expanded landscaped parkway. A six-foot (6') wide sidewalk will meander within the 4'-10' wide expanded parkway (width varies), and a combination of shrubs, groundcover and/or turf will be planted here. (Please see *Street "D" Landscape Edge Conditions*, Figure 25.)

The following planting criteria will occur within these parkways:

- Street trees will be planted in a linear pattern with the exception of Street "D" adjacent to the commercial center, which will be planted in an informal pattern in an expanded landscape parkway.
- Turf or groundcover will be planted within the parkway.
- All areas will be irrigated by an automatic system.

d. Private Road Streetscenes

The streetscene concept for the private roads within the Retirement Village, as shown on *Retirement Village Private Local Street Landscape Edge Condition*, Figure 26, shall consist of the following:

- Four-foot (4') wide sidewalks adjacent to curb on both sides of street.

Primary and secondary entries to the Retirement Village are enhanced entries with expanded eighty-foot (80') right-of-ways as depicted on the *Primary Project Entry at Retirement Village*, Figure 27, and *Secondary Project Entry at Retirement Village*, Figure 28.)

The following planting criteria will occur within these parkways:

- Street trees will be planted in a linear pattern within the parkway.
- Turf or groundcover will be planted within the parkway.
- All areas will be irrigated by an automatic system.

3. ENTRY MONUMENTATION

Through the use of monumentation at key locations, a sense of entry and place as well as a statement for the character for the entire community will be established, as shown on the

Monumentation and Fence and Wall Plan, Figure 29. Monumentation may consist of hardscape features such as walls, pilasters, signage, special paving at intersections and specialty lighting along with a distinctive landscape theme depending on its location in the community. The hardscape elements will be reflective of the community's architectural theme. Landscape plant materials are specified in the *Plant Material Guidelines*, Section III.C.7. The following monumentation hierarchy has been established:

- Community Primary Entry
- Community Secondary Entry
- Community Intersection and Primary Project Entry
- Project Entry
- Neighborhood Entry
- Commercial Site Monumentation

Please refer to the *Monumentation/Fence and Wall Plan*, Figure 29, for specific locations.

a. Community Primary Monument (Figure 30)

The Community Primary Monument will initially identify the Seneca Springs community. Two monuments will be incorporated along Highland Springs Avenue within the commercial site. One at the corner of Highland Springs Avenue and First Street and the other at the south end of the site adjacent to the utility easement. The following combination of elements will be used to create these community landmarks:

- Freestanding architectural element with community identification signage.
- Formal backdrop of evergreen theme trees.
- Foreground specimen trees at each end of monument wall.
- Formal planting of shrubs at the monument with a foreground of flowering ground cover and turf.

b. Community Primary Entry (Figures 31 and 32)

The Community Primary Entry will occur alongside the First Street/Street "B" intersection. The overall sense of entry will be established through the combination of the following elements:

- Community theme wall with community identification signage on both corners.
- Formal backdrop of evergreen theme trees.
- Foreground specimen trees at each end of monument wall.

- Upgraded paving in the street, such as stamped and colored concrete or concrete with a variety of finishes, as approved by the City of Beaumont.
- Shrub and groundcover median with median island accent tree - where occurs.
- Formal planting of shrubs at the monument wall with a foreground of flowering ground cover and turf.

c. Community Secondary Entry (Figures 33 and 34)

The Community Secondary Entry will occur where Pennsylvania Avenue enters the project and will visually identify the project for those passing by. The overall sense of entry will be established through the combination of the following elements:

- Community theme wall with community identification signage on both corners.
- Formal planting of shrubs at the monument wall with a foreground of flowering ground cover and turf.

d. Community Intersection With Project Entry (Figures 35 and 36)

The Community Intersection with a Project Entry will occur at the intersection of Street "B" and Street "C". The overall sense of place and entry into each project will be established through the combination of the following elements:

- Community theme wall with project identification signage on each corner. Where the Retirement Village entry occurs, the community theme wall will run back into the entry to an electronically controlled vehicular gate and keyed access pedestrian gate.
- Formal backdrop of evergreen theme trees.
- Foreground specimen trees at each side.
- Flowering accent trees at each end of the monument wall.
- Upgraded paving in the streets, such as stamped and colored concrete or concrete with a variety of finishes, as approved by the City of Beaumont.
- Shrub and groundcover median with median island accent tree - where occurs.
- Formal planting of shrubs at the monument wall with a foreground of flowering ground cover and turf.

e. Secondary Project Entries at Retirement Village (Figures 28, 37 and 38)

Additional project entries are planned for the Retirement Village. These will occur along First Street and Street "D". The Street "D" entry will be a scaled-down version of the secondary entry along First Street. The following combination of elements will be used to create distinct entry statements:

- Community theme wall with project identification signage on each corner. In the two locations where the Retirement Village entries occur, the community theme wall will run back into the entry to an electronically controlled vehicular gate and keyed access pedestrian gates.
- Evergreen theme trees at both sides of monument signage.
- Formal row of flowering deciduous accent trees along entry drive.
- Shrub and groundcover median island with accent trees - where occurs.
- Formal planting of shrubs at the monument wall with a foreground of flowering ground cover and turf.

f. Neighborhood Entries (Figures 39 and 40)

Within Seneca Springs, there are seven (7) Neighborhood Entry locations, five (5) are located along Street "A", one (1) at the corner of First Street and Street "D", and one (1) along Manzanita Park Road. Through the combination of the following elements, a sense of entry will be established for each neighborhood:

- Project Theme Wall at each corner.
- Formal foreground of deciduous flowering tree at each side.
- Formal planting of shrub massings at the monument wall with a foreground of flowering groundcover.

g. Commercial Site Monumentation (Figures 30 and 57)

The commercial site has three access points off of Highland Springs Road. At these locations, monumentation will be incorporated for site identification. The following combination of elements will be used to establish a sense of entry for the site:

- Freestanding site identification monument with signage.
- Backdrop of evergreen canopy tree.

- Formal foreground of deciduous flowering tree at each side.
- Shrub and groundcover median island with accent trees occurs at primary commercial entrance.
- Formal planting of shrubs at the monument with a foreground of flowering ground cover and turf.

4. **RECREATION AREAS**

A number of active and passive recreational facilities are planned for both the use of the entire community and the Retirement Village only, as identified below. The amenities listed within each recreational facility below, are included as the minimum requirements, and shall not prohibit future developers or builders from providing additional recreational uses in each facility. (For landscape transitions between recreational and adjacent uses, please see *Single Family Residential/Neighborhood Park Edge Condition*, Figure 43; *Single Family Residential/Mini-Park Edge Condition*, Figure 44; *Drainage Corridor/Park/Cemetery Edge Condition*, Figure 45; and *Townhome Residential/Drainage Corridor/Park Edge Condition*, Figure 46; and *Retirement Village Residential/Recreation Center Edge Condition*, Figure 49.

a. **Community Facilities**

- 1) 2.3-Acre Neighborhood Park - Planning Area 7B (see *Recreational Drainage Corridor and Neighborhood Park Plan*, Figure 41)
 - Basketball court
 - Open play areas
 - Picnic grounds and benches
 - 6-foot wide meandering walkway
 - Restroom facility
- 2) 11.1-Acre Neighborhood Park Site - Planning Area 7A (see *Neighborhood Park Site*, Figure 42)
 - Open play areas
 - Combination softball/soccer field
 - Barbecues
 - Tot lot with shade structure
 - 6-foot wide meandering walkway
 - Parking lot
 - Restroom facility
 - Picnic grounds and benches

3) Mini-Parks - Within Planning Areas 2, 3 & 5

- Tot lot
- Open play area
- Picnic grounds and benches

b. Retirement Village Facilities

1) 3.2-Acre Primary Recreation Center - Planning Area 9 (see *Private Primary Recreation Center Plan*, Figure 47)

- Recreation building with facilities for gatherings, events, crafts, hobbies and exercise (building size shall be 5,000 sq. ft. minimum)
- Swimming pool
- Spa
- Sunning and shaded decking
- Tennis courts
- Open turf area for outdoor games and entertainment
- Outdoor patio - partially covered - for outdoor games and entertainment
- Parking lot

2) 0.7-Acre Secondary Recreation Center - Planning Area 14 (see *Secondary Recreation Center*, Figure 48)

- Cabana with restroom facilities
- Swimming pool
- Spa
- Swimming deck
- Covered patio

The following planting criteria will occur within all public and private recreational areas:

- A unique character will be developed through the use of accent planting such as palm trees where pools occur. An atmosphere of recreation and relaxation will be emphasized.
- Trees will be planted in informal groupings to define space, provide shade and add general interest.
- Flowering and deciduous trees will be planted to provide accent or focal elements as well as seasonal change.

- Shrub and groundcover areas will be incorporated to soften architectural elements, define spaces and add general interest.
- All slopes will be planted with a combination of trees, shrubs and ground cover.
- Turf will be planted on slope gradients of 4:1 or less only.

c. Linear Greenbelts and Landscaped Utility Easements

The proposed linear greenbelts and landscaped utility easements provide open space corridors, linking the various recreational amenities throughout the community. Where these greenbelts/easements interface with adjacent uses, a variety of edge conditions are created. Please see the following exhibits: *First Street and Adjacent Greenbelts Plan*, Figure 50; *Retirement Village Residential/Greenbelt Edge Condition*, Figure 51, *Commercial Site/Utility Easement Edge Condition*, Figure 52; *Retirement Village Residential/Utility Easement Edge Condition*, Figure 53, *Single Family Residential/Utility Easement Edge Condition*, Figure 54; and *Single Family Residential/Utility Easement/Cemetery Edge Condition*, Figure 55.

The landscape character for these open space areas shall consist of the following:

- 50'-80'-wide landscape area from perimeter wall to perimeter wall or perimeter wall to project boundary.
- Informal plantings of evergreen and deciduous trees.
- A twelve-foot (12') wide pedestrian/bike trail is planned within the greenbelts and landscaped utility easements. The trail will horizontally and vertically meander to within five feet (5') of the perimeter walls or project boundary lines when space and grades allow. The pedestrian/bicycle trail will be designed and installed per the requirements and guidelines of the utility company that owns the easement and of the City of Beaumont.
- Greenbelts developed within the Retirement Village may be private and gated from the general public. These passive recreational corridors will in turn lead to other community recreational facilities.
- All linear greenbelts and landscaped utility easements are intended to provide both open space and recreation. The twelve-foot (12') wide pathways will provide jogging, walking and bicycling opportunities, while the open space will promote play and picnicking. An exercise par course also may be incorporated into the greenbelts and landscaped easements.

In a situation where a slope occurs within the greenbelts or easements, the following criteria will be followed:

- No slope will exceed a gradient of 2:1 and will taper down 2' from the edge of the trail. This will allow for vertical changes along the walk.
- Turf will be planted on slopes of 4:1 or less only.
- All slopes greater than 4:1 will be planted with a combination of shrubs and ground cover, which may be hydroseeded.

The following planting criteria will occur within the greenbelts and easements:

- All trees will be planted in the designated easements per the requirements and guidelines of the utility company that owns the easement and of the City of Beaumont.
- All trees will be spaced to allow for ample growth spread.
- Flowering and deciduous trees will be planted at key areas to provide focal elements and seasonal change.
- Shrub areas will occur along the base of perimeter walls and project boundary line with a minimum width of three feet (3').
- All areas will be irrigated by an automatic system.

5. TOWNHOME SITE LANDSCAPING

The townhome portion of Seneca Springs brings an attached product to the community. Through the use of monumentation and planting, this site will become an integral part of the community. The landscape criteria shall be as follows:

- Project entry statements shall be compatible with the building architecture and provide project identification. A distinctive landscape theme will be developed at the entrance into this Planning Area and carried throughout the site's streetscenes.
- All buffer areas along the perimeter of the site, including streetscenes, will be landscaped to harmoniously blend with the surrounding community's character.
- The landscaping theme within the multi-family site will emphasize the overall community's character. All open space within the site will be considered common area and will be landscaped with a combination of turf, ground cover, shrubs and trees.

- Shrubs and trees will be planted around the units to soften the building architecture while enhancing and defining space. Flowering and deciduous trees will provide shade and seasonal interest. All slopes greater than 4:1 gradient will be planted with ground cover, shrubs and trees. Turf will be planted on gradients of 4:1 or less. All planting areas will be irrigated with an automatic system.

a. Recreation Facility

Within the townhome site, a private recreational center will be developed with the following amenities (see *Townhome Residential Landscape Plan* illustrated on Figure 57):

- Swimming pool
- Spa
- Sunning deck
- Covered patio area

The following planting criteria will be used for the recreation center:

- Accent plantings, such as palm and specimen trees, are encouraged to promote a unique character. An atmosphere of recreation and relaxation will be emphasized.
- Trees will be planted in informal groupings to define space, provide shade and add general interest.
- Flowering and deciduous trees will be planted to provide accent or focal elements as well as seasonal change.
- Shrub and ground cover areas will be incorporated to soften architectural elements, define spaces and add general interest.
- All slopes will be planted with a combination of trees, shrubs and ground cover.
- Turf will be planted on slope gradients of 4:1 or less only.
- All areas will be irrigated with an automatic system.

6. COMMERCIAL CENTER LANDSCAPING

The commercial center at Seneca Springs provides an extremely important and convenient amenity to the community. Because of this role, it is important that the landscaping and monumentation (along with architectural design) reinforce the overall community character (see *Commercial Site Landscape and Monumentation Plan*, Figure 57). Within the commercial center, this goal will be achieved through the following landscape criteria:

- Commercial entry monumentation will be compatible with the building architecture and provide a statement of identification. A distinctive landscape theme will be developed at these entries and maintained throughout the commercial site.
- All buffer areas along the perimeter of the commercial center, including streetscenes, will be landscaped to blend with the surrounding community's character.
- The landscaping theme for the site will emphasize the overall community's character. All areas within the site will be landscaped with a combination of turf, ground cover, shrubs and trees.
- Shrubs and trees will be planted around the buildings soften the building architecture as well as enhance and define spaces. Flowering and deciduous trees will provide shade and seasonal interest. All slopes greater than 4:1 gradient that occur within the site will be planted with ground cover, shrubs and trees. Turf will be planted on gradients of 4:1 or less. All planted areas will be irrigated with an automatic system.
- Parking lot tree plantings will include a design and species that will create a canopy grove. Landscaped islands will be provided at the middle and ends of interior stall rows, as conceptually illustrated on the *Commercial Site Landscape and Monumentation Plan.*, Figure 57.
- All parking areas along streets will be buffered by landscaped berms or shrubs.

7. PLANT MATERIAL GUIDELINES

It is important for each participant in the development of Seneca Springs to understand the overall landscape development concept of the community. Proper selection and use of the plant materials, while emphasizing individual project themes, also must reinforce the overall community identity.

The selection of plant materials for Seneca Springs shall generally reinforce the "California Desert/Inland Valley" thematic image, as well as the particular architectural style of each project element. An emphasis shall be placed on indigenous, naturalized and drought resistant species of plant materials.

a. Major Community Streetscene Landscape Tree Palette

The street trees selected shall be used as informally spaced trees for specified major community streetscenes, Highlands Springs Avenue and First Street. These trees may be used to block or frame views.

1) Evergreen or Deciduous Accent Tree Palette

<u>Botanical Name</u>	<u>Common Name</u>
<i>Alnus cordata</i>	Italian Alder
<i>Alnus rhombifolia</i>	White Alder
<i>Cinnamomum camphora</i>	Camphor Tree
<i>Geijera parviflora</i>	Australian Willow
<i>Gleditsia triacanthos "Inermis"</i>	Locust
<i>Jacaranda acutifolia</i>	Jacaranda
<i>Koelreuteria bipinnata</i>	Chinese Flame Tree
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Liquidambar styraciflua</i>	Liquidambar
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Prunus cerasifera "Atropurpurea"</i>	Purple Leaf Plum
<i>Schinus terebinthifolius</i>	Brazilian Pepper

2) Vertical Evergreen Background Tree Palette

<u>Botanical Name</u>	<u>Common Name</u>
<i>Brachychiton populneum</i>	Bottle Tree
<i>Eucalyptus cladocalyx</i>	Sugar Gum
<i>Eucalyptus polyanthemos</i>	Silver Dollar Gum
<i>Eucalyptus rufa</i>	Desert Gum
<i>Eucalyptus sideroxylon "Rosea"</i>	Red Iron Bark
<i>Pinus canariensis</i>	Canary Island Pine
<i>Pinus eldarica</i>	Mondell Pine
<i>Pinus halepensis</i>	Aleppo Pine
<i>Pinus pinea</i>	Italian Stone Pine

b. Minor Community Streetscene Landscape Tree Palette

The trees selected shall be evergreen or deciduous flowering canopy trees, formally spaced along Pennsylvania Avenue and Street "B" between First Street and Street "A".

1) Evergreen or Deciduous Flowering Canopy Tree Palette

<u>Botanical Name</u>	<u>Common Name</u>
<i>Albizia julibrissin</i>	Mimosa Tree
<i>Arbutus unedo</i>	Strawberry Tree
<i>Brachychiton populneum</i>	Bottle Brush Tree
<i>Jacaranda acutifolia</i>	Jacaranda

<i>Koelreuteria panniculata</i>	Golden Rain Tree
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Prunus cerasifera</i>	Purple Leaf Plum
<i>Pyrus Kawakamii</i>	Evergreen Pear

c. Local and Private Road Streetscene Landscape Tree Palette

The trees selected for the local and private road streetscenes shall be either vertical, evergreen or deciduous street trees (Street "A", Street "B" south of Street "A" and all internal single-family residential streets) or medium-sized, evergreen or deciduous canopy trees (Manzanita Park Road, Street "C", Street "D" and all Retirement Village private roads).

1) Vertical Evergreen or Deciduous Tree Palette

<u>Botanical Name</u>	<u>Common Name</u>
<i>Betula nigra</i>	Red Birch
<i>Betula pendula</i>	European White Birch
<i>Eucalyptus polyanthemos</i>	Silver Dollar Gum
<i>Pinus canariensis</i>	Canary Island Pine
<i>Pinus elderica</i>	Mondel Pine
<i>Pinus halepensis</i>	Aleppo Pine
<i>Podocarpus gracilior</i>	Fern Pine
<i>Prunus cerasifera</i>	Purple Leaf Plum

2) Medium-Sized, Evergreen or Deciduous Canopy Tree Palette

<u>Botanical Name</u>	<u>Common Name</u>
<i>Alnus cordata</i>	Italian Alder
<i>Alnus rhombifolia</i>	White Alder
<i>Ceratonia siliqua</i>	Carob
<i>Cinnamomum camphora</i>	Camphor Tree
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Platanus chinensis</i>	Chinese Pistache
<i>Platanus racemosa</i>	California Sycamore
<i>Podocarpus gracilior</i>	Fern Pine
<i>Prunus cerasifera</i>	Purple Leaf Plum
<i>Rhus lancea</i>	African Sumac

d. Entry Monumentation Tree Palette

These trees should be repeated at significant points of the project to define a sense of arrival and add community interest. The systematic use of these trees is encouraged in order to reinforce the continuity of the design theme of Seneca Springs.

1) Evergreen Theme Tree Palette

<u>Botanical Name</u>	<u>Common Name</u>
<i>Brachychiton populneum</i>	Bottle Tree
<i>Cupressus sempervirens</i>	Italian Cypress
<i>Pinus canariensis</i>	Canary Island Pine
<i>Pinus eldarica</i>	Mondell Pine
<i>Pinus halepensis</i>	Aleppo Pine
<i>Pittosporum phillyraeoides</i>	Willow Pittosporum
<i>Podocarpus gracilior</i>	Fern Pine

2) Specimen Accent Tree Palette

<u>Botanical Name</u>	<u>Common Name</u>
<i>Hymenosporum flavum</i>	Sweet Shade
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Pistacia chinensis</i>	Chinese Pistache
<i>Platanus racemosa</i>	California Sycamore
<i>Quercus agrifolia</i>	California Live Oak
<i>Quercus kelloggii</i>	California Black Oak
<i>Schinus molle</i>	California Pepper
<i>Schinus terebinthifolius</i>	Brazilian Pepper

3) Median Island Tree Palette

Median island trees may be selected from the Evergreen Theme Trees or Specimen Accent Trees above.

