

BEAUMONT

Summit Station Specific Plan

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Beaumont Summit Station Specific Plan

Draft August 2022

Prepared For:

City of Beaumont

Applicant

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1.0 INTRODUCTION

This section of the Beaumont Summit Station (Summit Station) Specific Plan describes the location of the Project and existing uses, identifies project objectives, and outlines the organization of the Plan.

1.1 Location

The Specific Plan area is generally located northeast of Interstate 10 (I-10), in the extreme northern portion of the City of Beaumont in Riverside County.

The site is more specifically located south of Cherry Valley Boulevard and north of Brookside Avenue.

Figure 1-1, Location Map depicts the location of the proposed Project within the region and the City of Beaumont.

1.2 Specific Plan Area

The Summit Station Specific Plan area is approximately 188 gross acres of undeveloped land, comprised of Planning Areas 1–11 of the previously approved Sunny-Cal Specific Plan. **Figure 1-2, Specific Plan Area** illustrates the Specific Plan area.

Annexation. The original Sunny-Cal Specific Plan identified the entire Specific Plan area to be included within the City's Sphere of Influence (SOI) and annexed into the City. The property, without the portion of prior Planning Area 3 (panhandle), was incorporated into the City's SOI and annexed into the City of Beaumont in 2017. Annexation into the Beaumont-Cherry Valley Water District (BCVWD) occurred at the same time. The panhandle portion of prior Planning Area 3 was not annexed or included in Beaumont's SOI; thus, it

remains in County of Riverside jurisdiction and has been eliminated from this Specific Plan.

1.3 Specific Plan Summary

The Summit Station Specific Plan is a standalone specific plan document intended to replace the Sunny-Cal Specific Plan, which was approved in 2007 but never implemented.

The Sunny-Cal Specific Plan is approximately 200 acres in size. The land uses included three residential planning areas approved for up to 560 low density residential units and a series of open space and park areas. The park areas were designed in support of the planned residential uses. The open space preserved an area of steep slope and a drainage course. As part of the Summit Station Specific Plan, the residential uses will be replaced with a commerce center and a 10.9-acre commercial area.

The Summit Station Specific Plan further reduces the size of the Specific Plan area, eliminating the “panhandle” portion of original Planning Area 3, as that property was never annexed and is outside of the City's SOI. The resulting Specific Plan area is approximately 188 gross acres.

Figure 1-3, Specific Plan (Existing and Proposed) illustrates the original Specific Plan land use with the amended boundary and land uses.

Table 1-1, Existing and Proposed Land Use, summarizes the changes to the approved Specific Plan.