4) Neighborhood Entry Accent and Neighborhood Streetscene Accent Tree Palette

At Neighborhood Entry Monument locations and as neighborhood streetscene accent trees, the following trees are categorized as accent trees:

<u>Botanical Name</u>	<u>Common Name</u>
<i>Albizia julibrissin</i>	Mimosa Tree
<i>Alnus cordata</i>	Italian Alder
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Malus floribunda</i>	Japanese Flowering Crabapple
<i>Pistacia chinensis</i>	Chinese Pistache
<i>Prunus cerasifera "Atropurpurea"</i>	Purple Leaf Plum
<i>Robinia ambigua "Idahoensis"</i>	Idaho Locust
<i>Sapium sebiferum</i>	Chinese Tallow Tree
<i>Schinus molle</i>	California Pepper

e. Recreational Areas Landscape Tree Palette

1) The following tree palette will be used within the public and private park sites:

<u>Botanical Name</u>	<u>Common Name</u>
<i>Cedrus deodara</i>	Deodar Cedar
<i>Ceratonia siliqua</i>	Carob
<i>Cinnamomum camphora</i>	Camphor Tree
<i>Cupressocyparis leylandii</i>	Leyandii Cypress
<i>Cupressus sempervirens</i>	Italian Cypress
<i>Fraxinus uhdei</i>	Evergreen Ash
<i>Geijera parviflora</i>	Australian Willow
<i>Gleditsia triacanthos</i>	Honey Locust
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Phoenix dactylifera</i>	Date Palm
<i>Pinus halepensis</i>	Aleppo Pine
<i>Pinus pinea</i>	Italian Stone Pine
<i>Pinus elderica</i>	Mondel Pine
<i>Prunus cerasifera "Atropurpurea"</i>	Purple Leaf Plum
<i>Rhus lancea</i>	African Sumac
<i>Schinus terebinthifolius</i>	Brazilian Pepper
<i>Washingtonia robusta</i>	Mexican Fan Palm

2) The following tree palette will be used within the greenbelts and landscaped utility easements:

<u>Botanical Name</u>	<u>Common Name</u>
<i>Cupressocyparis leylandii</i>	Leyandii Cypress
<i>Cupressus sempervirens</i>	Italian Cypress
<i>Geijera parviflora</i>	Australian Willow
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Phoenix dactylifera</i>	Date Palm
<i>Pinus elderica</i>	Mondel Pine
<i>Prunus cerasifera "Atropurpurea"</i>	Purple Leaf Plum
<i>Rhus lancea</i>	African Sumac
<i>Schinus terebinthifolius</i>	Brazilian Pepper
<i>Washingtonia robusta</i>	Mexican Fan Palm

f. Multi-Family Site Tree Palette

1) The following tree palette will be used within the recreation center of the multi-family planning area:

<u>Botanical Name</u>	<u>Common Name</u>
<i>Geijera parviflora</i>	Australian Willow
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Pinus pinea</i>	Italian Stone Pine
<i>Pinus elderica</i>	Mondel Pine
<i>Prunus cerasifera "Atropurpurea"</i>	Purple Leaf Plum
<i>Rhus lancea</i>	African Sumac
<i>Schinus terebinthifolius</i>	Brazilian Pepper

g. Commercial Center Tree Palette

1) The following tree palette will be used within the commercial center:

<u>Botanical Name</u>	<u>Common Name</u>
<i>Ceratonia siliqua</i>	Carob
<i>Cinnamomum camphora</i>	Camphor Tree
<i>Cupressocyparis leylandii</i>	Leyandii Cypress
<i>Cupressus sempervirens</i>	Italian Cypress
<i>Geijera parviflora</i>	Australian Willow

Gleditsia triacanthos	Honey Locust
Lagerstroemia indica	Crape Myrtle
Magnolia grandiflora	Southern Magnolia
Phoenix dactylifera	Date Palm
Pinus elderica	Mondel Pine
Pinus pinea	Italian Stone Pine
Pinus halepensis	Aleppo Pine
Prunus cerasifera "Atropurpurea"	Purple Leaf Plum
Rhus lancea	African Sumac
Schinus terebinthifolius	Brazilian Pepper
Washingtonia robusta	Mexican Fan Palm

h. Community Plant Palette

It is the intent of these guidelines to provide flexibility and diversity in plant material selection, while maintaining a limited palette in order to give greater unity and thematic identity to the community. The plant material lists have been selected for their appropriateness to the project theme, climatic conditions, soil conditions and concern for maintenance.

A limited selection of materials used in simple, significant composition, complimentary to adjacent common landscape areas, while reinforcing the individual architectural and site setting is encouraged. Wherever possible, overall plant material selection for given project areas shall have compatible drought resistant characteristics. Irrigation programming can then be designed to minimize water application for the entire landscape setting.

Limited plant material selection for common landscape areas associated with Seneca Springs, as described in the text, is contained in the following palette. In addition, a wider variety of plant materials compatible with project theme and setting are listed for use within Seneca Springs.

<u>Botanical Name</u>	<u>Common Name</u>
TREES - EVERGREEN	
Arbutus unedo	Strawberry Tree
Brachychiton populneum	Bottle Tree
Cedrus deodara	Deodar Cedar
Ceratonia siliqua	Carob
Cinnamomum camphora	Camphor Tree
Cupressus glabra	Smooth Arizona Cypress
Eucalyptus cladocalyx	Sugar Gum
Eucalyptus polyanthemos	Silver Dollar Gum
Eucalyptus rufa	Desert Gum
Eucalyptus sideroxylon "Rosea"	Red Iron Bark
Eucalyptus viminalis	White Gum

Hymenosporum Flavum	Sweet Shade
Laurus nobilis	Sweet Bay
Magnolia grandiflora	Southern Magnolia
Olea europaea "Fruitless"	Fruitless Olive
Pinus canariensis	Canary Island Pine
Pinus halepensis and eldarica	Aleppo Pine
Pinus pinea	Italian Stone Pine
Pittosporum phillyraeoides	Willow Pittosporum
Podocarpus gracilior	Fern Pine
Quercus agrifolia	California Live Oak
Quercus ilex	Holly Oak
Quercus suber	Cork Oak
Schinus molle	California Pepper
Ulmus parvifolia "Drake"	Evergreen Elm
Umbellularia californica	California Bay

TREES - DECIDUOUS

Albizia julibrissin	Mimosa Tree
Alnus cordata	Italian Alder
Alnus rhombifolia	White Alder
Betula nigra	Red Birch
Betula pendula	European White Birch
Fraxinus oxyacarpa "Raywood"	Raywood Ash
Fraxinus uhdei "Tomlinson"	Tomlinson Ash
Gingko biloba Species	Maidenhair Tree
Koelreuteria bipinnata	Chinese Flame Tree
Koelreuteria panniculata	Golden Rain Tree
Lagerstroemia indica	Crape Myrtle
Liquidambar styraciflua	Sweet Gum
Malus floribunda	Japanese Flowering Crabapple
 	Sour Gum
Nyssa sylvatica	Chinese Pistache
Pistacia chinesis	London Plane Tree
Platanus acerifolia	California Sycamore
Prunus racemosa	Purple Leaf Plum
Prunus cerasifera	Evergreen Pear
Pyrus kawakamii	California Black Oak
Quercus kelloggii	Weeping Willow
Salix babylonica	Chinese Tallow Tree
Sapium sebiferum	Japanese Pagoda Tree
Sophora japonica	Sawleaf Zelkova
Zelkova serrulata	

PALMS

<i>Brahea armata</i>	Mexican Blue Palm
<i>Brahea edulis</i>	Guadalupe Palm
<i>Chamaerops humilis</i>	Mediterranean Fan Palm
<i>Phoenix canariensis</i>	Canary Island Date Palm
<i>Washington filifera</i>	California Fan Palm
<i>Washington robusta</i>	Mexican Fan Palm

SHRUBS

<i>Abelia grandiflora</i> (S)	Edward Goucher
"Edward Goucher" (S)	Abelia
<i>Berberis</i> species (SH)	Barberry
<i>Camellia</i> species (SH)	Camellia
<i>Cocculus laurifolius</i> (S)	Snailseed
<i>Cotoneaster</i> species (S)	Cotoneaster
<i>Elaeagnus pungens</i> (S)	Silver Berry
<i>Euonymus fortunei</i> (S)	N.C.N.
<i>Euonymus japonica</i> (S)	Evergreen Euonymus
<i>Escallonia exoniensis</i> "Fradesii" (S)	Escallonia
<i>Hebe coed</i> (S, SH)	Veronica
<i>Ilex</i> species (SH)	Holly
<i>Leptospermum scoparium</i> (S)	New Zealand Tea Tree
<i>Ligustrum japonicum</i> (S, SH)	Japanese Privet
<i>Nandina domestica</i> and "Compacta" (S, SH)	Heavenly Bamboo
<i>Osmanthus fragrans</i> (S, SH)	Sweet Olive
<i>Photinia frazeri</i> (S)	Photinia
<i>Pittosporum tobira</i> and "Wheelers Dwarf" (S, SH)	Mock Orange
<i>Podocarpus macrophyllus</i> (S, SH)	Yew Pine
<i>Prunus caroliniana</i> (S)	Carolina Laurel Cherry
<i>Prunus ilicifolia</i> (S)	Hollyleaf Cherry
<i>Psidium littorale</i> (S)	Guava
<i>Pyracantha</i> species (S, SH)	Firethorn
<i>Raphiolepis indica</i> species (S, SH)	Pink Indian Hawthorn
<i>Ternstroemia gymnanthera</i> (SH)	N.C.N.
<i>Viburnum tinus</i> species (S, SH)	Viburnum
<i>Xylosma congestum</i> (S)	Xylosma

SUB-SHRUBS

<i>Agapanthus africanus</i> (S, SH)	Lily of the Nile
<i>Arctostaphylos</i> species (S)	Manzanita
<i>Erica darleyensis</i> "Darley Dale" (SH)	Heath

Escallonia compacta (S)
Hemerocallis species (S)
Juniperus species (S)
Lonicera japonica "Halliana" (S)
Trachelosperum jasminoides (S, SH)

Compact Escallonia
Day Lily
Juniper
Fortnight Lily
Star Jasmine

VINES

Bigonia chere (S)
Clematis armandii
Clytostoma callistegioides
Doxantha unguis-cati (S)
Gelsemium sempervirens (S)
Grewia caffra (S)
Jasminum mesyni (S)
Jasminum polyanthum (S)
Parthenocissus tricuspidata
Pyracantha coccinea "Lalandeii"
Wisteria floribunda (S)

Blood Red Trumpet
Evergreen Clematis
Violet Trumpet Vine
Cat's Claw Vine
Carolina Jasmine
Lavendar Star Flower
Primrose Jasmine
N.C.N.
Boston Ivy
Firethorn
Wisteria

GROUNDCOVERS

Baccharis pilularis "Twin Peaks" (S)
Duchesnea indica (S, SH)
Hedera helix (SH)
Hypericum calycinum (S)
Lonicera japonica (S)
Myoporum parvifolium (S)
Potentilla verna (S, SH)
Rosemarinus officinalis (S)

Coyote Brush
Indian Mock Strawberry
English Ivy
Aaron's Beard
Honeysuckle
Myoporum
Cinquefoil
Rosemary

(S) - Tolerates sun in this planting zone.

(SH) - Tolerates shade in this planting zone.

TURF GRASS - SEED

- Year-round Turf Grass Mix:

90% Festuca arunidinacea - Alta Fescue - 10 lbs. per 1,000 SF
10% Kentucky Bluegrass

- Suitable Seasonal Mixes:

Common Bermuda - *Cynodon dactylon*
Hybrid Bermuda

The planting time will vary for these types as Bermuda grass should not be planted during its dormant season.

i. General Landscape Procedures

All required landscaped areas will be planted with turf, ground cover, shrub or tree materials selected from the plant palette set forth in these guidelines. Planting on slopes will take place upon completion of grading. Depending on the time of year, a rapid, short-term ground cover may be incorporated along with the long term cover to provide immediate erosion control. Because of climate extremes that exist in the Beaumont area, it may be necessary to delay planting the long-term cover until more favorable weather permits. This precaution will be taken to insure the acclimation and survival of new material. All material will be chosen and planted for its suitability to existing soil and climatic conditions.

j. Climate Constraints

Temperature extremes and limited rainfall have been the determining factors in preparing the plant palette for Seneca Springs. Microclimate conditions that will exist within the community once it is established, have been considered when the conceptual planting scheme was prepared. The following is a summary of the climatic conditions found in the Beaumont area.

- **Temperature:**

The average summer daytime maximum temperature is 92 degrees Fahrenheit with the average nighttime temperature being 56 degrees Fahrenheit. The average winter daytime temperature is 58 degrees Fahrenheit with an average nighttime temperature of 37 degrees Fahrenheit. Generally the extreme summer temperature is 105 to 110 degrees Fahrenheit and generally the minimum winter temperature is 15 to 20 degrees Fahrenheit.

- **Rain:**

Average annual rainfall is 17 inches per year.

- **Humidity:**

Average annual humidity is 24.5%.

k. Horticultural Soils Tests

Because the possibility for diverse soils conditions on the site may exist, soil samples will be gathered and submitted for horticultural suitability testing. The results will help in determining proper planting and maintenance requirements for the proposed plant material. All testing will be performed by a qualified agricultural laboratory and will include results for agricultural suitability, soil fertility and pre- and post-planting recommendations.

l. Irrigation

All landscape areas will be irrigated with a permanent, underground irrigation system. All shrub, slope and turf areas will be watered separately in a manner to insure proper coverage within and between areas.

The irrigation system shall be designed to conform to the State's Water Conservation Assembly Bill 325. Water saving irrigation equipment may include flow sensors, moisture sensors, irrigation programs utilizing California Irrigation Management Information System (CIMIS) data.

All irrigation equipment, design and installation will take into account the climate extremes of Beaumont as well as the safety of the residents. Equipment will be chosen that can stand up to the temperature extremes as well as provide ample coverage when its required. All equipment such as backflow prevention devices and controllers will be located to prevent a safety hazard and placed or screened with plant material from minimum public visibility. Where irrigation heads occur along hardscape surfaces, pop-up heads will be used.

m. Landscape Maintenance

All landscape and irrigation will be designed with ease of maintenance in mind. Plant material will be selected for size and form to facilitate minimum pruning. All spacing will reflect both mature size requirements as well as initial appearance of the community.

Landscaped areas will be maintained in accordance to the best industry standards for professional landscape maintenance. Maintenance will include the following:

- Watering
- Fertilization
- Mowing and edging of turf
- Pruning and trimming of shrubs and ground cover
- Herbicide program
- Pesticide program
- General overall clean up of planting and hardscape areas
- Replacement of dead plant material
- Routine irrigation system maintenance, inspection and repair as needed

8. WALLS AND FENCES

Along with landscaping, walls will play a key role in unifying the community theme. The community theme and project walls will have a strong visual tie to the architectural style and entry monumentation. Because the Retirement Village is gated, a combination of walls, fencing and gates will be incorporated at each entry point (see *Monumentation and Fence and Wall Plan*, Figure 29).

a. Community Theme Walls (Figure 58)

The community theme walls will serve as the primary wall treatment providing security and privacy along First Street, portions of Street "B", Street "D" and into the entries of the Retirement Village. This wall will be constructed of a masonry material with pilasters or columns occurring at changes in horizontal and vertical direction and at other intervals appropriate to the length of the wall run. Long expanses of walls greater than 200' with no change in horizontal and vertical direction are not permitted. The community theme wall will have a distinct character unlike that of any of the other community walls. This will be accomplished through the use of differences in detailing, materials, color and finish and will have a pre-cast concrete cap, distinguishing this wall from other project walls. Acceptable materials will be stucco, masonry or similar.

b. Project Theme Walls (Figure 58)

Project theme walls will be located throughout the community to provide both privacy as well as security. These walls primarily will occur along residential rear yard conditions adjacent to the landscaped utility easements and linear greenbelts, off-site adjacent uses and at rear yard conditions adjacent to Manzanita Park Road. The project theme wall also will be constructed of masonry and carry a distinct character through differences in detailing, construction, color and finish. The project theme wall will contain a stucco cap, differentiating this wall from others in the community. Pilasters will be incorporated into the overall wall scheme at changes in horizontal and vertical direction and at other intervals appropriate to the length of the wall run. Long expanses of walls with no change in horizontal or vertical direction are not permitted.

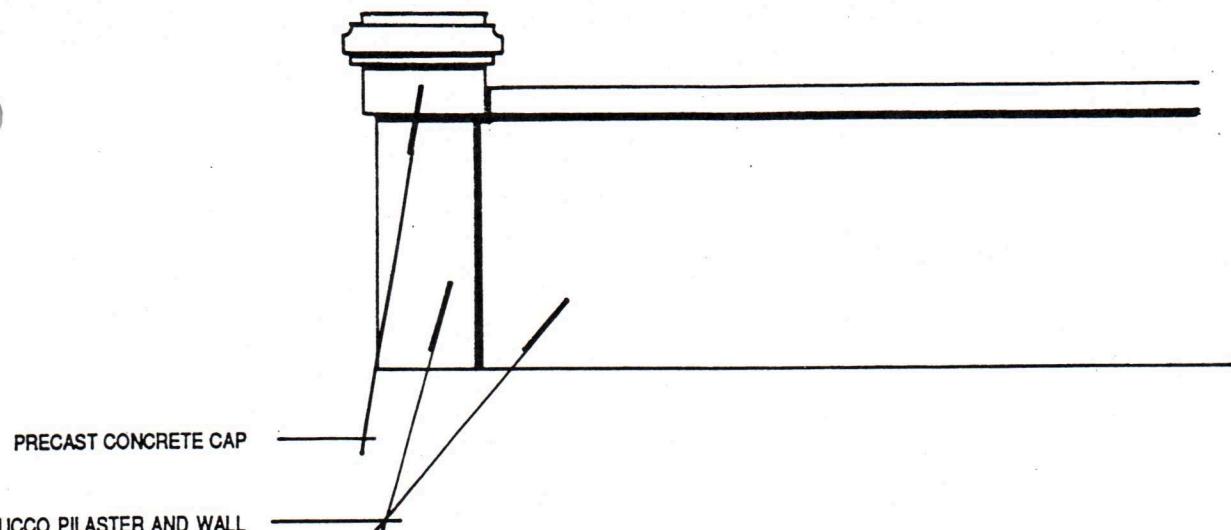
c. Open View Wall (Figure 59)

Throughout the community, recreational areas provide views for those lots adjacent to them. Where these opportunities occur, an open view wall will be constructed. This wall will consist of a low masonry stem wall and wrought iron or tubular steel fencing. Open view walls will be constructed to meet the requirements for security fencing and complement the character of the other community walls.

d. Open View Fence (Figure 59)

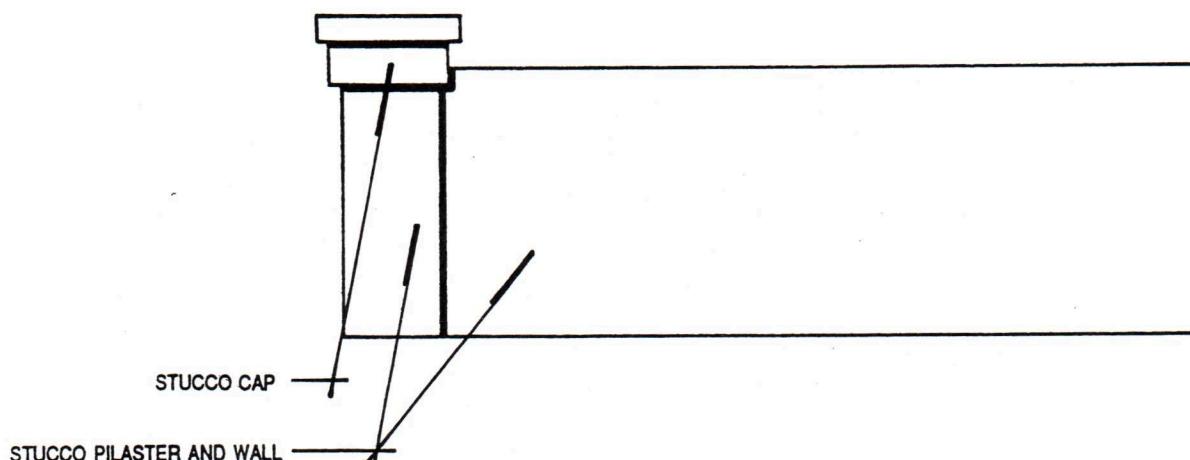
Wrought iron or tubular steel gates and fencing will be incorporated into the primary and secondary entries to the Retirement Village. All access will be controlled by key for pedestrian access and card or transmitting device for vehicular access. Open view fencing and gates will have a distinct character that will complement the overall character of Seneca Springs.

Open view fencing also will be used throughout the community in strategic areas to allow views into the site, while securing it from adjacent off-site uses. Open view fencing will occur at the ends of cul-de-sacs in the Retirement Village where access to adjacent streetscenes or open space



COMMUNITY THEME WALL
ELEVATION

SCALE 1/4" = 1'-0"

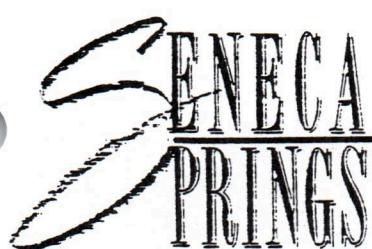


PROJECT THEME WALL
ELEVATION

SCALE 1/4" = 1'-0"



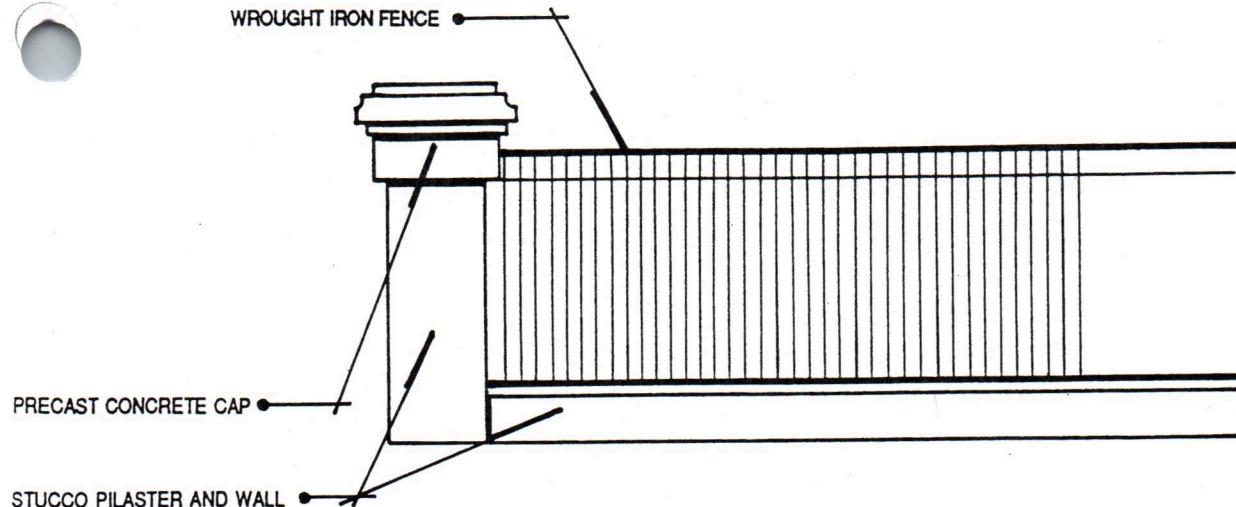
Land Concern, Ltd.
Landscape Architecture/Planning



Prepared For:
LOMA LINDA UNIVERSITY DEVELOPMENT CORPORATION
601 South Main Street, Corona, CA 91720

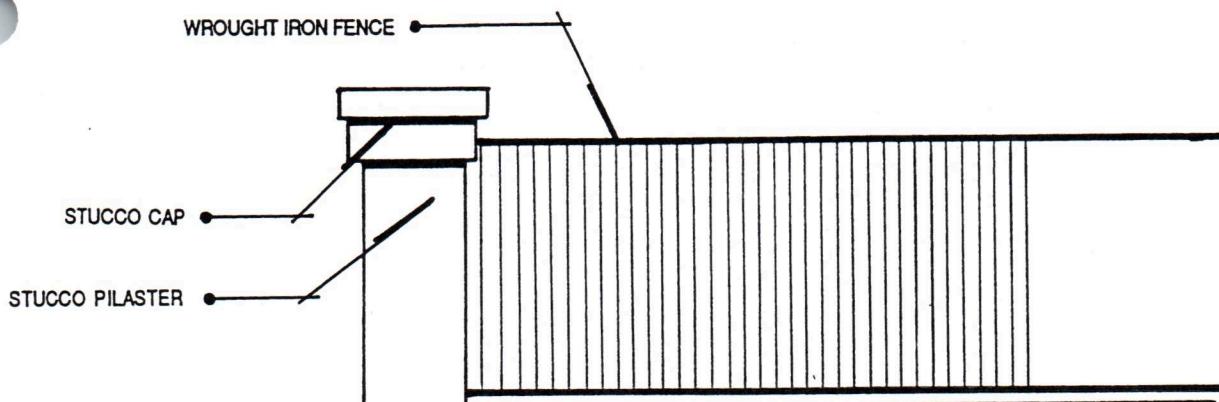


FIGURE 58



OPEN VIEW WALL
ELEVATION

SCALE 1/4" = 1'-0"



OPEN VIEW FENCE
ELEVATION

SCALE 1/4" = 1'-0"



LAND CONCERN, LTD.
Landscape Architecture/Planning



FIGURE 59

**SENECA
SPRINGS**

Prepared For:
LOMA LINDA UNIVERSITY DEVELOPMENT CORPORATION
601 South Main Street, Corona, CA 91720

areas exist. In these conditions, the fence will consist of wrought iron and tubular steel fencing with a concrete mow strip at its base, and a lockable security gate will be provided at these points to control access into the community.

e. Individual Lot Wall/Fence Program

Each homeowner within the Retirement Village and single-family detached product will be required to construct a privacy wall. These walls shall occur between each lot and along the rear yard property line. These walls shall be constructed from wood or masonry materials. Details for these walls will be provided by the developer or merchant builder at the tract map stage, and shall specify acceptable materials, colors and finishes.

f. Walls at Townhome Planning Area

Within the Townhome Planning Area, walls constructed from masonry or wood will be incorporated for privacy and screening purposes. Privacy will be provided for individual private patios and portions of the recreation center. In areas where a view into the recreation center is desirable, wrought iron or tubular steel fencing will be provided. Utility areas, carports and trash bin locations will be screened with walls high enough to block public visibility. All walls will be designed and constructed of materials which complement the building architecture.

g. Walls at Commercial Center

Masonry walls will be incorporated into the commercial center for the purpose of screening out utility areas. All construction, detailing and colors will complement the architectural style within the commercial center. Landscaping also will be incorporated to help soften walls and aid in screening.

9. COMMUNITY LIGHTING

In a uniform character, lighting fixtures will be used throughout the community. Fixtures will be selected for compatibility to the architectural style and shall be integrated into the landscape. All lighting fixtures will comply with the following guidelines:

- Throughout the community, lighting will be designed with hierarchy in mind. Lighting will be used to define vehicular and pedestrian circulation patterns. Those areas designed for public use will be luminated for safety and security. These areas will include community facilities and highly used recreational areas.
- All community and project entries will be luminated to create a sense of arrival. This will be accomplished through the use of signage lighting where applicable, and lighting of key landscape or hardscape elements.

- Outdoor lighting fixtures used for the purpose of lighting signage, structures, landscaping, parking, utility areas and for security and safety will be installed and shielded to minimize glare and illumination on streets and adjacent properties.
- Fixtures will be selected for ease of maintenance, durability and resistance to vandalism.
- All electrical meter pedestals and light control equipment will be located and screened to minimize public visibility.
- The level of on-site lighting, as well as lighting fixtures, will comply to all City requirements and guidelines. Energy conservation, safety and security will be a primary concern when designing systems and specifying equipment.

D. ARCHITECTURAL DESIGN GUIDELINES

1. INTENT

These Architectural Design Guidelines are intended to provide an overall direction in the design of the various Planning Areas and product types. No particular style is intended to dominate the entire Specific Plan, however, architectural concepts shall be compatible with the California desert traditions and history. These guidelines should help create integrated building designs and planning areas while giving each area its own character. Each residential project should convey its own blend of building masses and styles. The Design Guidelines are meant to be flexible over time and correspond with changing conditions in lifestyles, the marketplace and economic conditions.

Architectural goals and design standards have been established to set parameters without restricting creativity. The Seneca Springs architectural style shall feature:

- Traditional building materials that are still used today for their stability against the elements.
- Use of materials consistent with traditional methods.
- Building elements that create comfort through scale, and mitigate effects of the natural elements.
- Use of different, yet compatible, architectural elements to create variety.
- Integration of building structures and the environment to reflect the cultural and climatic influences of the area.

2. STREETSCENE

Figure 60 illustrates typical streetscape/elevation articulation.

Appropriate:

- Encourage the layout of curvilinear streets on long stretches with the use of pedestrian connection points.
- Vary the garage and entry orientation of adjacent buildings to provide a variety along the streetscape and reduce the prominence of garages and driveways.
- Vary the front setbacks and orientation of both garage and living space of adjacent buildings to provide visual interest along streetscenes as much as possible to give visual interest.
- Vary the front elevations architecturally as much as possible to create visual interest.

- Increase rear yard setbacks for hillside area homes along highly visible top of slopes adjacent to open areas.
- On corner lots, increase side yard setback and have the garage located adjacent to side street.
- Place one-story structures, if used, on corner lots or paired together on interior lots, to take advantage of their low mass effect.

Not Permitted:

- Use of long straight streets with no variety of setbacks.
- Garages adjacent to street corners on corner lots.

3. BUILDING MASS, FORM AND ELEMENTS

The architectural image of Seneca Springs will be perceived primarily from public spaces, such as streets and open spaces. Therefore, building massing, scale and roof forms are the primary design components and require careful articulation. The rear and side elevations, as well as the front, should provide variation in massing, wall and roof forms. The emphasis shall be on both horizontal and vertical forms within the residential enclaves. Figure 61 illustrates examples of building massing/rear elevations.

Appropriate:

- Vertical and horizontal articulation to promote architectural variety and interest.
- Single-story elements at front setbacks and at street corners.
- Sloping and stepped second-story volumes at the front and side yards along streets.
- Articulated walls to create shadows and relief in the walls.
- Projections and recesses.
- Plate height variety to create variation in massing.
- Units with a strong indoor/outdoor relationship.
- Exposed rafters and raised banding at the eaves.

Not Permitted:

- Unbroken second-story volumes without any relief (such as stepbacks) in the front and rear yards.

- Plain walls without any relief or articulation.

4. BUILDING ELEVATIONS

Figures 61 and 62 also illustrate typical building elevations.

Appropriate:

- Vary the front setbacks.
- Vary, if possible, the orientation of the garage.
- Locate corner lot buildings with their garages away from side streets.
- Situate one-story buildings or the one-story element of a two-story structure along the side street.
- Pair one-story plans together to create a better streetscape.
- Articulate rear and side elevations where they will be seen.
- Vary rooflines, materials and colors to enhance the streetscape.
- Encourage use of potshelves and shutters.
- Vary roof line and style on the streetscape.

Not Permitted:

- Unarticulated walls.
- Similar elevations adjacent to one another or grouped together.
- Similar elements of the same style next to one another on adjacent buildings.

5. BUILDING MATERIALS

Exterior plaster or stucco will be the primary wall surface material. A variety of stucco finishes may be used when appropriate. Other materials that are compatible with the architectural character, such as wood, concrete or masonry may be used. These materials shall be used in traditional combinations that yield an impression of permanence as well as respect for the climate and regional influences.

Appropriate:

- Smooth to medium lace (knock-down) stucco texture.

- Crisp, clean, simple use of tile, brick, stone and masonry accents.
- Stucco courtyard walls with and without brick cap and/or brick inlay and/or tiles.
- Wood trim.
- Patina finish copper as accents.
- Rough sawn beams and corbels.
- Divided-light glazing in protected wood storefront frame systems.
- Wrought iron as accents at windows.
- Wood siding.
- River rock, rustic stone, masonry or other veneer treatments.
- Brick walls.

Not Permitted:

- Heavy textured stucco, such as swirl or heavy trowel.
- Seamed, paneled, stamped and/or enameled metal.
- Bright, contrasting enameled surfaces.
- Tilt-up concrete systems and precast panelized finish systems.
- Mill-finish aluminum.
- Mirror-finish and other bright, highly reflective glazing systems.
- Pipe railing.

6. COLOR AND STYLE

Color will act as a primary theme-conveying element, reflective of the appropriate architectural styles. Wall finish colors will emphasize light, natural earth tones of the region, rather than bright, bold or excessively dark colors.

Appropriate:

- Exterior building colors that integrate with the surrounding environment.

- Natural earth-tone hues, including warm grays, natural browns, cream, ivory, terra cotta or other neutral colors.
- Complementary accent colors for detailing.
- Mixture of architectural styles in a traditional form.
- Unification of building materials.

Not Permitted:

- Bright, bold colors.
- Excessively dark colors.

7. ROOF FORMS AND MATERIALS

Principal roof forms shall be low-pitched hip or gable. All visible roof materials shall be clay and/or concrete barrel tile or flat tile from an established materials and color board to ensure continuity in texture, color and character. Roof forms should range from 3:12 to 6:12 for general building roofs to a maximum of 8:12 at towers and cupolas.

Roof projections and overhangs are encouraged as a response to climate and energy concerns. Sloped and hipped roofs may incorporate concealed roof wells or concealed flat roof areas as needed to accommodate roof mounted equipment, as long as the overall visual impression of a traditional tiled roof is maintained. Parapets to conceal flat roof areas are allowed, but will be limited to no more than 30% of the total perimeter wall for any building. Figure 62 illustrates a typical example of roof forms and elements.

Appropriate:

- Variation in ridge line height and alignment.
- Variety of roof types; hip roof and gable roof.
- Provision of a lower roof line along the front yard and side yards when possible to reduce the scale.
- Employment of a one-story roofline at the rear where possible when lots back onto each other to lessen the building's mass.
- Simple fascia detailing.
- Clipped eaves to broaden overhangs where used to provide shading and shadow lines.
- Roof pitches not less than 3:12 and not greater than 6:12.

- Variety of masonry roof materials such as concrete tile, clay tile and slate products.
- Masonry materials with integral color instead of glazed materials.

Not Permitted:

- Flat roofs.
- Bright colored glazed tile.
- Gable roof conditions along side yards that shield light from reaching side yards.

8. DOORS AND WINDOWS

Recessed doors, windows and wall openings are characteristic elements of the intended architectural style. These elements convey the appearance of thick, protective exterior walls. Fully recessed openings and pedimented windows and doors are encouraged to add articulation to wall surfaces. Wherever possible, shading of windows with western and eastern exposures should be accomplished. Operable windows and patio doors allow cross-ventilation and are encouraged. Figure 63 illustrates typical building elements and window details.

Appropriate:

- Recessed doors and windows with appropriate placement.
- Divided lights to reduce the scale of large windows.
- Colored frames of either white or anodized are encouraged.
- Arched, bay or greenhouse windows are encouraged.
- High windows, clearstory windows and transom windows are encouraged.
- Ornate doors.
- Corner windows.

Not Permitted:

- Gold or metallic colored frames.
- Plain exterior doors.
- Reflective glass.

9. GARAGE DOORS

Garage doors should be simple in design. Because they are major visual elements, especially on attached (townhomes) and higher-density units (retirement community lots), they should be de-emphasized as much as possible. Ornamentation is appropriate only if it relates to the architecture, such as color accents and/or architectural features (pediments, moldings, small roofs, overhangs and projections). Figure 64 illustrates a typical example of a garage setback and orientation.

Appropriate:

- Metal or wood doors.
- Staggered step backs for three car garages (appropriate for larger lots).
- Simple design.
- Combination of single and double garage doors.
- Blending of garage door color with building color.
- Roll-up or tilt-up garage doors with or without windows.
- Attached residential garages.
- Side entry garages.
- Arched openings.

Not Permitted:

- Plain plywood doors.
- Bright accent colors on doors.
- Applied decoration.
- Corrugated metal doors.

10. BALCONIES AND HANDRAILS

Covered patios, balconies and porches are encouraged to be incorporated as part of the architectural style for both practical and aesthetic value. They integrate indoor and outdoor living spaces, provide shelter, break-up large wall masses and add human scale to buildings.

Appropriate:

- Covered or uncovered porches.
- Smooth stucco or wood.
- Simple, clean, bold projections.
- Wood trimmed details.
- Wrought iron railings.
- Ceramic tile trim.
- Balconies which articulate wall surfaces.

Not Permitted:

- Pipe railings.
- Bright colored awnings.
- Metal awnings.

11. COLUMNS, ARCHWAYS, POSTS AND BEAMS

Columns and posts incorporated as a structural or aesthetic design element will convey a solid, durable image used as a free-standing element or a support for porch roofs. Archways shall be compatible with the architectural style.

Appropriate:

- Square or cylindrical stucco columns.
- Free-standing archways at entrance gates.
- Concrete or stone columns.
- Exposed wood beams with corbels (real or simulated).
- Stucco beams and arches.
- Tile accent banks on plaster columns.
- Hand-hewn posts.

Not Permitted:

- Exposed pipe columns.
- Thin posts, such as metal pipe columns.

12. CHIMNEYS

As an architectural form, chimneys shall be simple in design, having the same material and texture as the building to ensure the consistency of character and style.

Appropriate:

- Should be consistent in style or architecture with the rest of the house in form, materials and color.
- Should be major vertical elements.
- Raised plaster banding, tile inserts, masonry accents, wood accents and other relief work are encouraged.
- Chimney caps should be used only if appropriate with the style.

Not Permitted:

- Exposed flues
- Brightly colored chimney caps.

13. LOADING SPACE/OUTDOOR STORAGE AND EQUIPMENT AREAS

Appropriate:

- Equipment shall be screened from view from any public street or adjacent public open space by landscaping, walls or fences.
- Only electrical and telephone equipment are allowed to be placed within the side yard if properly screened.
- All screening material shall use the same colors and textures that relate to the surrounding architectural styles.

Not Permitted:

- Storage areas, loading space, equipment and mechanical devices shall not be located within the front yard setback, side yard setback or rooftops.

E. RESIDENTIAL SITE PLANNING CRITERIA

1. GENERAL DESIGN CRITERIA

The Residential Site Planning Criteria Guidelines are intended as a positive means to achieve a cohesive character and quality which will protect and enhance the entire community. The site planning concepts shall:

- Maintain a strong design sensitivity to the environment.
- Achieve a variety of unit types appropriate to each planning area.
- Use innovative site planning and building design to achieve a sensitive relationship between the built and the natural environment.
- Maximize exposure of units to drainage/open space/linear greenbelts and other amenities.
- Preserve and enhance the aesthetic quality of the community.
- Utilize energy-efficient design in the structures.

2. DWELLING UNITS PLOTTING CONCEPTS

The Seneca Springs community will be comprised primarily of single-family detached homes. Lot sizes in the retirement portion of the project will include 55' x 85' and 60' x 90', while lots in the non-retirement portion will consist of townhomes and 6,000 and 8,000 SF lots. Products will include conventional single family detached homes, with the exception of the townhomes which are described below.

1) **Single-Family Detached Units** (See *Single Family Dwelling Unit Plotting Concepts (6,000 & 8,000 SF lots, Figure 65)*)

For all single-family developments:

- Cul-de-sacs are encouraged to deter through traffic.
- Setbacks of homes from street should be varied.
- Orientation of garages and entries should be varied to create an interesting streetscene.
- Articulation of the streetscape by varying unit footprints, massing, roof forms, garages, entries and architectural details is encouraged.
- Creation of identifiable neighborhoods is strongly encouraged.
- Landscaped areas to soften streetscape should be provided.

8,000 S.F. LOTS

DETACHED GARAGE

TYPICAL LOT LAYOUT

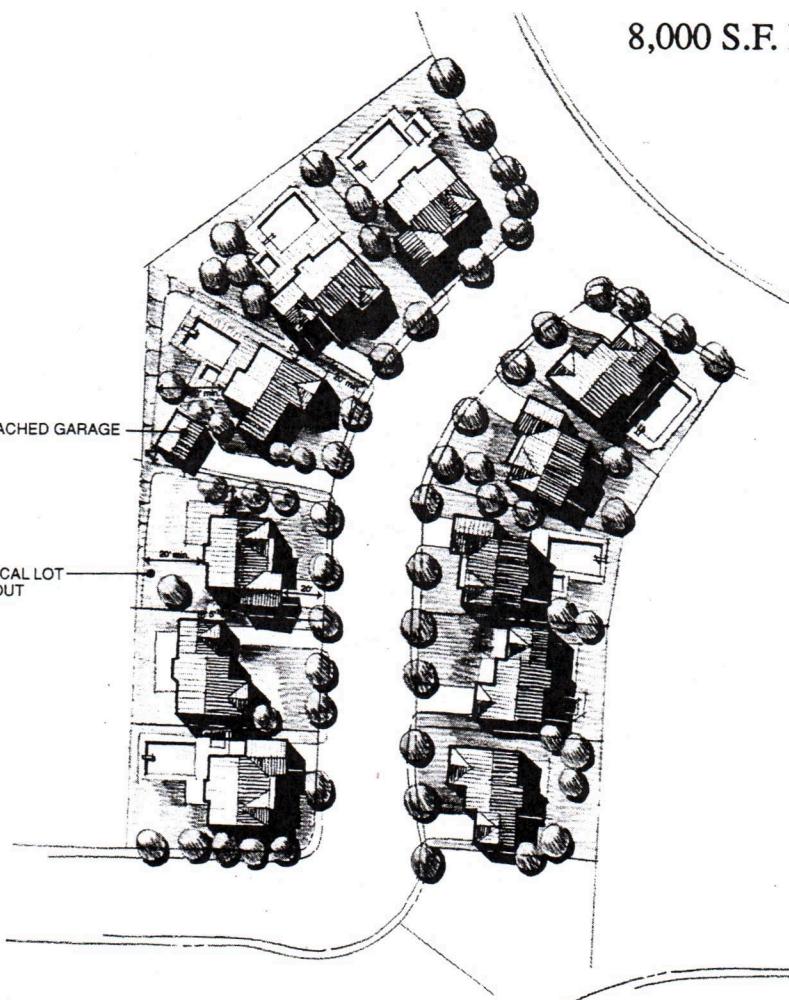


FIGURE 65

6,000 S.F. LOTS

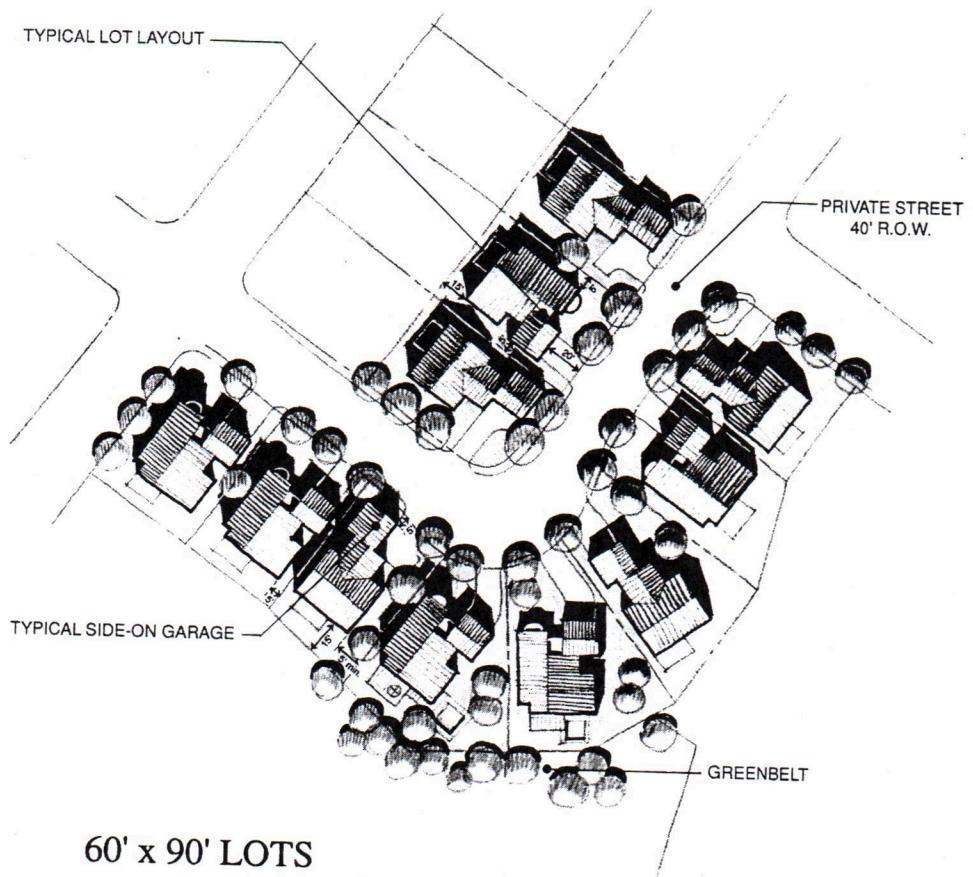
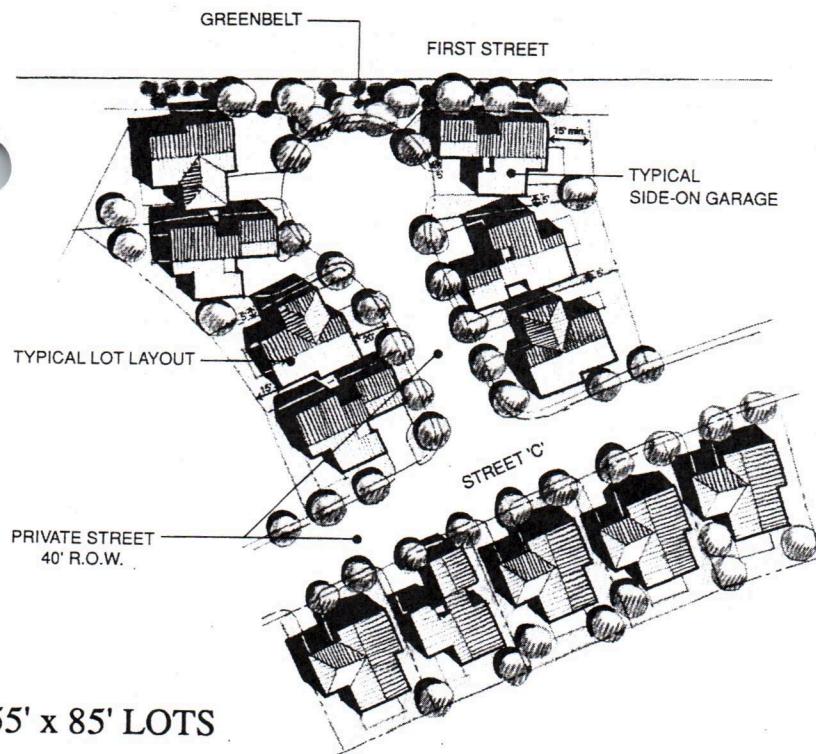