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Figure 1-1 **Location Map**



Figure 1-2 Specific Plan Area

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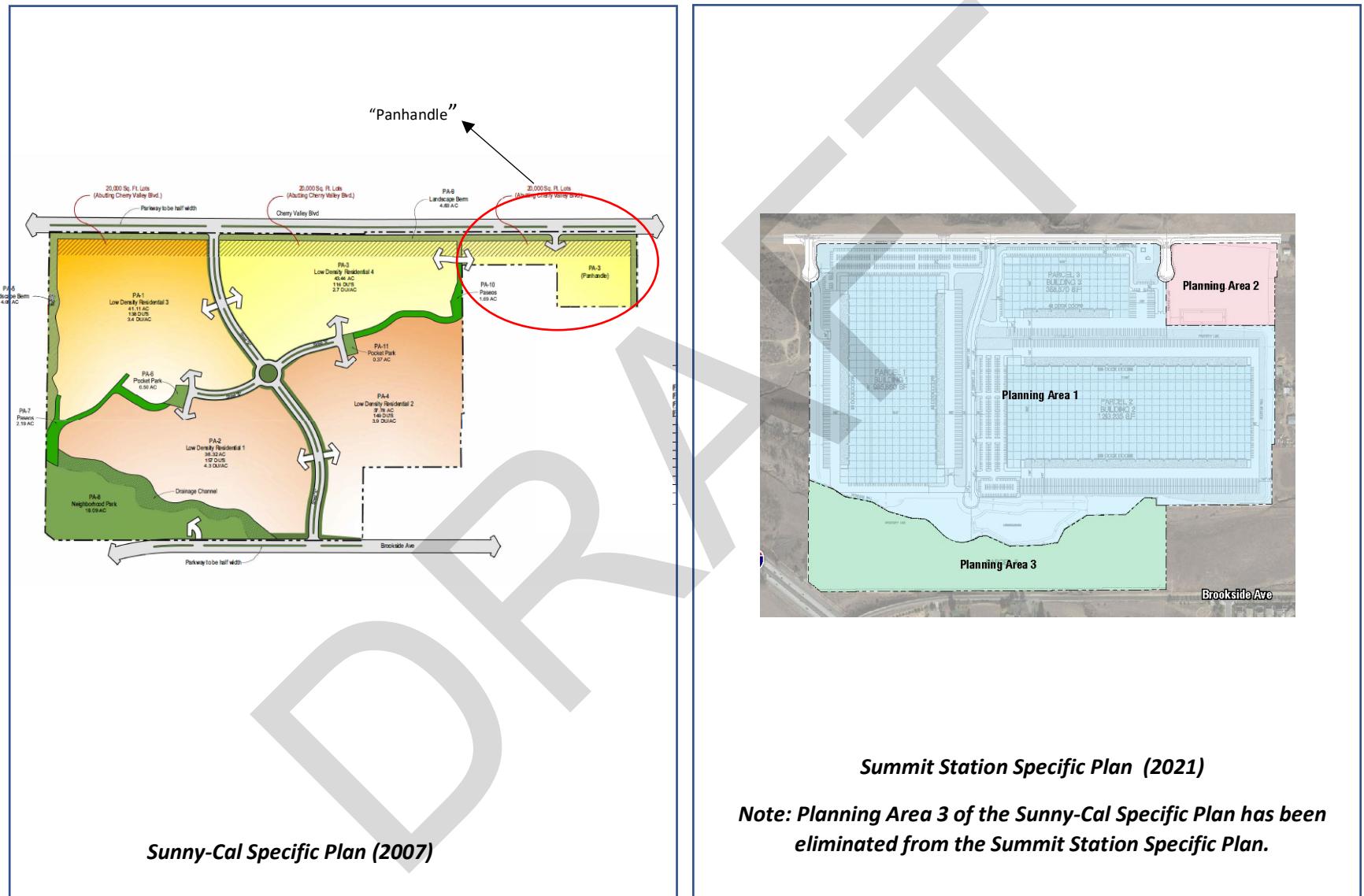
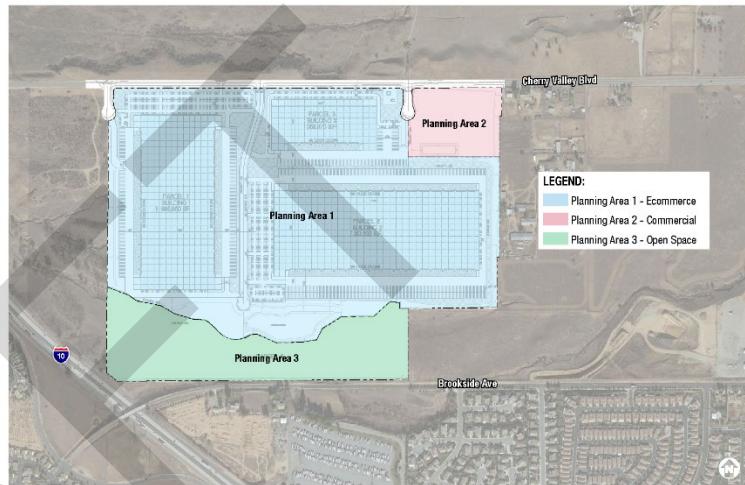


Figure 1-3 Specific Plan (Existing and Proposed)

Table 1 Existing and Proposed Land Use				
Land Use	Sunny-Cal Specific Plan (2007)		Summit Station Specific Plan (2021)	
Low Density Residential	158.65 ac	560 du	--	--
E-Commerce Center	--	--	139.8 ac	2,507,465 sf 50,000 sf
Commercial	--	--	10.9 ac	100,000 sf 25,000 sf 25,000 sf
Hotel (220 Keys)	--	--		
Retail	--	--		
Restaurant	--	--		
Open Space				
Park/Trail	21.15 ac		0 ac	
Buffer/Open Space	8.71 ac		30.6 ac	
Road	9.8 ac		6.7 ac	
Total (gross)	200 ac		188 ac	

Note: Land use acreages are net of roads and rounded



1.4 Background and History

1.4.1 Existing Uses and Site Conditions

The property is comprised of the former Sunny-Cal Egg and Poultry Ranch; remaining uses include cement pads, several structures, and vacant property. Site topography slopes towards the southwest. A jurisdictional waterway with a sharply incised channel crosses the southern portion of the site in a southeast to northwest direction.

1.4.2 Surrounding Uses

Surrounding land uses include the following:

North: Cherry Valley Boulevard with planned industrial uses zoned Industrial (I-P) and Danny Thomas Ranch beyond in the County of Riverside.

South: Brookside Avenue and property zoned for neighborhood commercial and single family residential uses beyond.

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East: Scattered single-family residences zoned Agriculture (A-1-1) and residential (R-A-1) in the County of Riverside

West: Vacant property zoned for Residential (R-A-1) and Commercial (C-P-S) in the County of Riverside.