SINGLE-FAMILY DWELLING UNIT PLOTTING CONCEPT

Prepared For:

LOMA LINDA UNIVERSITY DEVELOPMENT CORPORATION
601 South Main Street, Corona, CA 91720

**SENECA
SPRINGS**



SENECA
SPRINGS

RETIREMENT VILLAGE DWELLING UNIT PLOTTING CONCEPT

Prepared For:

LOMA LINDA UNIVERSITY DEVELOPMENT CORPORATION
601 South Main Street, Corona, CA 91720

FIGURE 66



2) Retirement Village Detached Units (See *Retirement Village, Dwelling Unit Plotting Concepts* (55' x 85' & 60' x 90', Figure 66)

For all Retirement Village units:

- Cul-de-sacs are encouraged to deter through traffic.
- Setback of homes from street should be varied.
- Orientation of garages and entries should be varied to create an interesting streetscene.
- Innovative product types, such as zero-lot-line, "Z"-lots, "wide and shallow", and detached garages are encouraged to maximize the livable area on small lots.
- Landscaped areas to soften streetscape should be provided.

3) Townhomes

Townhomes are proposed for the Seneca Springs community as an alternative to traditional single-family detached residences. They will share the same high-quality design and theme, and shall be varied to avoid monotony.

For townhome development:

- Articulation in building facades should be provided to minimize long, unbroken facades.
- Buildings should be oriented in a variety of ways to provide privacy.
- Quality outdoor private space should be provided.
- Landscaped areas and pedestrian walkways should be provided.
- Each unit should have its own entry and identity.

F. COMMERCIAL ARCHITECTURAL DESIGN CRITERIA

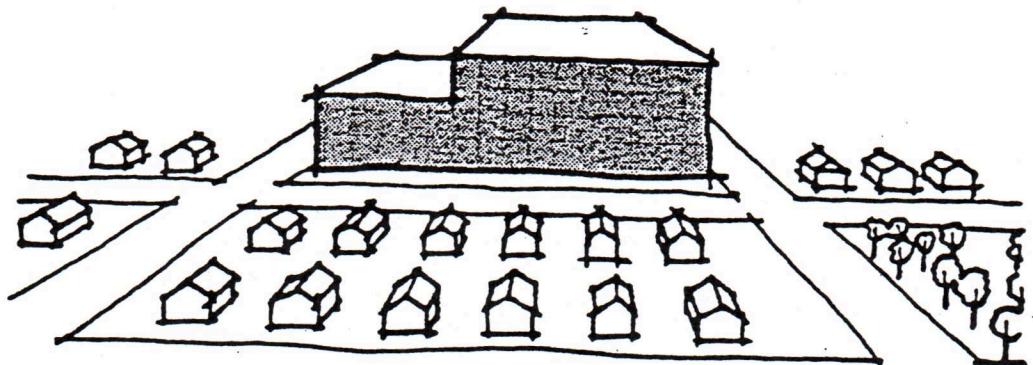
1. ARCHITECTURAL THEME

The commercial architectural concept shall be in keeping with the residential architectural theme of Seneca Springs.

2. DESIGN PRINCIPLES

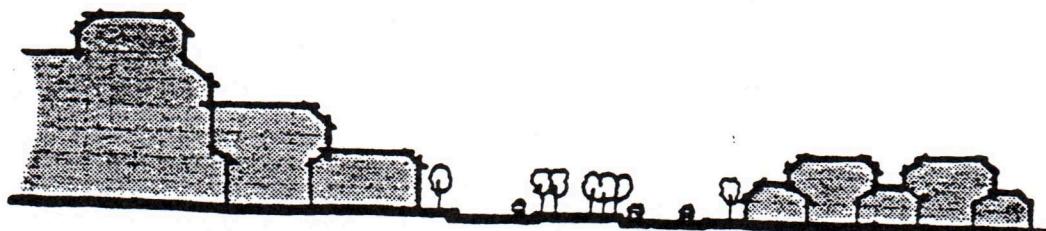
The following architectural principles are conceptually diagrammed to establish desirable commercial development characteristics for Seneca Springs. Site planning principles are further defined in Section III.G, *Commercial Site Planning Criteria*. The intent is to provide a framework which can integrate public and private construction over time, while maintaining maximum flexibility to accommodate a wide variety of uses. The principles and guidelines are not intended to restrict taste or preference, but are designed to avoid harsh contrasts and to foster harmony of development throughout Seneca Springs.

Commercial buildings should be designed as a complementary addition to the overall theme established throughout the Seneca Springs community. Dramatic departures in form, scale and style are not permitted.



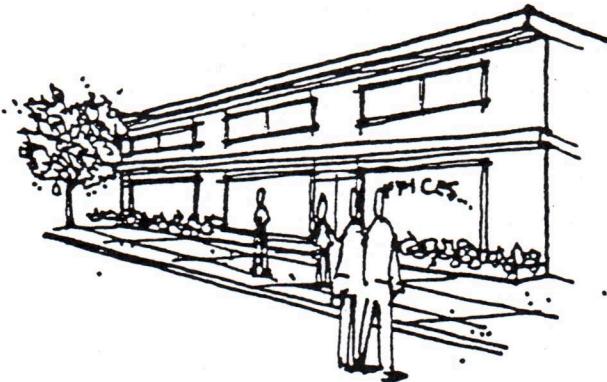
UNDESIRABLE

Buildings should be designed to create a smooth transition in scale through the use of low and mid-rise building forms or through the use of terraced elevations.

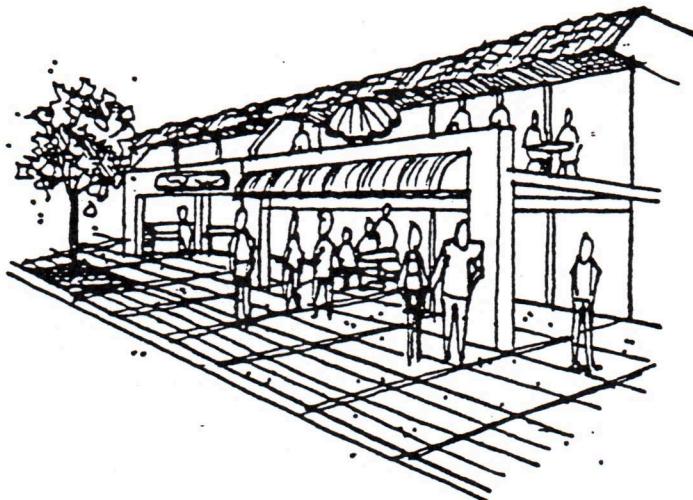


DESIRABLE

Buildings should be designed to locate high activity uses, such as restaurants and entertainment facilities, adjacent to major pedestrian ways. Outdoor uses are strongly encouraged along pedestrian walkways, as well as providing the highest level of detail and interest at ground level.

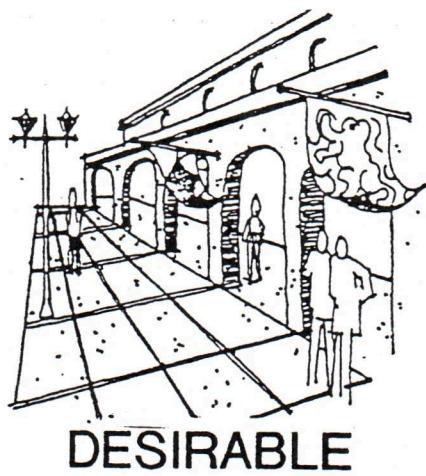


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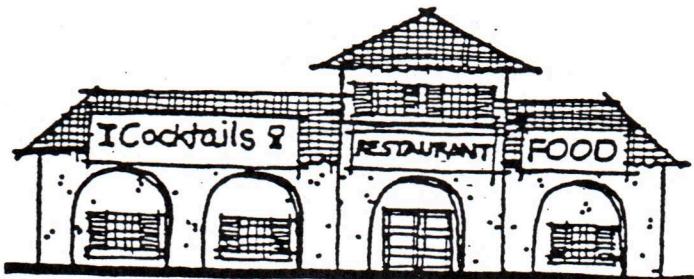


DESIRABLE

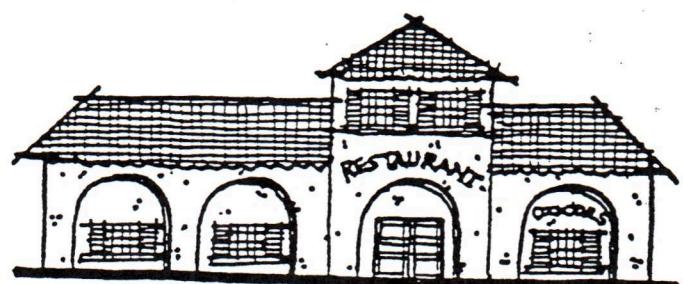
Flags and banners can add significant interest and color to pedestrian ways with a minimum investment. Flags and banners should be made of durable cloth material and should be integrated into the overall planned sign program and architectural design of the project in which they are located.



Signs should be designed to be complementary with the building they identify.



UNDESIRABLE



DESIRABLE

3. BUILDING MASSING AND SCALE

The architectural image of Seneca Springs will be perceived most dramatically from high image areas. Therefore, the massing and scale of buildings requires careful articulation. Implementation methods to achieve desired character are identified in the following sections:

Appropriate:

- Mix of one- and two-story mass and use of a focal vertical element.
- Horizontal and vertical architectural forms.
- Projections and recesses to provide shadows and depth.
- Stepped walls.
- Simple, bold forms.
- Balconies.
- Angles in plan and elevation for visual interest and as an element of contemporary form.
- Columns.
- Broad pitch and extensive overhang.
- Hip/gable roofs.
- Enclosed courtyards.
- Archways.
- Bold vertical elements.

Not Permitted:

- Large expanses of flat wall planes, vertically or horizontally.
- Architectural massing and proportion unsympathetic to human scale.

4. BUILDING MATERIALS AND COLORS

The Seneca Springs commercial area development is an integral part of the overall community. The materials and colors should be compatible with the surrounding development.

- Flat concrete tile or barrel tile ("S" tile) roofs.
- Roofs over extended transitional spaces by use of shaded arcades or colonnades.
- Simple roof geometry, emphasizing long, horizontal lines.
- Multiple tiers of barrel tiles.
- Bell towers, cupolas and other roofline embellishments.

Not Permitted:

- Gambrel, mansard and "period" style roofs.
- Flat roofs.
- Wood shingles.

6. WINDOWS AND DOORS

Recessed doors, windows and wall openings emphasizing massive wall thickness are characteristic elements of the allowed architectural styles. Fully recessed door and window openings are encouraged as well as embellished framing treatments of both to add articulation to the wall surface.

Appropriate:

- Recessed windows and doors to create shade and wall articulation.
- Interior building design that relates to pedestrian spaces through generous use of glazing in doors and windows.
- Arched windows and doorways.
- Decorative doors and window treatments.
- Accent trim or tile at doorways.
- Windows banded to emphasize the horizontal.
- Glazing which follows roof pitch.
- Canvas awnings with complementary accent colors.
- Wrought iron accents.

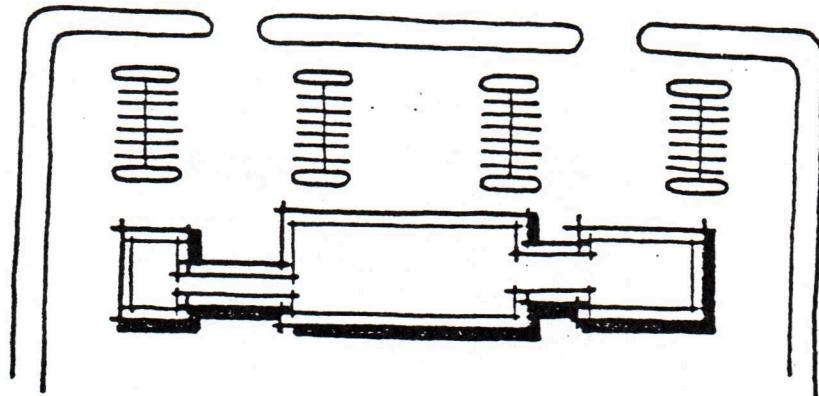
- Balustrades.
- Pilasters.
- Pre-cast concrete treads.

Not Permitted:

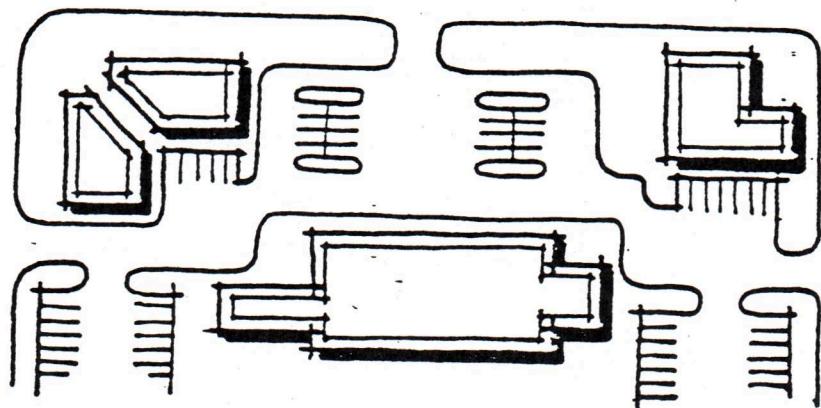
- Pipe railing.

Large open parking lots should be divided into smaller, less imposing lots.

Buildings should be sited adjacent to major street corners to take advantage of adjacent vehicular and pedestrian activity.

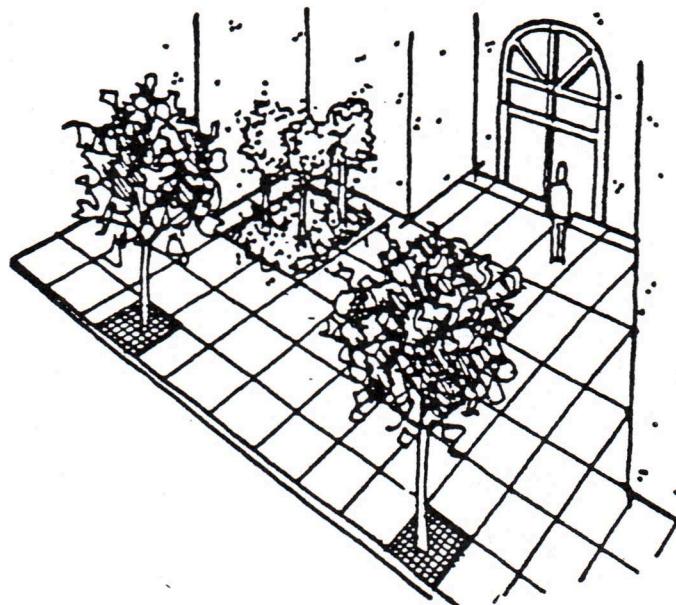
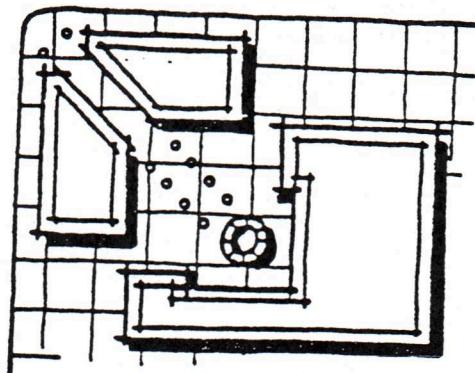


UNDESIRABLE



DESIRABLE

- Major projects or individual buildings at key locations should incorporate public plazas at focal points and at activity centers.
- Use of water elements in selected areas is encouraged.
- Shade should be provided as much as possible.
- Plazas and courtyards are encouraged to be used as transition areas between public and private spaces.



DESIRABLE

III. Specific Plan
SENECA SPRINGS SPECIFIC PLAN NO. 91-01

2. BUILDING PLOTTING CONCEPTS

- Buildings should be oriented to take best advantage of arterial visibility.
- At least one vertical landmark element should be developed within the commercial development.
- Hierarchy of interior vehicular circulation and parking should be developed.
- Enclosed courtyard and pedestrian spaces should be created where possible.
- Vertical mass at residential edges should be minimized.
- Building masses should be articulated to avoid long straight building facades.

3. VEHICULAR CIRCULATION/PARKING

Project entry areas provide visitors with an overview of the project and should act as an open window, orienting to a focal element of the complex. Positive public image features, including water fountains or sculptural art and dramatic landscape elements, such as tree masses, are strongly encouraged to enrich the character of the commercial development.

- Textured paving is encouraged, especially at entries.
- Adequate landscaping must be provided to soften the impact of vast paved areas and to provide shade.
- Parking aisles should be oriented perpendicular to a complex to allow for easy pedestrian access to shopping.
- Low free-standing walls incorporating simple, tasteful signage with pilasters, balustrades, finials and other embellishments are desirable.

4. PEDESTRIAN CIRCULATION

- Generous space for pedestrian activity should be provided.
- Use of water elements and shade are encouraged.
- Emphasis of texture, color and landscaping is essential.

5. COMMON SPACE ELEMENTS

- Site furnishings and details, which enrich the commercial development, are strongly encouraged.
- Low walls, balustrades and columns with finials are encouraged.

H. MAINTENANCE DISTRICTS

Successful operation of maintenance districts and associations is important in maintaining quality in the project area. It is anticipated that maintenance responsibilities for private community facilities will be divided among a Residential Project Homeowner's Association or Neighborhood Associations. Further, it is anticipated that public facilities, such as neighborhood parks, mini-parks and common open space areas, will be dedicated to and maintained by the City of Beaumont or a Landscape and Lighting District.

1. RESIDENTIAL PROJECT HOMEOWNERS' ASSOCIATION

It is proposed that the townhomes (Planning Area 8) shall contain private recreation facilities for the exclusive use of residents and their guests. In addition, private lighting, landscaping, parking areas, and driveways will need operation and/or maintenance. Therefore, residents within the townhome planning area will mandatorily become members of the Project Homeowners' Association, and their fees in total will provide for the operation and maintenance of those facilities. (Please see *Maintenance Responsibilities*, Figure 67.)

The Retirement Village (Planning Areas 9, 10, 11A&B, 12, 13 and 14) will make up its own residential Project Homeowners' Association, since it will contain private recreation facilities and grounds for the exclusive use of residents within the Retirement Village. The Retirement Homeowners' Association also will maintain the linear greenbelts which comprise a portion of Planning Area 16A, streets, lighting and security gates. It will be required of all residents within the Retirement Village to become members of this Homeowners' Association.

2. PARKS, LANDSCAPED UTILITY EASEMENTS AND DRAINAGE/OPEN SPACE CORRIDOR

The mini-parks within Planning Areas 2, 3 and 5, the neighborhood parks in Planning Areas 7A&B, the landscaped utility easements in Planning Areas 16A, 16B and 17, and the drainage/open space corridor in Planning Area 18 will be provided for the benefit of community residents as discussed previously in this report. These amenities are proposed to be constructed by the project developer to meet the City of Beaumont's standards and will be dedicated to the City of Beaumont for the City of Beaumont for ownership and maintenance responsibilities.

3. PROJECT ROADWAYS

As previously discussed, the Retirement Village will contain private streets, which will be maintained by the Retirement Village Homeowners' Association. The remainder of the site will be developed with public streets. All public project streets and landscaped parkways will be designed and constructed to acceptable City standards and will be dedicated to the City for ownership and maintenance responsibilities.

4. COMMERCIAL AREA

The commercial portion of the Specific Plan (Planning Area 15) may have its own private association in addition to the Residential Project Homeowner's Association. If no association is formed, a common area fee may be assessed to cover common area maintenance. It is anticipated that the commercial center owners may contract with the Residential Project Homeowner's Association to insure continuity of maintenance relative to other maintenance throughout the community (see *Maintenance Responsibilities*, Figure 67).

I. MANAGEMENT OF THE SPECIFIC PLAN

This Specific Plan will be used by the City to guide and control land development throughout Seneca Springs. Development of the site will be in accordance with the infrastructure plans, development standards and the Zoning Ordinance contained herein. Future Tract Maps and Plot Plans will be reviewed by the City relative to compliance with this Specific Plan. If proposed future land development projects within this site are not in compliance with this Specific Plan, then the City may choose to either decline to approve that or those projects, or formally amend the Specific Plan.

IV. SPECIFIC PLAN ZONING ORDINANCE

■ GENERAL PROVISIONS

A. INTRODUCTION

The following provisions establish use restrictions and development standards for each land use to be developed within the Seneca Springs Specific Plan project area. These provisions should be used in conjunction with the general land use development standards provided in Section III.A., and the planning area development standards detailed in Section III.B. of this document.

B. TITLE

This title shall be known as the "Seneca Springs Specific Plan Zoning Ordinance", hereinafter referred to as "The or This Ordinance".

C. PURPOSE AND INTENT

The general purpose and intent of this Ordinance is to preserve and promote the public health, safety and general welfare of the community. This Ordinance has been drafted and tailored to specifically provide detailed land use restrictions and development as outlined in this Specific Plan and is offered to the City for consideration and application to this Specific Plan. This Ordinance will give the City control over proposed development which will in fact be more restrictive than the existing City of Beaumont Comprehensive Zoning Ordinance.

D. APPLICABILITY

This Ordinance shall be applicable to all property within the Seneca Springs Specific Plan site consisting of 295.17 acres. Licenses and permits for land development shall be issued only when it has been determined by the City (all departments, officials, or public employees vested with the authority to issue permits or licenses) that the proposed land uses are in conformance to the provisions of this Ordinance.

E. INTERPRETATION

The provisions of this Ordinance shall be held to be minimum requirements in their application and interpretation. No provision of this title is intended to abrogate or interfere with any deed restriction, covenant, easement, or other agreement between parties. City of Beaumont staff shall interpret this Ordinance. If there is dissention in the interpretation of the provisions of this Ordinance between City of Beaumont staff and the project proponent, then the City of Beaumont City Council shall interpret the intent by resolution of record. The decision of the Commission

shall be final unless the project proponent is in disagreement with their decision at which time he may seek final decision of the City Council.

F. AUTHENTICATION

It is hereby expressly provided and declared that this Ordinance shall take effect immediately upon its passage by the City Council.

■ **ZONING DISTRICTS**

A. MEDIUM DENSITY RESIDENTIAL - 6,000 Sq. Ft. Lots

1. PURPOSE AND INTENT

The purpose of the Medium Density 6,000 sq. ft. lot Residential land use classification is to provide areas for conventional single-family detached residential development at a density of no more than one dwelling unit per 6,000 square foot lot. Units are arranged on private lots in traditional R-1 street layouts. All lots are exclusively homeowner maintained.

2. APPLICABILITY

The standards apply to Planning Areas 2, 3 and 6 of the Seneca Springs Specific Plan.

3. PRINCIPAL PERMITTED USES

- a. One family dwellings, detached.
- b. Dogs and cats as household pets not to exceed three (3) animals in number in any combination for each dwelling unit.

4. ACCESSORY BUILDING USES

Accessory building and structures, including private garages and storage structures (sheds), shall be developed under the following site development standards:

- a. Accessory buildings greater than one (1) story in height shall not occupy any part of a required yard and no accessory building shall occupy more than twenty-five (25) percent of a required rear yard.
- b. Accessory buildings shall not be located closer than ten (10) feet to the nearest part of a main building. Accessory buildings are considered to be storage sheds, gazebos and other ancillary structures.
- c. No accessory building shall exceed a maximum height of fourteen feet (14').
- d. No accessory building shall occupy a portion of a required front or side yard.
- e. In the case of a reversed corner lot, no building shall be erected upon such lot closer than 5' feet to the property line of any abutting lot to the rear.

5. PLOT PLAN USES

The following uses are permitted subject to the approval of an Administrative Plot plan as referenced Title 17, Chapter 17.70.005(a)1. The plot plan approval may include conditions requiring fencing and landscaping of the parcel to further enhance compatibility with the surrounding area.

- a. Home occupation.
- b. A trailer used as a residence of the owner and his family during construction by such owner of a permanent residence, but only while a building permit for the construction of such residence is in full force and effect and in no event longer than six (6) months, unless an extension is approved by the Planning Commission.
- c. Temporary real estate tract office and/or mobilehomes located within a subdivision, to be used only for and during the original sale of the subdivision, but not to exceed a period of two (2) years in any event, unless an extension is approved by the Planning Commission.
- d. Nurseries, horticultural, during development of the Specific Plan site to facilitate project development.

6. CONDITIONAL PERMIT USES

Conditional Permit Uses are not proposed and will not be permitted in this zone.

7. PUBLIC USES

The following public uses are permitted in this zone subject to the approval of a Public Use Permit pursuant to Chapter 17.70 of the City of Beaumont Zoning Ordinance.

- a. Educational Institutions
- b. Churches, temples and other places of religious worship.
- c. Governmental uses.
- d. Public utilities.

8. SITE DEVELOPMENT STANDARDS

- a. Lot Area and Dimensions. Net lot area shall be as follows: Every lot shall have a minimum width at the building line of sixty feet (60'), a minimum depth of ninety feet (90'), and a minimum lot area of six thousand (6,000) square feet.
- b. Setbacks - Yard.
 - 1) Front Yard Setback (measured from face of curb): Twenty feet (20'). Dwellings with side entry garages shall be permitted a ten-foot (10') setback.
 - 2) Rear Yard Setback: Fifteen feet (15'), minimum for single-story dwellings, twenty feet (20'), minimum for two-story dwellings.
 - 3) Interior Side Yard Setback: Five feet (5') on one side and an unobstructed ten feet (10') on the other side to facilitate Recreation Vehicle (R.V.) parking.
 - 4) Corner Lot Street Side Yard Setback: Ten feet (10').
- c. Building Height. No building shall exceed two (2) stories or thirty-five feet (35'), whichever is lesser in height.
- d. Off Street Parking.
 - 1) A minimum of two (2) spaces shall be provided per unit in an enclosed garage.
 - 2) No vehicle shall be parked in any setback area of a residential lot except in driveways and in sideyards, where the sideyard setback is ten feet (10').
- e. Landscaping.
 - 1) Landscaping shall include shrubs, trees, vines, ground covers, hedges, flowers, bark, drips, decorating cinders, gravel, and similar material which will improve the appearance of yard areas.
 - 2) Non-plant materials shall not be used exclusively in lieu of growing ground covers/turf.
 - 3) Required front and side yards shall be continually maintained by the property owner and shall not be used for off-street parking of vehicles or loading spaces, with the exception of the ten-foot (10') wide sideyard, which may be used for parking.

- 4) Each yard (front and rear) shall be served by at least one permanent water hose bib.
- 5) Front yard landscape plans shall be approved by the City prior to issuance of building permits for each residence. All front yard landscaping shall be installed by the developer/builder prior to obtaining a certificate of occupancy.
- 6) Front yard landscaping shall be irrigated by an automatic irrigation system and include a controlled timing device.
- f. Signs. The provisions of Chapter 17.60 of Title 17 shall apply.
- g. Off-Site Improvements. Off-site improvements including curbs, gutter and sidewalks shall be provided where abutting each residential lot prior to certificate of occupancy issuance.

Applicability: Planning Areas 2, 3 and 6

Minimum Dwelling Unit Size: 2-bedroom, 1,200 sq. ft., each additional bedroom 200 sq. ft.

Minimum Lot Size: 6,000 sq. ft.

Minimum Lot Width: 60 ft.

Minimum Lot Depth: 90 ft.

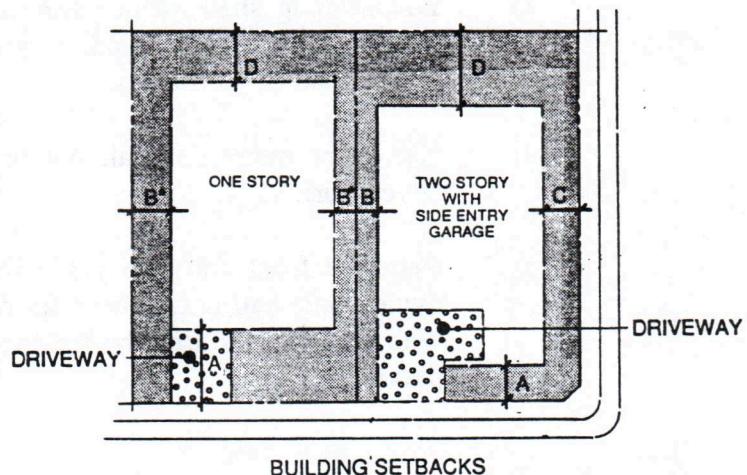
Maximum Permitted Lot Coverage: 60%

Building Setbacks

- A. Front Yard: 20 ft.; 10 ft. if side entry garage
- B.* Interior Side Yard: 5 ft. on one side, 10 ft. unobstructed on the other side
- C. Corner Lot Street Side Yard: 10 ft.
- D. Rear Yard: 15 ft., min. - single story dwelling, 20 ft. min. - two story dwelling

Parking: Minimum 2 car garage required.

- * Encroachments into setbacks:
 - o Chimneys - 2 ft.
 - o Roof Overhangs - 3 ft.



B. MEDIUM DENSITY RESIDENTIAL - 8,000 Sq. Ft. Lots

1. PURPOSE AND INTENT

The purpose of the Medium Density - 8,000 sq. ft. lot Residential land use classification is to provide areas for conventional single-family detached residential development at a density of no more than one dwelling unit per 8,000 square foot lot. Units are arranged on private lots in traditional R-1 street layouts. All lots are exclusively homeowner maintained.

2. APPLICABILITY

The standards apply to Planning Areas 4 and 5 of the Seneca Springs Specific Plan.

3. PRINCIPAL PERMITTED USES

- a. One family dwellings, detached.
- b. Dogs and cats as household pets not to exceed three (3) animals in number in any combination for each dwelling unit.

4. ACCESSORY BUILDING USES

- a. Accessory buildings greater than one (1) story in height shall not occupy any part of a required yard and no accessory building shall occupy more than twenty-five percent (25%) of a required rear yard.
- b. Accessory buildings shall not be located closer than ten feet (10') to the nearest part of a main building.
- c. No accessory building shall exceed a maximum height of fourteen feet (14').
- d. No accessory building shall occupy a portion of a required front or side yard.
- e. In the case of a reversed corner lot, no building shall be erected upon such lot closer than five feet (5') to the property line of any abutting lot to the rear.

5. PLOT PLAN USES

The following uses are permitted subject to the approval of an Administrative Plot plan as referenced Title 17, Chapter 17.70.005(a)1. The plot plan approval may include conditions requiring fencing and landscaping of the parcel to further enhance compatibility with the surrounding area.

- a. Home occupation.

- b. A trailer used as a residence of the owner and his family during construction by such owner of a permanent residence, but only while a building permit for the construction of such residence is in full force and effect and in no event longer than six (6) months, unless an extension is approved by the Planning Commission.
- c. Temporary real estate tract office and/or mobilehomes located within a subdivision, to be used only for and during the original sale of the subdivision, but not to exceed a period of two (2) years in any event, unless an extension is approved by the Planning Commission.
- d. Nurseries, horticultural, during development of the Specific Plan site to facilitate project development.

6. CONDITIONAL PERMIT USES

Conditional Permit Uses are not proposed and will not be permitted on the site.

7. PUBLIC USES

The following uses are permitted in this zone subject to the approval of a Public Use Permit pursuant to Chapter 17.70 of the City of Beaumont Zoning Ordinance.

- a. Educational Institutions
- b. Churches, temples and other places of religious worship.
- c. Governmental uses.
- d. Public utilities.

8. SITE DEVELOPMENT STANDARDS

- a. Lot Area and Dimensions. Net lot area shall be as follows: Every lot shall have a minimum width of seventy feet (70'), a minimum depth of one hundred feet (100'), and a minimum lot area of eight thousand (8,000) square feet.
- b. Setbacks - Yard.
 - 1) Front Yard Setback (measured from face of curb): Twenty feet (20'). Dwellings with side entry garages shall be permitted a ten-foot (10') setback.
 - 2) Rear Yard Setback: Fifteen feet (15'), minimum for single story dwellings, twenty feet (20') minimum for two (2) story dwellings.

- 3) Interior Side Yard Setback: Five feet (5') on one side, and an unobstructed ten feet (10') on the other side to facilitate R.V. parking.
- 4) Corner Lot Street Side Yard Setback: Ten feet (10').

c. Building Height. No building shall exceed two (2) stories or thirty-five feet (35'), whichever is lesser in height.

d. Off Street Parking.

- 1) A minimum of two (2) spaces shall be provided per unit in an enclosed garage.
- 2) No vehicle shall be parked in any setback area of a residential lot except in driveways and in side yards where the side yard setback is ten feet (10').

e. Landscaping.

- 1) Landscaping shall include shrubs, trees, vines, ground covers, hedges, flowers, bark, drips, decorating cinders, gravel, and similar material which will improve the appearance of yard areas.
- 2) Non-plant materials shall not be used exclusively in lieu of growing ground covers.
- 3) Required front and side yards shall be continually maintained by the property owner and shall not be used for off-street parking of vehicles or loading spaces, with the exception of the ten-foot (10') wide side yard, which may be used for parking.
- 4) Each yard (front and rear) shall be served by at least one permanent water hose bib.
- 5) Front yard landscape plans shall be approved by the City prior to issuance of building permits for each residence. All front yard landscaping shall be installed by the developer/builder prior to obtaining a certificate of occupancy.
- 6) Front yard landscaping shall be irrigated by an automatic irrigation system and include a controlled timing device.

f. Signs. The provisions of Chapter 17.60 of Title 17 shall apply.

g. Off-Site Improvements. Off-site improvements including curbs, gutter and sidewalks shall be provided where abutting each residential lot prior to certificate of occupancy issuance.

Applicability: Planning Areas 4 and 5.

Minimum Dwelling Unit Size: 2 bedroom - 1,200 sq. ft., each additional bedroom - 200 sq. ft.

Minimum Lot Size: 8,000 sq. ft.

Minimum Lot Width: 70 ft.

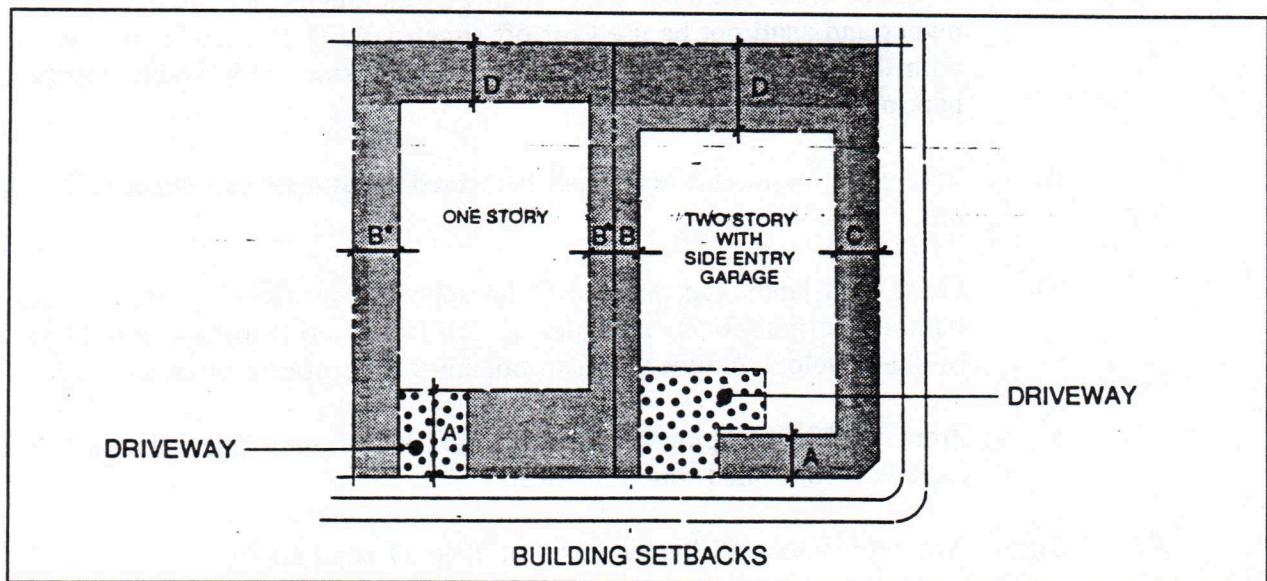
Minimum Lot Depth: 100 ft.

Building Setbacks

- A. Front Yard: 20 ft.; 10 ft. if side entry garage
- B.* Interior Side Yard: 5 ft. on one side and 10 ft. unobstructed on the other side
- C. Corner Lot Street Side Yard: 10 ft.
- D. Rear Yard: 15 ft., minimum - single story dwelling, 20 ft. minimum - two story dwelling

Parking: Minimum 2 car garage required.

- * Encroachments into setbacks:
 - Chimneys - 2 ft.
 - Roof Overhangs - 3 ft.



C. RETIREMENT VILLAGE RESIDENTIAL - 55' x 85' Lots

1. PURPOSE AND INTENT

The purpose of the Retirement Village Residential 55' x 85' lot classification is to provide areas for detached retirement residential development at a density of no more than one dwelling unit per 55' x 85' lot (4,675 sq. ft.) within a gated community. Units are arranged on private lots in traditional R-1 street layouts. All lots are exclusively homeowner maintained.

2. APPLICABILITY

The standards apply to Planning Areas 12, and 13 of the Seneca Springs Specific Plan.

3. PRINCIPAL PERMITTED USES

- a. One family dwellings, detached.
- b. Dogs and cats as household pets not to exceed three (3) animals in number in any combination for each dwelling unit.

4. ACCESSORY BUILDING USES

Accessory building and structures, including private garages and storage structures (sheds)(which shall be developed under the following site development standards:

- a. Accessory buildings greater than one (1) story in height shall not occupy any part of a required yard and no accessory building shall occupy more than twenty-five percent (25%) of a required rear yard.
- b. Accessory buildings shall not be located closer than ten feet (10') to the nearest part of a main building. Accessory buildings are considered to be storage sheds, gazebos and other ancillary structures.
- c. No accessory building shall exceed a maximum height of fourteen feet (14').
- d. No accessory building shall occupy a portion of a required front or side yard.
- e. In the case of a reversed corner lot, no building shall be erected upon such lot closer than five feet (5') to the property line of any abutting lot to the rear.

5. PLOT PLAN USES

The following uses are permitted subject to the approval of an Administrative Plot plan as referenced Title 17, Chapter 17.70.005(a)1. The plot plan approval may include conditions requiring fencing and landscaping of the parcel to further enhance compatibility with the surrounding area.

- a. Home occupation.
- b. A trailer used as a residence of the owner and his family during construction by such owner of a permanent residence, but only while a building permit for the construction of such residence is in full force and effect and in no event longer than six (6) months, unless an extension is approved by the Planning Commission.
- c. Temporary real estate tract office and/or mobilehomes located within a subdivision, to be used only for and during the original sale of the subdivision, but not to exceed a period of two (2) years in any event, unless an extension is approved by the Planning Commission.
- d. Nurseries, horticultural, during development of the Specific Plan site to facilitate project development.

6. CONDITIONAL PERMIT USES

Conditional Permit Uses are not proposed and will not be permitted on the site.

7. PUBLIC USES

The following public uses are permitted in this zone subject to the approval of a Public Use Permit pursuant to Chapter 17.70 of the City of Beaumont Zoning Ordinance.

- a. Educational Institutions
- b. Churches, temples and other places of religious worship.
- c. Governmental uses.
- d. Public utilities.

8. SITE DEVELOPMENT STANDARDS

- a. Lot Area and Dimensions. Net lot area shall be as follows: Every lot shall have a minimum width at the building line of fifty-five feet (55'), a minimum depth of eight-five feet (85'), and a minimum lot area of 4,675 square feet. (Variations allowing for "wide

and shallow," "Z-Lot" or other similar lotting patterns are permitted upon review and approval by the Planning Director or his/her designee.)

b. Setbacks - Yard.

- 1) Front Yard Setback (measured from face of curb): Twenty feet (20'). Dwellings with side entry garages shall be permitted a five-foot (5') setback, if an electric, roll-up garage door is provided.
- 2) Rear Yard Setback: Fifteen feet (15'), minimum.
- 3) Interior Side Yard Setback: Five feet (5') on both sides.
- 4) Corner Lot Street Side Yard Setback: Five feet (5').

Variations to accommodate "wide and shallow," "Z-Lot" or other similar lotting patterns are permitted upon review and approval by the Planning Director or his/her designee.

c. Building Height. No building shall exceed two (2) stories or thirty-five feet (35'), whichever is lesser in height.

d. Off Street Parking.