1.4.3 Regional Setting

The San Gorgonio Pass area is located between the Coachella, San Jacinto, and Moreno Valleys and includes the incorporated cities of Banning, Beaumont, and Calimesa as well as the unincorporated communities of Cherry Valley, Cabazon, and Banning Bench.

The San Gorgonio Pass is a desirable area in which to live, work, and enjoy recreation. E-commerce uses are in high demand, made more so by the recent public health crisis in 2020. Such uses are planned locally, including the Gateway Logistics project north of the site across Cherry Valley Boulevard in the County of Riverside. The project's location near I-10 makes e-commerce a logical land use for the area.

1.4.4 Specific Plan/Property History

The Specific Plan area is comprised of the former Sunny-Cal Egg and Poultry Ranch, which operated from 1964 to 2005. The owners of the poultry ranch desired to transition the property to residential uses under a proposed specific plan: Sunny-Cal Specific Plan.

On September 26, 2006, the City of Beaumont (City) Planning Commission (Commission) held a public hearing on the Sunny-Cal Specific Plan, North Brookside Community Plan, Sphere of Influence Amendment, and Annexation to the City of Beaumont. After the conclusion of the public testimony, the Commission closed the public hearing and continued the Project to November 14, 2006, at which time the Commission requested refinements to the Sunny-Cal

Specific Plan and took action to recommend City Council approval of the Project.

On July 17, 2007, the Beaumont City Council held a public hearing on the Project. At the conclusion of the public testimony, the City Council closed the public hearing and after consideration of the Project requested elimination of the North Brookside Community Plan component of the Project and a revision to the Sphere of Influence Amendment to include only that territory within the boundaries of the Sunny-Cal Specific Plan area. The approved 2007 Sunny-Cal Specific Plan document incorporated the City Council's direction.

The Specific Plan was accompanied by an Environmental Impact Report (EIR) which was certified in August 2007; the Final EIR provided California Environmental Quality Act (CEQA) clearance for the Sunny-Cal Specific Plan, General Plan Amendment, pre-zoning, and annexation. The Final EIR was challenged in 2007 and was upheld by the California Court of Appeals in 2010.

In 2017, the majority of the Sunny-Cal property was annexed into the City and the Beaumont-Cherry Valley Water District. The annexed portions constitute the entire Beaumont Summit Station Specific Plan area.

1.5 Planning Context and Background

1.5.1 Purpose and Intent

Specific plans are a mechanism to ensure that projects develop in an organized and a cohesive manner. Specific plans incorporate a development framework for detailed land use, circulation, infrastructure including drainage, sewer, and water facilities, and urban design and landscape plans. A comprehensive set of design

guidelines and development regulations are included to guide and regulate site planning, landscape, and architectural character within the Specific Plan area ensuring that excellence in design is achieved during project development. The Summit Station Specific Plan establishes the procedures and requirements to approve new development within the Project site.

1.5.2 Authority

A “specific plan” is a planning and regulatory tool made available to local governments by the State of California. Specific plans implement an agency’s General Plan through the development of policies, programs, and regulations that provide an intermediate level of detail between General Plans and individual development projects. State law stipulates that specific plans can only be adopted or amended if they are consistent with an adopted General Plan.

The Summit Station Specific Plan implements the goals and policies of the City of Beaumont General Plan, as amended; serves as an extension of the General Plan; and, can be used as both a policy and a regulatory document. The purpose of this Specific Plan is to implement the vision laid out in the Project objectives by providing development standards, and design guidelines to direct future development within the Specific Plan area.

The authority to prepare and adopt a specific plan and the requirements for its contents are set forth in California Government Code Sections 65450 through 65457. Section 65451 states:

A Specific Plan shall include a text and a diagram or diagrams which specify all of the following in detail:

- *The distribution, location, and intent of the uses, including open space, within the area covered by the plan.*
- *The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described by the plan.*
- *Standards and criteria by which the development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.*
- *A program of implementation measures including programs, public works projects, and financing measures.*
- *The Specific Plan shall include a statement of the relationship of the Specific Plan to the General Plan.*

The Summit Station Specific Plan, which is replaces the Sunny-Cal Specific Plan, contains all components required by State law, as well as other components, design concepts, guidelines, and standards required by the City. Many issues were examined and considered during the preparation of the Specific Plan, including City General Plan goals (Section 6), compatibility with surrounding development, engineering feasibility, and market acceptance.

The Specific Plan will establish the type, location, intensity, and character of development as well as identify the infrastructure needed to serve such development. The Specific Plan proposes land uses responsive to the physical constraints and environmental

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sensitivities of the site, coordinates land use transitions and buffers, and provides guidelines for grading, circulation, and drainage. Flexibility in specific design is intended to be left for the ultimate project designer(s) and decision-makers at the tentative map, plot plan, and design review stage.