- 1) A minimum of two spaces shall be provided per unit in an enclosed garage.
- 2) No vehicle shall be parked in any setback area of a residential lot except in driveways. However, no recreational vehicles, trailers or fifth wheelers shall be parked in driveways.

e. Landscaping.

- 1) Landscaping shall include shrubs, trees, vines, ground covers, hedges, flowers, bark, drips, decorating cinders, gravel, and similar material which will improve the appearance of yard areas.
- 2) Non-plant materials shall not be used exclusively in lieu of growing ground covers.
- 3) Required front and side yards shall be continually maintained by the property owner and shall not be used for off-street parking of vehicles or loading spaces.
- 4) Each yard (front and rear) shall be served by at least one permanent water hose bib.

- 5) Front yard landscape plans shall be approved by the City prior to issuance of building permits for each residence. All front yard landscaping shall be installed by the developer/builder prior to obtaining a certificate of occupancy.
- 6) Front yard landscaping shall be irrigated by an automatic irrigation system and include a controlled timing device.

f. Signs. The provisions of Chapter 17.60 of Title 17 shall apply.

g. Off-Site Improvements. Off-site improvements including curbs, gutter and sidewalks shall be provided where abutting each residential lot prior to certificate of occupancy issuance.

Applicability: Planning Areas 12 and 13.

Minimum Dwelling Unit Size: 2-bedroom, 1,200 sq. ft., each additional bedroom 200 sq. ft.

Minimum Lot Size: 55' x 85' (4,675 sq. ft.)

Minimum Lot Width: 55 ft.*

Minimum Lot Depth: 85 ft.*

Maximum Permitted Lot Coverage: 60%

Building Setbacks

- A. Front Yard: 20 ft.; 5 ft. if side entry garage with electric, roll-up garage door*
- B. Interior Side Yard: 5 ft. on both sides*
- C. Corner Lot Street Side Yard: 5 ft.*
- D. Rear Yard: 15 ft.*

Parking: Minimum 2 car garage required.

Encroachments into setbacks:

- o Chimneys - 2 ft.
- o Roof Overhangs - 3 ft.

* Variations allowing for "wide and shallow," "Z-Lot" or other similar lotting patterns are permitted upon review and approval by the Planning Director or his/her designee.

D. RETIREMENT VILLAGE RESIDENTIAL - 60' x 90' Lots

1. PURPOSE AND INTENT

The purpose of the Retirement Village Residential 60' x 90' lot classification is to provide areas for conventional single-family detached Retirement Residential development at a density of no more than one dwelling unit per 60' x 90' (5,400 sq. ft.) lot within a gated community. Units are arranged on private lots in traditional R-1 street layouts. All lots are exclusively homeowner maintained.

2. APPLICABILITY

The standards apply to Planning Areas 10 and 11A of the Seneca Springs Specific Plan.

3. PRINCIPAL PERMITTED USES

- a. One family dwellings, detached.
- b. Dogs and cats as household pets not to exceed three (3) animals in number in any combination for each dwelling unit.

4. ACCESSORY BUILDING USES

Accessory building and structures, including private garages and storage structures (sheds)(which shall be developed under the following site development standards:

- a. Accessory buildings greater than one (1) story in height shall not occupy any part of a required yard and no accessory building shall occupy more than twenty-five percent (25%) of a required rear yard.
- b. Accessory buildings shall not be located closer than ten feet (10') to the nearest part of a main building. Accessory buildings are considered to be storage sheds, gazebos and other ancillary structures.
- c. No accessory building shall exceed a maximum height of fourteen feet (14').
- d. No accessory building shall occupy a portion of a required front or side yard.
- e. In the case of a reversed corner lot, no building shall be erected upon such lot closer than five feet (5') to the property line of any abutting lot to the rear.

5. PLOT PLAN USES

The following uses are permitted subject to the approval of an Administrative Plot plan as referenced Title 17, Chapter 17.70.005(a)1. The plot plan approval may include conditions requiring fencing and landscaping of the parcel to further enhance compatibility with the surrounding area.

- a. Home occupation.
- b. A trailer used as a residence of the owner and his family during construction by such owner of a permanent residence, but only while a building permit for the construction of such residence is in full force and effect and in no event longer than six (6) months, unless an extension is approved by the Planning Commission.
- c. Temporary real estate tract office and/or mobilehomes located within a subdivision, to be used only for and during the original sale of the subdivision, but not to exceed a period of two (2) years in any event, unless an extension is approved by the Planning Commission.
- d. Nurseries, horticultural, during development of the Specific Plan site to facilitate project development.

6. CONDITIONAL PERMIT USES

Conditional Permit Uses are not proposed and will not be permitted on the site.

7. PUBLIC USES

The following public uses are permitted in this zone subject to the approval of a Public Use Permit pursuant to Chapter 17.70 of the City of Beaumont Zoning Ordinance.

- a. Educational Institutions
- b. Churches, temples and other places of religious worship.
- c. Governmental uses.
- d. Public utilities.

8. SITE DEVELOPMENT STANDARDS

- a. Lot Area and Dimensions. Net lot area shall be as follows: Every lot shall have a minimum width at the building line of sixty feet (60'), a minimum depth of ninety feet (90'), and a minimum lot area of five thousand four hundred (5,400) square feet.

(Variations allowing for "wide and shallow," "Z-Lot" or other similar lotting patterns are permitted upon review and approval by the Planning Director or his/her designee.)

b. Setbacks - Yard.

- 1) Front Yard Setback (measured from face of curb): Twenty feet (20'). Dwellings with side entry garages shall be permitted a five-foot (5') setback, if an electric, roll-up garage door is provided.
- 2) Rear Yard Setback: Fifteen feet (15') minimum.
- 3) Interior Side Yard Setback: Five feet (5') on both sides.
- 4) Corner Lot Street Side Yard Setback: Five feet (5'). (Variations allowing for "wide and shallow," "Z-Lot" or other similar lotting patterns are permitted upon review and approval by the Planning Director or his/her designee.)

c. Building Height. No building shall exceed two (2) stories or thirty-five feet (35'), whichever is lesser in height.

d. Off Street Parking.

- 1) A minimum of two (2) spaces shall be provided per unit in an enclosed garage.
- 2) No vehicle shall be parked in any setback area of a residential lot except in driveways. However, no recreational vehicles, trailers or fifth wheelers shall be parked in driveways.

e. Landscaping.

- 1) Landscaping shall include shrubs, trees, vines, ground covers, hedges, flowers, bark, drips, decorating cinders, gravel, and similar material which will improve the appearance of yard areas.
- 2) Non-plant materials shall not be used exclusively in lieu of growing ground covers.
- 3) Required front and side yards shall be continually maintained by the property owner and shall not be used for off-street parking of vehicles or loading spaces.
- 4) Each yard (front and rear) shall be served by at least one permanent water hose bib.

- 5) Front yard landscape plans shall be approved by the City prior to issuance of building permits for each residence. All front yard landscaping shall be installed by the developer/builder prior to obtaining a certificate of occupancy.
- 6) Front yard landscaping shall be irrigated by an automatic irrigation system and include a controlled timing device.

f. Signs. The provisions of Chapter 17.60 of Title 17 shall apply.

g. Off-Site Improvements. Off-site improvements including streets, curbs, gutter and sidewalks shall be provided where abutting each residential lot prior to certificate of occupancy issuance.

Applicability: Planning Areas 10 and 11A.

Minimum Dwelling Unit Size: 2-bedroom, 1,200 sq. ft., each additional bedroom 200 sq. ft.

Minimum Lot Size: 60' x 90' (5,400 sq. ft.)

Minimum Lot Width: 60 ft.*

Minimum Lot Depth: 90 ft.*

Maximum Permitted Lot Coverage: 60%

Building Setbacks

- A. Front Yard: 20 ft.; 5 ft. if side entry garage with electric roll-up garage door*
- B. Interior Side Yard: 5 ft. on both sides*
- C. Corner Lot Street Side Yard: 5 ft.*
- D. Rear Yard: 15 ft. minimum

Parking: Minimum 2 car garage required.

Encroachments into setbacks:

- o Chimneys - 2 ft.
- o Roof Overhangs - 3 ft.

* Variations allowing for "wide and shallow," "Z-Lot" or other similar lotting patterns are permitted upon review and approval by the Planning Director or his/her designee.

E. TOWNHOME RESIDENTIAL

1. PURPOSE AND INTENT

The R-MF Zone is intended to protect established medium density neighborhoods of multiple-family dwellings and to provide space suitable in appropriate locations for additional housing developments of this kind, such as duplexes, patio homes, garden apartments, townhouses, and similar dwellings along with appropriate community facilities.

2. APPLICABILITY

The standards apply to Planning Area 8 of the Seneca Springs Specific Plan.

3. PRINCIPAL PERMITTED USES

In the R-MF Zone, no building shall be erected, reconstructed or structurally altered nor shall any building or land be used for any purposes, except as hereinafter specifically provided and allowed by this Chapter.

- a. The following uses are permitted without requiring specific planning approval:
 - 1) Any principal permitted uses in the Medium Density Residential 6,000 and 8,000 square feet Zones subject to the same conditions prescribed therein.
 - 2) Multi-family dwellings.
- b. Dogs and cats as household pets not to exceed three (3) animals in number in any combination for each dwelling unit.

4. PLOT PLAN USES

The following uses are permitted subject to the approval of a plot plan pursuant to Chapter 17.70 of the City of Beaumont Zoning Ordinance. The plot plan approval may include conditions requiring fencing and landscaping of the parcel to assure that the use is compatible with the surrounding area.

- a. Any plot plan use permitted in the R-SF zone subject to the same conditions prescribed therein.
- b. Two (2) family dwellings, multiple family dwellings, bungalow courts and apartment houses.

5. CONDITIONAL PERMIT USES

The following uses are permitted subject to the approval of a Conditional Use Permit pursuant to Chapter 17.70 of the City of Beaumont Zoning Ordinance.

- a. Any conditional use permitted in the R-SF zone subject to the same conditions prescribed therein.

6. PUBLIC USES

The following public uses are permitted in this zone subject to the approval of a Public Use Permit pursuant to Chapter 17.70 of the City of Beaumont Zoning Ordinance.

- a. Educational institutions.
- b. Churches, temples and other places of religious worship.
- c. Governmental uses.
- d. Public utilities.

7. SITE DEVELOPMENT STANDARDS

- a. Lot Area and Dimensions. Lot size shall not be less than six thousand (6,000) square feet, with a minimum average lot width of sixty feet (60') and a minimum average lot depth of one hundred feet (100'), unless otherwise approved by a Conditional Use Permit. Zero-lot line condominiums, however, shall have a minimum lot size of two thousand (2,000) square feet.
- b. Setbacks and Yard. Minimum yard requirements shall be as follows:
 - 1) Front yard setback: Twenty feet (20').
 - 2) Rear yard setback: Fifteen feet (15') except that interior lots which border upon private driveways may have an accessory structure used for parking provided it sets a minimum of five feet (5') off the private driveway line.
 - 3) Side yard setbacks:
 - a) Interior side yard setbacks shall be not less than five feet (5') on each side, except that on interior lots of seventy feet (70') or more in width side yard setback shall be at least ten feet (10') in width on one side. Two-story residences shall have ten foot (10') side yard setbacks regardless of parcel width.

- b) Corner lots shall have a street side yard of at least ten feet (10') in width.
- c) On blocks with no access to private driveways, there shall be side yard setback of ten feet (10') on one side. Two-story residences shall have ten foot (10') side yard setbacks on both sides.
- d) Single-story dwellings abutting a private driveway shall have five foot (5') side yard setbacks. Two-story residences shall have ten foot (10') side yard setbacks on both side yards.
- e) Single-story dwellings without private driveway access and any building over one story in height, shall have a side yard setback of ten feet (10') on one side. Two-story residences shall have ten foot (10') side yard setbacks on both sides.

c. Building Height. No building in the R-MF zone shall exceed three (3) stories or fifty feet (50') whichever is lesser in height.

d. Off Street Parking. Automobile storage space shall be provided as required by Chapter 17.55 of the City of Beaumont Zoning Ordinance.

e. Landscaping.

- 1) Landscaping shall include shrubs, trees, vines, ground covers, hedges, flowers, bark, drips, decorating cinders, gravel, and similar material which will improve the appearance of yard areas.
- 2) Non-plant materials shall not be used exclusively in lieu of growing ground covers.
- 3) Required front and side yards shall be continually maintained by the property owner and shall not be used for off-street parking of vehicles or loading spaces.
- 4) Each yard (front and rear) shall be served by at least one permanent water hose bib.
- 5) Front yard landscape plans shall be approved by the City prior to issuance of building permits for each residence. All front yard landscaping shall be installed by the developer/builder prior to obtaining a certificate of occupancy.
- 6) Front yard landscaping shall be irrigated by an automatic irrigation system and include a controlled timing device.

7) A master landscaping plan shall be submitted to the City of Beaumont for approval at the Plot Plan stage of development.

f. Signs. The provisions of Chapter 17.60 of the City of Beaumont Zoning Ordinance shall apply.

g. Off-Site Improvements. The provisions of Chapter 17.65 of the City of Beaumont Zoning Ordinance shall apply.

h. Building Area. When multiple units are to be built on a lot under this classification, the following rules shall apply:

- 1) Each unit of a group of two or more on one lot shall have a floor area of not less than the following:
 - a) If the unit has two bedrooms, the area shall be not less than one thousand one hundred (1,100) square feet.
 - b) If the unit has only one bedroom, the area shall be not less than nine hundred (900) square feet. Each additional bedroom - two hundred (200) square feet.
 - c) If the unit has only a living room-bedroom combination (studio), the area shall be not less than six hundred fifty (650) square feet.
- 2) When only a single family dwelling unit is constructed on a lot in an R-MF zone, it shall have a minimum lot size of 6,000 square feet (minimum width 60' and minimum depth of 100') and a floor area of not less than 1,200 square feet excluding garage and/or carport. The 1,200 square foot minimum size will accommodate a 2 bedroom unit; 200 square feet shall be added for each additional bedroom.

i. Distance Required Between Main Buildings. No two-story main building shall be closer than twenty feet (20') to any other main building on the same lot and no one-story building shall be closer than ten feet (10') to any other one-story main building on the same lot.

j. Net Lot Area Per Dwelling Unit. The minimum building site area shall be 3,630 square feet in area or a maximum of twelve (12) dwelling units per acre, whichever is less providing that the lot is a minimum of sixty feet (60') in width and the area occupied by all buildings shall not exceed sixty percent (60%) of the area of such building site.

k. Usable Open Space.

- 1) Definition: "*Usable Open Space*" means that space upon the lot or parcel to which it is appurtenant, which can be used by inhabitants of the property for outdoor living, activity and/or recreation and may include landscaping. Each linear dimension of such space shall be a minimum of six feet (6'). Balconies may be credited as "*usable open space*" provided they each have linear dimension of a minimum of five feet (5'). Enclosed recreation or multi-purpose activity rooms may be credited as "*usable open space*". All such areas shall be readily accessible to the inhabitants of the property. "*Usable open space*" does not include driveways, open or covered parking areas, utility space such as trash or garbage areas, or space occupied by the required front yard setback.
- 2) For the Multiple Unit Zones the following minimum usable open space is required for:
 - a) Each studio apartment, two hundred (200) square feet.
 - b) Each one-bedroom apartment, two hundred (200) square feet.
 - c) Each two-bedroom apartment, two hundred (200) square feet plus one hundred (100) square feet making a total of three hundred (300) square feet.
 - d) Each additional bedroom an additional one hundred (100) square feet.
- 3) The Method of Computation of usable open space shall be as follows:
 - a) The following areas shall be computed at 1.0 times the area actually devoted to such use:
 - (1) Private patios, when directly accessible to the dwelling unit to which they are appurtenant. These patios shall be completely enclosed on all sides by a fence which is a minimum of five feet (5') in height. Patios shall be a minimum of 72 square feet.
 - (2) Balconies and lanais, when directly accessible to the unit to which they are appurtenant. Balconies and lanais must have a minimum dimension of five feet (5'). Balconies shall be a minimum of 60 square feet.
 - (3) Swimming pool areas, including the hard surface deck which normally surrounds such pools. Deck area more than twenty-five

feet (25') from the edge of the pool will not be counted as open space under this methods.

(4) Indoor recreation activity rooms, provided these rooms are permanently maintained for the use of tenants for various recreation activities. Such activity rooms shall not include lobbies, but may include common steam rooms, sauna baths, or the like.

b) No area will be considered as usable open space if it has any dimension less than six feet (6') except balconies.

SPECIFIC PLAN ZONING MATRIX

	6,000 SF Lots PAs 2, 3 & 6	8,000 SF Lots PAs 4 & 5	55'x85' Lots PAs 12 & 13	60'x90' Lots PAs 10 & 11A	Townhomes PAs 8
Minimum DU Size	2 bdrm - min. 1,200 SF, each additional bdrm - 200 SF	2 bdrm - min. 1,200 SF, each additional bdrm - 200 SF	2 bdrm - min. 1,200 SF, each additional bdrm - 200 SF	2 bdrm - min. 1,200 SF, each additional bdrm - 200 SF	1 bdrm - min. 900 SF, 2 bdrm - min. 1,100 SF, studio - 950 SF, each additional bdrm - 200 SF
Minimum Lot Size	6,000 SF	8,000 SF	4,675 SF	5,400 SF	6,000 SF, 2,000 SF for zero lot line condos
Minimum Lot Width	60'	70'	55'*	60''*	60' - typical 20' - zero lot line condos
Minimum Lot Depth	90'	100'	85'*	90''*	100'
Maximum Permitted Lot Coverage	60%	60%	60%	60%	60%
Front Yard Set-back	20'; 10' side entry garage	20'; 10' side entry garage	20''*, 5' side entry garage with electric roll-up door	20''*, 5' side entry garage with electric roll-up door	20'
Interior Side Yard Setback	5' one side, 10' unobstructed on other	5' one side, 10' unobstructed on other	5'* both sides	5'* both sides	5' - 1 story 10' - 2 story
Corner Lot Street Side Yard Setback	10'	10'	5'*	5'*	10'
Rear Yard Setback	15' min.-1 story 20' min.-2 story	15' min.-1 story 20' min.-2 story	15'*	15'*	15'

*Note Variation allowing for "wide and shallow," "Z-Lot" or similar lotting patterns are permitted upon review and approval by the Planning Director or his/her designee.

F. PARKS AND RECREATION CENTER

1. PURPOSE AND INTENT

The purpose of the Park land use classification is to permit the development of community recreational uses in appropriate locations within the Seneca Springs Specific Plan.

2. APPLICABILITY

The standards apply to Planning Areas 7, 7B, 9 and 14 of the Seneca Springs Specific Plan

3. PRINCIPAL PERMITTED USES

The following uses are permitted subject to the approval of an Administrative Plot Plan as referenced in Title 17, Chapter 17.70.005(a)1. The plot plan may include conditions requiring fencing and landscaping of the parcel to further enhance compatibility with the surrounding area. More than one use shall be permitted on a lot.

- a. Picnic area.
- b. Group barbecue area including grills.
- c. Basketball court (half-court or full-court).
- d. Volleyball court.
- e. Tot lot.
- f. Adventure play, including ball fields with related equipment (e.g. backstops, goals, seating areas).
- g. Tennis courts.
- h. Shade arbor.
- i. Restrooms.
- j. Equipment storage building.
- k. Parking lot.
- l. Bicycle racks.

m. Additional recreational uses that are determined to be "substantially similar" to the listed examples and in complete accord to the Purpose and Intent of this zone.

4. SITE DEVELOPMENT STANDARDS

- a. *Lot Area.* There is no minimum lot area requirement for this zone.
- b. *Setbacks - Yard.* The following setbacks shall be applicable to the location of buildings (restrooms, equipment storage) on the site.
 - 1) Front Yard Setback (measured from face of curb): Fifteen feet (15').
 - 2) Rear Yard Setback: Ten feet (10').
 - 3) Accessory buildings (restrooms, equipment storage) shall not be located closer than ten feet (10') to the nearest part of a main building.
- c. *Off Street Parking.* On-site automobile parking shall be required in Planning Areas 7A and 9. On-street parking will suffice for other parks and recreational amenities.
- d. *Trash Areas.* All trash collection areas shall be enclosed with a solid fence or wall, no less than six feet (6') high.
- e. *Signs.* Signs shall be permitted and regulated by the provisions of Chapter 17.60 of Title 17. The Planning Director shall have the authority to approve signage exceeding the standards as specified in Chapter 17.60, provided that the signage by review of design, materials, color, and location is determined to be in the interest of the public health, safety, general welfare and aesthetics of the community. However, in no case shall the provisions of Chapter 17.60 be administratively revised to become more stringent relative to their application within this zone.
- f. *Landscaping.* Landscaping in the form of ground cover, shrubs and trees shall be required in this zone. Shrubs, canopy and accent trees will be strategically located to provide shade and aesthetic quality. All landscaping plans within this zone shall be submitted to the City of Beaumont for approval.
- g. *Irrigation.* All landscaped areas shall be irrigated by an automatic irrigation system per the requirements of the City of Beaumont Zoning Ordinance.

5. OFF-SITE IMPROVEMENTS

Off-site improvements adjacent to this zone including curbs, gutter and sidewalks shall be provided prior to certificate of occupancy issuance.

G. COMMERCIAL ZONE

1. PURPOSE AND INTENT

The Commercial Zone is intended to provide for and encourage the orderly development of general commercial uses with a wide variety of goods and services for the residents of the entire City. Provisions are designed to insure that such commerce will be efficient, functionally-related, and compatible with adjacent non-commercial development.

2. APPLICABILITY

The Commercial standards apply to Planning Area 15 of the Seneca Springs Specific Plan.

3. PRINCIPAL PERMITTED USES

- a. The following uses shall be permitted in the Commercial Zone of Planning Area 15, only in an enclosed building, provided a development plan shall have been approved pursuant to City Ordinances:
 - 1) Administrative and professional offices, including but not limited to, business, law, medical, dental, chiropractic, architectural, engineering, community planning and real estate offices, in which no activity is carried on catering to retail sales and no stock of goods is maintained for sale.
 - 2) Ambulance services.
 - 3) Antique shops.
 - 4) Appliance stores, household.
 - 5) Art gallery, library, reading room and museum.
 - 6) Art supply shops and studios.
 - 7) Automobile parts and supply stores.
 - 8) Bakery goods distributors.
 - 9) Bakery shops, including baking only when incidental to retail sales on the premises.
 - 10) Banks and financial institutions.
 - 11) Barber and beauty shops.
 - 12) Bicycle sales and rentals.
 - 13) Blueprint, reprographics and duplicating services.
 - 14) Book stores and binders.
 - 15) Car washes.
 - 16) Catering services.
 - 17) Cleaning and dyeing shops.
 - 18) Clinics, including but not limited to medical, dental and chiropractic.
 - 19) Clothing stores.
 - 20) Computer and typewriter sales and rental, including incidental repairs.

- 21) Confectionery or candy stores.
- 22) Convenience stores, not including the sale of motor vehicle fuel.
- 23) Costume design studios.
- 24) Day-care centers.
- 25) Delicatessens.
- 26) Department stores.
- 27) Discount stores and membership warehouse clubs.
- 28) Drug stores and pharmacies.
- 29) Dry goods stores.
- 30) Employment agencies.
- 31) Exercise, health and fitness centers.
- 32) Florists shops.
- 33) Gasoline service stations, not including the concurrent sale of beer and wine for off premises consumption.
- 34) Gift shops.
- 35) Hardware stores, not including outside storage.
- 36) Household goods sales, including but not limited to, new and used appliances, furniture, carpets, draperies, lamps, radios and television sets, including repair thereof.
- 37) Hotels and motels.
- 38) Hobby shops.
- 39) Ice cream shops.
- 40) Interior decorating shops.
- 41) Jewelry stores, including incidental repairs.
- 42) Labor temples.
- 43) Laundries and laundromats.
- 44) Leather goods stores.
- 45) Liquid petroleum service stations, not including the concurrent sale of beer and wine for off-premises consumption.
- 46) Locksmith shops.
- 47) Mail order businesses.
- 48) Manufacturer's agent.
- 49) Markets, including but not limited to food, produce, fruit, vegetable, fish and poultry and meat markets, but not including slaughtering.
- 50) Mortuaries.
- 51) Music stores.
- 52) News stores.
- 53) Notions or novelty stores.
- 54) Paint and wallpaper stores, not including paint contractors.
- 55) Parking lots and parking structures.
- 56) Pet shops and pet supply shops.
- 57) Photography shops and studios and photo engraving.
- 58) Plumbing shops, not including plumbing contractors.

- 59) Prescription pharmacy when related and incidental to a professional office building.
- 60) Printers or publishers.
- 61) Recording studios.
- 62) Recycling collection facilities.
- 63) Restaurants and other eating establishments, with drive-in and drive-thru restaurants, not including restaurants with bars/cocktail lounges that offer live entertainment.
- 64) Schools, business and professional, including but not limited to art, barber, beauty, dance, drama, music and swimming.
- 65) Shoe stores and repair shops.
- 66) Shoeshine stands.
- 67) Signs, on-site advertising.
- 68) Sporting goods stores.
- 69) Stained glass assembly.
- 70) Stationer stores.
- 71) Studios for professional work in or teaching of any form of fine arts, including but not limited to photography, music, drama, and dance, where no stock of goods is maintained for sale.
- 72) Taxidermist.
- 73) Tailor shops.
- 74) Telephone exchanges.
- 75) Tobacco shops.
- 76) Tourist information centers.
- 77) Toy shops.
- 78) Travel agencies.
- 79) Watch repair shops.
- 80) Wholesale business with samples on the premises but not including storage.

4. PLOT PLAN USES

The following uses are permitted, in the Commercial Zone of Planning Area 15 together with display of materials appurtenant to such use, provided a development plan has been approved pursuant to City Ordinances:

- 1) Bicycle sales and rentals, excepting outside storage.
- 2) Golf cart sales and service, excepting outside storage.
- 3) Hardware stores, including not more than one thousand (1,000) square feet of outside storage lumber.
- 4) Mobile homes, provided they are kept mobile and licensed pursuant to State Law, used for:

- a) Sales offices on mobile home sales lots.
- b) Construction offices and caretaker's quarters on construction sites for the duration of a valid building permit, provided they are inconspicuously located.
- c) Caretakers or watchmen and their families, provided no rent is paid, where a permitted and existing commercial use is established. Not more than one mobile home shall be allowed for a parcel of land or a shopping center complex.

- 5) Nurseries and garden supply stores, excepting outside storage.
- 6) Parking lots and parking structures.

5. CONDITIONAL USE PERMIT

The following uses are permitted in the Commercial Zone of Planning Area 15 provided a conditional use permit has been granted pursuant to City Ordinance:

- 1) Automobile repair garages, not including body and fender shops or spray painting.
- 2) Bars and cocktail lounges when associated with or without live entertainment.
- 3) Bicycle sales and rentals with outside storage.
- 4) Convenience stores, including the sale of motor vehicle fuel.
- 5) Dance halls.
- 6) Electrical substations.
- 7) Entertainment lounges.
- 8) Equipment sales, rental and storage services, including rototillers, power mowers, sanders, power saws, cement and plaster mixers not exceeding ten (10) cubic feet in capacity and other similar equipment.
- 9) Fortune telling, spiritualism or similar activity.
- 10) Gasoline service stations with the concurrent sale of beer and wine for off-premises consumption.
- 11) Golf cart sales and services with outside storage.
- 12) Laboratories, including but not limited to film, dental, medical, research or testing laboratories.
- 13) Liquid petroleum service stations with the concurrent sale of beer and wine for off-premises consumption.
- 14) Liquor stores.
- 15) Nurseries and garden supply stores with outside storage.
- 16) Outside storage or display of materials appurtenant to a particular commercial use.
- 17) Pawn shops.
- 18) Radio, microwave and television receiving antennas, dish antennas, and flag poles.
- 19) Restaurants or other eating establishments with live entertainment.
- 20) Theaters, not including drive-ins.
- 21) Tire sales and service, not including recapping.

6. PUBLIC USE PERMIT

The following uses are permitted in the Commercial Zone of Planning Area 15, provided a public use permit has been approved pursuant to City Ordinances:

- 1) Churches, synagogues and other similar religious structures and facilities including incidental uses such as assembly, work rooms, living quarters of a priest, minister or family, and day-care and educational facilities.

7. ACCESSORY USES

Accessory Uses: Any use that is not specifically listed in Subsections 3, 4, 5 and 6 may be considered a permitted use provided that the Planning Director finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process which governs the category in which it falls.

8. PLANNED COMMERCIAL DEVELOPMENTS

Planned Commercial Developments are permitted provided a land division is approved pursuant to City Ordinances.

9. SITE DEVELOPMENT STANDARDS

The following standards of development are required in the Commercial Zone of Planning Area 15:

- a. ***Lot Area.*** There is no minimum lot area requirement; however, no subdivision of the Commercial Zone shall be permitted without an approved development plan.
- b. ***Setbacks.***
 - 1) Where the front, side or rear yard adjoins a street, the minimum setback shall be twenty-five feet (25') from the right-of-way line. A minimum of ten feet (10') of this setback adjacent to the street right-of-way line shall be landscaped.
 - 2) Where the front, side or rear yard adjoins a lot zoned for residential use, or Specific Plan with a residential use, the minimum setback shall be between twenty-five feet (25') to forty feet (40') from the property line. A minimum of ten feet (10') of this setback area adjacent to the property line shall be landscaped.
 - 3) Where the front, side or rear yard adjoins a lot with a use other than those specified in paragraph "1)" above, there is no minimum setback.
 - 4) Setback areas may be used for driveways, parking and landscaping.

- c. *Height Requirements.* All buildings and structures shall not exceed fifty feet (50') in height.
- d. *Masonry Wall.* Prior to occupancy of any use permitted in this Ordinance, a minimum six foot (6') high solid masonry wall or combination landscaped earthen berm and masonry wall shall be constructed on each property line that adjoins any parcel specifically zoned for residential use.
- e. *Landscaping.*
 - 1) A minimum of fifteen percent (15%) of the site proposed for development shall be landscaped and irrigated.
 - 2) Not less than five feet (5') of the front yard setback shall be landscaped.
 - 3) Parking lot landscaping, shading and irrigation shall conform to applicable City Ordinances.
- f. *Parking.* Automobile parking space shall be five (5) spaces for every one thousand (1,000) square feet of gross leasable floor area. The number of loading and unloading spaces required are indicated on the following table:

GROSS FLOOR AREA (Square Feet)	LOADING-UNLOADING SPACES (Number)
7,499 s.f. or less	0
7,500 - 14,999 s.f.	1
15,000 - 24,999 s.f.	2
25,000 - 39,999 s.f.	3
40,000 - 59,999 s.f.	4
60,000 - 79,999 s.f.	5
80,000 - 100,000 s.f.	7
For each additional 100,000 s.f. above 100,000 s.f.	1 additional space

- g. *Mechanical Equipment.* All roof mounted equipment shall be screened from the ground elevation view. Screening shall be incorporated into the architecture with similar materials and finishes.
- h. *Truck Wells.* Truck wells will be screened with the use of landscaping and/or architectural features.

i. *Refuse Collection Areas/Loading Docks.*

- 1) All refuse collection areas and structures and loading docks shall be designed and provided in accordance with applicable City of Beaumont rules and policies.
- 2) Storage and trash collection structures and loading docks shall not be located within any required setback area, including front, side and rear yard setbacks.
- 3) Refuse collection areas and structures shall be conveniently accessible to the buildings they are designed to serve.
- 4) Loading docks and structures which are used for storage or trash collection shall be screened by landscaping, solid walls/fencing, architectural features, or combination thereof, in such a manner as not to be visible from a public street or from any adjacent residential area.
- 5) Walls and fences used to screen storage or trash collection areas or loading docks shall be solid and shall not exceed six feet (6') in height.

j. *Recycling Collection Facilities.*

- 1) Recycling collection facilities shall be contained within a structure that is compatible with surrounding structures in the area and with the architecture of the building or center in which it is located.
- 2) Recycling collection facilities shall be located at least one hundred feet (100') from any residential uses; provided, however, that recycling processing facilities shall not abut any existing or planned residential properties.
- 3) Recycling collection facilities should not significantly decrease required parking or disrupt parking lot circulation. Sufficient drop-off space shall be provided around the collection facility to accommodate the users.
- 4) A trash receptacle of sufficient size must be provided for disposable containers in which recyclable materials are brought to the collection facility, in order to minimize litter in the area.
- 5) Signing for recycling facilities shall conform to all applicable City rules and policies.
- 6) Space shall be provided on-site for the anticipated peak load of customers to circulate, park and deposit recyclable materials.

k. *On-Site Signs.*

1) Retail Commercial Entry Monumentation:

- a) Primary entry monumentation signage is intended to identify anchor tenants and shall not exceed a total area of one hundred (100) square feet in the aggregate; provided, however, that the sign shall not exceed sixteen feet (16') in height or ten feet (10') in length. Entry monumentation letter type styles, sizes and colors shall be reviewed and approved by the City during the Development Plan Review process. Primary entry monumentation signage shall be limited to entry points.
- b) Maximum sign area for secondary tenant monumentation shall not exceed sixty (60) square feet in size. Type styles, sizes and colors shall be reviewed and approved by the City during the Development Plan Review process.

2) Retail Commercial Building Identification Signage:

- a) The surface area of building identification signage shall not exceed ten percent (10%) of the surface area of the front and side walls of the building. Maximum letter height shall not exceed forty-eight inches (48") unless approved by the City during the Development Plan Review process.
- b) The surface area of building identification signage shall not exceed five percent (5%) of the surface area of the rear face of the building. Maximum letter height shall not exceed forty-eight inches (48") unless approved by the City during the Development Plan Review process.
- c) All on-building fascia signage shall be coordinated with other signage within the center.
- d) *Tenant Window Identification.* Store identity, graphics, typography and/or company logo may be silkscreened or etched on the tenant's window in white only. The maximum square foot graphic area allowed per window shall not exceed four (4) square feet; provided, however, that in-store neon type signage shall not exceed eight (8) square feet in size. Signs will not be permitted on doors.
- e) *Temporary Window Signs.* Temporary signs are those signs which advertise or promote a special event, such as an opening, or offering of a new product or service and are easily removed. Temporary window signs are allowed provided they meet the following criteria:

- (1) Sign graphics of any nature painted directly on a window shall not be considered a temporary window sign.
- (2) A window sign advertising or promoting any product or service offered on a regular basis or at a regular price shall not be considered a temporary window sign.
- (3) Temporary window signs shall not be illuminated, shall be limited to twelve percent (12%) of the tenant's storefront glass area, and shall be displayed no more than fourteen (14) days.
- (4) Flashing or moving signage is prohibited.

f) *Hanging Signs.* No more than one hanging sign shall be erected per commercial tenant. The maximum size for hanging signs, not including banners, pennants and awnings, shall be four (4) square feet with four-inch (4") tall letters maximum.

g) *Banners, Pennants and Awnings.* Banners, pennants and awnings, or a combination of the same, shall be permitted; provided, however, that such signs are compatible in form, style and color with the design character of the architecture. Banners are defined as decorative cloth, canvas or similar material which may be hung from light standards or buildings and do not include retail "sale" signs.

3) Office/Institutional Signage:

- a) Site identification signage shall be limited to identifying the complex, building, or company occupying the site and shall be limited to one sign for every four hundred (400) linear feet of street frontage, although one sign may be permitted per minor or major entry.
- b) Fully illuminated sign cans for office and institutional use signage shall not be permitted, although signage may be illuminated by "halo-lit" individual letters, concealed ground level flood lights or back-cut letter signs in a metal can. Hotel uses may utilize fully illuminated sign cans.
- c) Leasing, temporary and future facilities signage shall be permitted for any office or institutional use, provided that the maximum area does not exceed ninety-six (96) square feet.
- d) Signage for building addresses shall be provided on every main building, preferably as close to the main entrance as possible. Numerals shall be no larger than twelve inches (12") and no smaller than six inches (6") in

height. In no event shall the numerals appear to be the dominant graphic device on the facade of any building.

4) Directional Signage:

- a) Multiple tenant directory signs and parking directional signage shall be permitted; provided, however, that the maximum sign area does not exceed eighteen (18) square feet with an overall height not exceeding four feet (4') above finished grade.

5) Theater Marquee:

- a) Permanent signage for all theaters and special event facilities shall be permitted and may be provided in the form of either theater monument signs and/or marquee signs. These signs, if provided, shall consist of a permanent portion displaying the name of the theater or other special event facilities and, if desired, may also include a changeable section accommodating program information.

6) Prohibited Signage:

The following forms and types of signage shall not be permitted within the Specific Plan area:

- a) Signs which incorporate any manner of mechanical movement, audible elements, flashing or intermittent lighting, and/or moving or otherwise animated forms.
- b) Signs which interfere with or conflict with any traffic control device, create a safety hazard by obstructing the clear view of pedestrian or vehicular traffic, project into the public right-of-way or interfere with efficient operations of emergency vehicles.
- c) Signs which prevent free access to or from any fire escape, door, window or exit, or access to any standpipe.
- d) Signs which project above a parapet or roofline or which are located upon or affixed to the roof of a building.
- e) Signs where the entire face of the sign is illuminated rather than just the graphics, except for hotel-related signage which may be fully illuminated.
- f) Graphics painted on or adhered to trash bins or their enclosures.

- g) Sign cabinets with entire faces of plexiglass.
- h) Any sandwich board "A" frame sign or other portable sign.
- i) Signs which identify or advertise a product or service not available on the property.
- j) Any sign placed or displayed on vehicles parked primarily for the purpose of displaying the sign.
- k) Temporary signs beyond the period of display approved by City Ordinances.

7) General Sign Specifications (for all types of signage in all areas):

- a) All building-mounted signs shall meet or exceed all applicable city, state and federal codes.
- b) All signs containing electrical components shall conform to the Uniform Lighting Code.
- c) No on-site sign shall be affixed on/above or over the roof of any building, and no on-site sign shall be affixed to the wall of a building so that it projects above the parapet of the building. For the purposes of this section, a mansard style roof shall be considered a parapet.

k. *Lighting.*

- 1) All lighting fixtures, including spot lights, electrical reflectors and other means of illumination for signs, structures, landscaping, parking, loading, unloading and similar areas shall be focused, directed and arranged to prevent glare or direct illumination on streets or adjoining property.
- 2) The level of on-site lighting, as well as the type of lighting fixtures, shall comply with all applicable requirements of the City of Beaumont.
- 3) The maximum height for parking lighting fixtures shall not exceed thirty-two feet (32').

10. EXCEPTIONS TO DEVELOPMENT STANDARDS.

The development standards contained herein, except lot size, setbacks and height, may be waived or modified by the Planning Director or an appropriate hearing body as part of the development plan or conditional use permit process, if it is determined that the standard is inappropriate for the proposed use, and that waiver or modification of the standard will not be contrary to the public health and safety.

H. CHURCH OR SIMILAR RELIGIOUS INSTITUTE SITE

1. PURPOSE AND INTENT

The purpose of the Church land use classification is to provide an area for religious worship in the form of churches, synagogues or similar religious institute. If the church site is not developed with church or synagogue facilities, then the project proponent reserves the right to develop this area with medium density residential uses on 6,000 sq. ft. lots.

If residential uses are developed, the zoning standards in Section IV.A, *Medium Density Residential - 6,000 sq. ft. lots*, will apply.

2. APPLICABILITY

The standards apply to Planning Area 1 of the Seneca Springs Specific Plan.

3. PRINCIPAL PERMITTED USES

- a. Churches or synagogues or similar places of religious worship.
- b. One-family dwellings, detached.
- c. Dogs and cats as household pets not to exceed three (3) animals in number in any combination for each dwelling unit.

4. ACCESSORY BUILDING USES

See *Medium Density Residential - 6,000 sq. ft. Lot Zone*.

5. PLOT PLAN USES

See *Medium Density Residential - 6,000 sq. ft. Lot Zone*.

6. CONDITIONAL PERMIT USES

The following uses are permitted subject to the approval of a Conditional Use Permit pursuant to Chapter 17.70 of the City of Beaumont's Municipal Code.

1. Day-care nurseries and day-care centers.
2. Accessory dwelling units.
3. Open space and recreation facilities.

7. PUBLIC USES

See *Medium Density Residential - 6,000 sq. ft. Lot Zone*.

8. SITE DEVELOPMENT STANDARDS

The following standards of development are required for religious institutions within the Church Zone of Planning Area 1: (Residential uses shall comport with the Site Development Standards for *Medium Density Residential - 6,000 sq. ft. lots.*)

- a. *Lot Area:* There is no minimum lot area requirement if a church or temple is developed; however, no development shall be permitted in the Church Zone without an approved development plan.
- b. *Setbacks:*
 - 1) Where the front side or rear yard adjoins a street, the minimum setback shall be fifteen feet (15') from the right-of-way line.
 - 2) Setback areas may be used for driveways, parking and landscaping.
- c. *Height Requirements:* All buildings and structures shall not exceed fifty feet (50') in height.
- d. *Landscaping:*
 - 1) A minimum of fifteen percent (15%) of the site proposed for development shall be landscaped and irrigated.
 - 2) Parking lot landscaping, shading and irrigation shall conform to applicable City ordinances.
- e. *Off-Street Parking:* Off-street automobile parking shall be provided as required by City ordinance.
- f. *Signs:* The provisions of Chapter 17.60 within Title 17 of the City of Beaumont's Municipal Code shall apply.

I. RECREATIONAL VEHICLE (R.V.) STORAGE

1. PURPOSE AND INTENT

The purpose of the R.V. storage lot is to provide Retirement Village residents with a secured place to store their R.V.'s for a short or long term basis. The R.V. storage lot will alleviate the problem of unsightly on-street or driveway parking of such vehicles. This lot will be securely gated and may be accessible by card or key activation. In addition, a fee may be charged for storage in this lot. The Retirement Village Homeowner's Association will be responsible for the upkeep of this area.

2. APPLICABILITY

The standards apply to Planning Area 11B of the Seneca Springs Specific Plan.

3. PRINCIPAL PERMITTED USES

- a. Recreational Vehicle Parking

4. ACCESSORY BUILDING USES

Accessory buildings necessary to maintain the R.V. storage lot shall be allowed under the following site development standard:

- a. Accessory buildings shall not exceed a maximum height of fourteen feet (14').

5. SITE DEVELOPMENT STANDARDS

- a. *Lot Area.* There is no minimum lot area requirement for this zone.
- b. *Setbacks.* From public street right-of-way, front yard setback shall be a minimum of five feet (5') from R.O.W. Side and rear yard setbacks shall be a minimum of two feet (2') from perimeter walls. This area shall be landscaped as described in 5.e below.
- c. *Trash Areas.* All trash collection areas shall be enclosed with a solid fence or wall, no less than six feet (6') high.
- d. *Signs.* Signs shall be permitted and regulated by the provisions of Chapter 17.60 of Title 17. The Planning Director shall have the authority to approve signage exceeding the standards as specified in Chapter 17.60, provided that the signage by review of design, materials, color and location is determined to be in the interest of the public health, safety, general welfare and aesthetics of the community. However, in no case shall the provisions of Chapter 17.60 be administratively revised to become more stringent relative to their application within this zone.

- e. *Landscaping.* Landscaping in the form of groundcover, shrubs and trees shall be required in this zone. Shrubs and trees will be strategically located to screen and soften the parking lot edges.
- f. *Irrigation.* All landscaped areas in this zone shall be irrigated with an automatic system, and shall conform to the applicable City ordinances.

V. GENERAL PLAN/ENVIRONMENTAL ANALYSIS

■ INTRODUCTION

The Seneca Springs Specific Plan has been developed to respond to all opportunities and constraints presented by the physical, environmental and jurisdictional conditions of the site. It is also important that the project be in harmony with the City's General Plan. Therefore, this Section will evaluate this Specific Plan's compatibility with goals, policies, and objectives of the City of Beaumont's General Plan.

A. GENERAL PLAN ANALYSIS

1. HAZARDS ELEMENT

a. Policy

The City shall identify areas of environmental concern (e.g., steep slopes, flood prone areas, geologic hazards, archaeologic/ historic sites, etc.) and require special development review and controls before approval of any new construction therein is granted.

b. Consistency

The City has mapped environmental constraints, both within and outside of the City's municipal boundary. Constraints are not shown for the Seneca Springs property.

a. Policy

Hillside areas in the southern portion of the City's sphere of influence shall be targeted as a zone of special environmental concern.

b. Consistency

No portion of Seneca Springs falls within this policy for special concern in hillside areas.

◆ GEOLOGIC/SEISMIC HAZARDS

a. Policy

The City's disaster preparedness plan shall include emergency procedures for earthquake situations.

b. Consistency

This is a City of Beaumont function.

a. Policy

Existing structures which are seismically unsound shall be identified and programmed for mitigation or removal where necessary to protect the public safety. Cultural and historic significance of buildings shall be considered in this program.

b. Consistency

All on-site structures will be new, and constructed to meet contemporary seismic standards. The significance of the one building on site will be further analyzed.

♦ **FLOOD HAZARDS**

a. Policy

Flood hazard areas of the City and Sphere of Influence shall be identified. Special development standards shall be applied to any new construction and/or change in land use within these areas.

b. Consistency

The property is not shown on the City's Flood Insurance Administration (FIA) map. However, the Potrero Creek Channel traverses through the site. Water in this channel will be collected in a nuisance flow drain, connecting to a 96" diameter storm drain. Drainage and flood control facilities and improvements are illustrated on the *Conceptual On-Site Drainage Plan*, Figure 9.

a. Policy

Relief of existing flooding problems in developed areas shall have priority in the City's capital improvements program over construction of new flood control systems to permit new development.

b. Consistency

Not applicable to the subject property.

a. Policy

The City shall coordinate flood control efforts with appropriate jurisdictions (i.e., City of Banning and Riverside County.)

b. Consistency

This is a City of Beaumont function and not applicable to the subject property.

◆ **FIRE HAZARDS**

a. Policy

The disaster preparedness plan shall include emergency procedures for fire situations.

b. Consistency

This is a City of Beaumont function.

a. Policy

Existing structures which tend to increase fire hazard shall be identified and programmed for mitigation or removal where necessary to protect the public safety. Historic/cultural significance of buildings shall be considered.

b. Consistency

There are no existing structures on site.

◆ **HAZARDOUS MATERIALS**

a. Policy

Transporters of hazardous materials (e.g., the Southern Pacific Railroad and trucking companies), through the City of Beaumont shall make adequate provision for the safety of workers and residents in the vicinity. This shall include notification of police and fire protection agencies.

b. Consistency

Not applicable to physical land development.

a. Policy

Unlicensed dumping of toxic or hazardous materials into the ground or water in Beaumont shall be prohibited.

b. Consistency

Dumping of toxic or hazardous materials will be discouraged and is not expected to occur.

a. Policy

Storage of industrial chemicals and other potentially hazardous substances shall meet all applicable fire prevention regulations.

b. Consistency

Industrial land uses are not proposed for this site. (See *Specific Land Use Plan*, Figure 5). Therefore storage of industrial chemicals and other potentially hazardous substances will not occur.

a. Policy

Disposal, storage and use of potentially hazardous materials within the City shall be subject to continuous review. This will include a survey of the entire City coordinated with the Fire Department, not less than once every three months.

b. Consistency

This site will not be subject to City review relative to hazardous materials because none will be stored on the site.

◆ SAFETY HAZARDS

a. Policy

The City shall adopt, annually review, and adequately publicize a City disaster preparedness plan. This plan will include policies for coordination between the various City departments, Riverside County Agencies, public utilities, and special districts.

b. Consistency

This is the City of Beaumont's responsibility and not related to the physical development of the property.

a. Policy

The general plan will include provisions for coordination with police and fire services, as well as the City's public works department and the Beaumont/Cherry Valley Water district, to insure adequate staffing and location of facilities to protect the community.

b. Consistency

The project developer will coordinate with agencies providing services to the site to insure that those agencies are not adversely impacted by the site's development.

a. Policy

Traffic safety shall be emphasized through careful review of development plans.

b. Consistency

The site's *On-Site Circulation Plan*, Figure 6 has been designed relative to contemporary traffic engineering standards. Further, the site's circulation system is the subject of a traffic study as provided in the technical appendix of this document.

♦ NOISE HAZARDS

a. Policy

Future development within noise impact areas shall be carefully reviewed prior to City approval to ensure the best possible environmental quality for residents, workers and shoppers.

b. Consistency

A review of the *Sound Level Contours for Freeway and Railroad Noise*, Figure 3, in the Environmental Impact Report section of the City's General Plan reveals that the site is not within a noise impact area.

a. Policy

New residential construction in areas impacted by noise shall include adequate sound insulation.

b. Consistency

The site is not within a noise impact area.

a. Policy

Federal regulations pertaining to aircraft noise generation should be strictly enforced.

b. Consistency

Aircraft and/or airport land uses are not proposed for this site. Therefore this policy is not applicable.

◆ **DUST/HIGH WIND HAZARDS**

a. Policy

Any major development as well as agricultural activity peripheral to developed portions of the community should mitigate hazardous wind conditions.

b. Consistency

Grading of the site will occur in a responsible manner so that applicable air quality standards are met or exceeded.

2. NATURAL RESOURCES ELEMENT

♦ **WATER RESOURCES**

a. Policy

The City shall coordinate a program to monitor the quantity, and quality of water with the Beaumont/Cherry Valley Water District.

b. Consistency

This is the City of Beaumont's responsibility and unrelated to the physical development of the property.

a. Policy

The reclamation of treated sewage effluent shall be encouraged (e.g., watering golf courses, cemeteries, etc.).

b. Consistency

It is the intent of the developer to use treated water in areas of extensive landscaping if such water facilities are available within close proximity to the project site.

a. Policy

The City shall recognize the need for aquifer recharge facilities (e.g. ponds, pumping, porous pavements, etc.).

b. Consistency

This is the City of Beaumont's responsibility and unrelated to the physical development of the property.

♦ **AIR QUALITY RESOURCES**

a. Policy

The City shall promote the growth of "clean" industry which does not increase air pollution.

b. Consistency

No industrial development is planned for the property.

♦ ENERGY RESOURCES

a. Policy

Energy conservation shall be encouraged by incorporation of design standards for new development which minimize the consumption of non-renewable energy resources. Developers are specifically encouraged to present innovative techniques to the City for review and consideration.

b. Consistency

This project has been designed efficiently to minimize energy use. Alternate modes of transportation are encouraged by the provision of Class II bicycle lanes, pedestrian/bike paths and sidewalks. In addition, Planning Area 8 is proposed for the development of townhomes which has been determined to be significantly more efficient in terms of space heating and cooling in comparison to single family detached dwellings.

a. Policy

The City shall initiate an active energy conservation program. This could be accomplished in conjunction with programs currently operated by the major utility companies. Incentives for developments which utilize conservation techniques to save energy and conserve resources would be provided.

b. Consistency

This is a City of Beaumont responsibility.

a. Policy

The potential impact on Beaumont of wind energy generation technology in the San Gorgonio pass area shall be assessed.

b. Consistency

This is a City of Beaumont responsibility.

a. Policy

The use of reclaimed methane gas from the sewage treatment facilities should be investigated.

b. Consistency

This is a City of Beaumont responsibility.

♦ **SOILS/AGRICULTURAL RESOURCES**

a. Policy

Existing agricultural uses shall be permitted to remain at the owner's prerogative. Transition of agriculture to more urbanized uses is expected, and is consistent with City objectives for the future.

b. Consistency

A portion of this site has been dry farmed and used for cattle grazing. It was the owner's decision to propose its development, which is consistent with future City objectives.

3. AESTHETIC, CULTURAL AND RECREATIONAL RESOURCES ELEMENT

◆ **PARKS/OPEN SPACE RESOURCES**

a. Policy

The City shall acquire, maintain and operate park and recreation facilities which are adequate for the existing and planned population.

b. Consistency

This project is proposing three park facilities which will be developed by the owner and dedicated to the City. Please see the *Open Space and Recreation Plan*, Figure ____.

This development proposes a variety of private recreational facilities, including the Retirement Village recreation center and mini-recreation center shown in Planning Areas 9 and 14. The townhome planning area (Planning Area 8), will provide private recreational facilities for the use and benefit of residents within its boundaries.

a. Policy

Open space shall be protected and expanded where feasible. Special consideration should be given to environmentally sensitive zones such as steep slopes and flood plains.

b. Consistency

The Potrero Creek Channel traverses through the site. Water in this channel will be collected in a nuisance flow drain connecting to a 96" diameter storm drain. Drainage and flood control facilities and improvements are illustrated on the *Conceptual On-Site Drainage Plan*, Figure 9. The channel area shall be preserved as open space and enhanced with landscaping in a park-like setting.

◆ **SCENIC HIGHWAYS/VISTAS**

a. Policy

Scenic resources such as windrows and street trees (e.g., trees along Beaumont Avenue) should be protected from harmful impacts and maintained as community assets.

b. Consistency

The street trees along Highland Springs Avenue will be protected and incorporated into the landscaping of the project.

a. Policy

Design of new development shall respect and preserve the view opportunities of existing development in the area.

b. Consistency

Views orient to the north toward the San Bernardino Mountains. The Hovchild Specific Plan will be developed south of the project site with primarily residential uses. Construction of Seneca Springs will not adversely impact view opportunities from adjacent developments.

♦ TRAILS AND BIKEWAYS

a. Policy

Existing recreational trails and bikeways shall be protected and maintained.

b. Consistency

There are no existing trails either adjacent to, or on the site.

a. Policy

New development under specific plan procedures shall include provision for new trails and bikeways as appropriate.

b. Consistency

On-site trails and bikeways are proposed by this Specific Plan.

a. Policy

Historic resources of the community shall be inventoried and protected from harmful impacts.

b. Consistency

It is not anticipated that any historical resources will be found on the project site.

♦ **LIBRARY FACILITIES**

a. Policy

The City shall seek supplemental funding sources (including private support) to meet future expansion needs of the library system.

b. Consistency

This is a City of Beaumont function and not directly related to the site's development.

4. **COMMUNITY DEVELOPMENT ELEMENT**

♦ **LAND USE**

a. **Policy**

Implementation of general plan goals shall be reviewed annually. This will include an assessment of the relationship between general plan land use designations and existing land use at the time of the review.

b. **Consistency**

This is a City of Beaumont function and not applicable to the subject property.

a. **Policy**

The City will establish a formal liaison with adjacent jurisdictions, i.e., Riverside County and the City of Banning, for the purpose of evaluating the effects of each jurisdiction's land use planning activities on contiguous areas.

b. **Consistency**

This is a City of Beaumont function and not applicable to the subject property.

a. **Policy**

Beaumont's potential role within the regional market area will be reviewed annually as an integral part of the general plan.

b. **Consistency**

This is a City of Beaumont function and not applicable to the subject property.

a. **Policy**

The "old" downtown area west of California Avenue and south of 7th Street will be targeted for revitalization.

b. **Consistency**

This is a City of Beaumont function and not applicable to the subject property.

a. Policy

The area north of 11th Street will be given special consideration to find ways of consolidating land uses, providing adequate vehicular circulation, and eliminating land locked parcels.

b. Consistency

This is a City of Beaumont function and not applicable to the subject property.

a. Policy

New development will be encouraged in areas adjacent to urbanized portions of the community. Where appropriate annexation to the City shall be actively pursued.

b. Consistency

The site is already within the City limits.

◆ **COMMERCIAL**

a. Policy

Specific types of commercial development which economic analysis indicates are lacking in Beaumont should be encouraged.

b. Consistency

A 13.7-acre neighborhood commercial center is planned for the property. This center will provide service-oriented uses to both on-site residents and those of surrounding communities, and will include a 1.4-acre day-care facility.

a. Policy

Commercial areas adjacent to Sixth Street and Beaumont Avenue should be designated as special study areas and methods to revitalize these areas developed.

b. Consistency

This is a City of Beaumont function and not applicable to the subject property.

a. Policy

Property south of Sixth Street and east of Pennsylvania Avenues shall be designated for commercial use.

b. Consistency

This policy is not related to the subject property.

a. Policy

Additional freeway service-oriented commercial uses shall be encouraged. This can be facilitated through the extension of 5th Street as a frontage road and construction of a freeway on/off ramp at Pennsylvania Avenue.

b. Consistency

Neighborhood commercial uses are proposed for the subject property at the southwest intersection of 1st Street and Highland Springs Avenue.

a. Policy

Revitalization of the downtown business district should be principally achieved through the financial and legal cooperation of local merchants/owners and the City.

b. Consistency

This policy is not related to the subject property.

a. Policy

Formation of a downtown revitalization board should be investigated. The purpose of this board would be to establish a funding mechanism whereby a percentage of revenues generated by new commercial development outside of present commercial areas would be targeted to revitalization efforts for commercial special study areas.

b. Consistency

This policy is not related to the subject property.

a. Policy

Proposed commercial development is encouraged as in-fill development within existing commercial areas rather than in undeveloped portions of the City and its Sphere of Influence.

b. Consistency

Neighborhood commercial uses planned within Seneca Springs will provide service-oriented uses to both on-site residents and those of surrounding communities. The commercial center will provide employment opportunities as well as reduce the need for daily off-site vehicular travel for convenience items.

◆ **INDUSTRIAL**

a. Policy

Only light non-polluting industrial uses shall be allowed in Beaumont.

b. Consistency

No industrial land uses are proposed for the subject property.

a. Policy

Industrially designated area shall include specific "industrial park" type development standards and guidelines.

b. Consistency

No industrial land uses are proposed for the subject property.

◆ **POPULATION**

a. Policy

The City shall continually refine population growth forecasts to insure adequate planning for anticipated increased levels of sewerage, water and other necessary community services.

b. Consistency

This is a City of Beaumont function, however, as demonstrated in the following "Infrastructure Element", the project developer is making provisions to provide adequate support infrastructure.

5. INFRASTRUCTURE ELEMENT

◆ **WATER SYSTEM, SEWERAGE SYSTEM, STORM DRAINAGE SYSTEM AND UTILITY TRANSMISSION FACILITIES**

a. Policy

Extension of City utilities, services and other facilities both within the City limits as well as to newly-annexed and undeveloped areas will be based upon an adopted City capital improvement program.

b. Consistency

The adoption of a capital improvement program is a City of Beaumont function. The cost for the extension of facilities to the site will be borne by the developer and affected properties, probably through the establishment of an assessment district.

a. Policy

The City's capital improvement program will include the entire community, as well as be responsive to areas contiguous to the City's corporate boundaries in which new growth and development is likely to occur.

b. Consistency

The adoption of a capital improvement program is a City of Beaumont function.

a. Policy

Capital improvements should be financed by means of special assessment districts consisting of all property owners to be benefitted.

b. Consistency

As noted previously, the cost for the extension of facilities to the site will be borne by the developer and affected properties, probably through the establishment of an assessment district.

a. Policy

Commitment of public funds to provide necessary off-site improvements for development of vacant private property will consider the net revenue which the development will produce for the City over time.

b. Consistency

At this time, the project developer is not requesting a commitment of public funds to provide off-site improvements.

a. Policy

The impact on Beaumont of major utility transmission facilities will be considered in relation to potential development.

b. Consistency

There are existing underground gas transmission lines traversing the southern part of the site (see Planning Areas 16A, B and 17). These easements shall be landscaped and contain a meandering pedestrian/bicycle path in a park-like setting. All land uses will be coordinated with affected utility companies.

a. Policy

Major new developments in vacant areas should not be approved until water and sewer master plans are completed.

b. Consistency

The provision of water to the site is being coordinated with the City of Beaumont. Sewer service is proposed to be provided by the City of Beaumont in conjunction with their master plan.

a. Policy

The feasibility of creating a regional sewer system should be investigated as part of a sewer system master plan.

b. Consistency

An expanded City sewer system is being engineered.

a. Policy

Citywide circulation demands will be satisfied by a planned expansion of new construction of streets and highways as part of the capital improvements program.

b. Consistency

This is a City of Beaumont function and not applicable to the subject property. As discussed in the Circulation Plan section of this Specific Plan, it is proposed that the project be accessed by First Street, Highland Springs Avenue and Pennsylvania Avenue. Project related circulation system impact to those roads will be paid for by the developer. The on-site circulation system will be constructed by the developer.

a. Policy

Public transit will be encouraged by City participation in local and regional transit programs, and by special consideration in large, new developments wherever feasible.

b. Consistency

Public transportation is neither economically feasible nor proposed by the developer.

a. Policy

The fiscal programming of ongoing street maintenance and improvements will consider the use of special assessments to those properties which most directly benefit.

b. Consistency

This is a City of Beaumont function.

6. HOUSING ELEMENT

♦ HOUSING AVAILABILITY AND PRODUCTION

a. Policy

Homebuilders are encouraged to suggest innovative housing techniques which meet the City's housing objectives and provide adequate housing in more efficient ways.

b. Consistency

This will be a master planned community which is desired by the City. The plan has been designed to efficiently maximize use of the land. All land on the site is proposed to be developed in accordance to the *Specific Land Use Plan*, Figure 5.

a. Policy

The development of second units on an existing lot shall be carefully reviewed. Such units will be limited to one story in height, be compatible with surrounding units and have adequate parking and infrastructure.

b. Consistency

This policy is applicable to existing development. It is proposed that all on-site dwellings be located on one lot (each dwelling). The exception is that the townhomes (Planning Area 8) will contain numerous attached dwellings, all of which are technically on one lot.

a. Policy

Manufactured housing and mobile home subdivision (i.e., own-your-own lot), will be encouraged.

b. Consistency

The site's development will not be targeted toward pre-constructed (manufactured) and mobile homes, therefore that type of dwelling unit will not be provided. Marketing study suggests that the proposed dwelling unit types and mixture will be marketable to a large segment of the population.

a. Policy

Manufactured housing will be actively encouraged in all low-density residential area.

b. Consistency

As noted previously, manufactured housing is not proposed.

a. Policy

Provisions will be made for condominium and attached unit developments.

b. Consistency

Planning Area 8 is proposed to be built with townhome development.

a. Policy

Provisions shall be made for seasonal recreational vehicle parks, including specific design and development standards.

b. Consistency

A seasonal R.V. Park is not an appropriate use for this planned community. R.V. parks are more appropriately located on easily accessible arterial road-ways in close proximity to existing R.V. Parks, rather than sporadically located on a "spot zoning" basis throughout the City. However, a 1.1-acre R.V. storage lot is provided within the proposed Retirement Village, as shown on Planning Area 11B.

a. Policy

Maximize the use of remaining vacant residential land in the City.

b. Consistency

From a land use planning and marketing stand-point, the use of this land will be maximized.

a. Policy

Assure that new residential development is appropriately located with respect to public/private services and facilities.

b. Consistency

Public/private services and facilities will be coordinated with development of the site. Please see Section II.A. (Specific Plan, Development Plans and Standards) for infrastructure plans and standards.

♦ **HOUSING AFFORDABILITY**

a. Policy

Promote the development of new housing units affordable to households of lower income, and of new dwellings affordable to those with incomes up to 130% of the County median income.

b. Consistency

Housing units with a variety of prices will be offered, ranging from single-family detached homes to multi-family townhomes and seniors housing.

a. Policy

Pursue available housing assistance programs funded by the State and Federal governments.

b. Consistency

It is not the intention of the project developer to pursue government housing assistance programs. It is felt that, this is a City of Beaumont responsibility.

a. Policy

Utilize local public financing tools such as SB99 and AB 13551/ to provide below-market rate mortgage financing for both sales and rental units.

b. Consistency

This is a City of Beaumont function.

a. Policy

Continue to promote the affordability of existing housing units for low and moderate income households by capturing, for the benefit of eligible city residents, federal housing assistance subsidies.

b. Consistency

This is a City of Beaumont function.

a. Policy

Continue to cooperate with Riverside County in securing funding for housing assistance programs.

b. Consistency

This is a City of Beaumont function.

♦ **HOUSING CONDITION**

a. Policy

Continue to pursue housing rehabilitation programs offered by the state and federal governments.

b. Consistency

This is a City of Beaumont function. It should be noted however, that all on-site housing will be new construction built to meet the demanding standards of applicable building codes.

a. Policy

Existing structures which are hazardous to public safety shall be identified and programmed for repair or removal.

b. Consistency

No existing structures occur on site.

a. Policy

Promote utilization of rehabilitation assistance programs to alleviate overcrowded conditions.

b. Consistency

This is a City of Beaumont function and not related to this project.

a. Policy

Encourage continued maintenance of currently-sound housing through a local information and assistance program.

b. Consistency

This is a City of Beaumont function.