1.6 Objectives

In order to promote a high quality development, as well as the functional integrity, economic viability, environmental sensitivity, and positive aesthetic impact of the Project, specific planning and development objectives for the Specific Plan were identified. The Specific Plan includes the following Objectives:

1. Provide a comprehensive land use plan that designates the distribution, location, and extent of land uses.
2. Provide a land use plan that is sensitive to the environment through avoidance of sensitive resources, aesthetically pleasing through application of design guidelines, and places compatible land uses and facilities in an appropriate location.
3. Develop a state-of-the-art e-commerce center with complementary commercial uses that take advantage of existing and planned infrastructure, is feasible to construct, is economically competitive with, and in the general vicinity of similar e-commerce center uses.
4. Develop and operate a large format e-commerce center that is in close proximity to the I-10 to support the distribution of goods throughout the region and that also limits truck traffic disruption to sensitive receptors within the surrounding region.
5. Facilitate the development of underutilized land currently planned for residential uses with uses that maximize the use

of the site as a large format e-commerce center consisting of one or more buildings with total e-commerce building space in excess of 2,557,465 square feet in size and approximately 150,000 square feet of mixed commercial uses responding to market demand.

6. Provide a system of infrastructure that includes public and private transportation, sewer, water, drainage, solid waste disposal, and other essential facilities to serve the needs of the Project.
7. Provide access patterns that minimize traffic conflicts.
8. Develop project identity through the identification of project design elements such as architecture, landscaping, walls, fencing, signage, and entry treatments
9. Facilitate the establishment of design guidelines and development standards that create a unique, well-defined identity for the proposed Project.
10. Positively contribute to the economy of the region through new capital investment, creation of new employment opportunities, and expansion of the tax base.
11. Establish landscape guidelines that emphasize the use of drought-tolerant and water-efficient plant materials.
12. Provide and plan that incorporates appropriate buffers with the surrounding development through the use of landscaped setbacks and expanded parkways along Cherry Valley Boulevard and Brookside Avenue.

1.7 Approvals Required

1.7.1 Actions and Entitlements

Initial actions to implement the proposed commerce land uses include the following:

- **California Environmental Quality Act.** This Specific Plan is considered a “project” under the California Environmental Quality Act (CEQA). CEQA is a statute that requires state and local agencies to identify the significant environmental impacts of their actions and to avoid or mitigate those impacts, if feasible. To document the potential significant impacts an EIR will be prepared for the Summit Station Specific Plan and must be certified by the City prior to adoption of this Specific Plan or any other project entitlements. Subsequent development within the Specific Plan boundaries deemed consistent with Specific Plan standards will not require further environmental review except as specified in the Development Regulations section of this document (Section 3). The City of Beaumont is the lead agency responsible for certification of the Specific Plan EIR.
- **General Plan Amendment.** Approval of a General Plan Amendment from the existing designation of Single-family Residential to Industrial, General Commercial, and Open Space.
- **Adoption of the Summit Station Specific Plan.** Adoption of this Specific Plan is a discretionary action subject to City Council approval. Adopted by Ordinance, the Specific Plan document will serve both planning and regulatory functions.

This document contains the development standards and procedures necessary to fulfill these purposes.

- **Approval of a Tentative Parcel Map.** The Specific Plan area is comprised of several parcels. The Project will include a Tentative Parcel Map to create five legal development parcels, dedicate rights-of-way if required by the City, and identify required utility easements.
- **Approval of a Plot Plan/Site Plan.** Three separate Plot Plans for the Project, consisting of an e-commerce project with three proposed structures, parking, landscaping, drainage facilities, and new and driveways. A separate Plot Plan/Site Plan will be required for each building area within the Specific Plan.
- **Final Map review and approval (City).** Following entitlement, the Project will be required to receive approval of a Final Map in order to complete the subdivision process. This is a separate process and not required for entitlement.
- **Statutory Development Agreement.** A statutory development agreement, authorized pursuant to California Government Code Section 65864 et seq., may be processed concurrently with or subsequent to the approval of this Specific Plan.

Ministerial actions that follow the initial approvals include the following:

- Grading Plans/Permits
- Improvement Plans
- Jurisdictional Permits (if required by agencies)

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1.7.2 Additional Discretionary Approvals

Various land use permits (Plot Plans, Conditional Use Permits, Sign Programs, Minor Changes, and Variances) will be submitted to the City for review and approval as they occur.

All applications must comply with the approved Specific Plan. If the Specific Plan is silent on an issue, the City's Development Code shall prevail. However, if the Specific Plan conflicts with the City's Development Code then the Specific Plan shall prevail.

1.8 Relationship to General Plan and Zoning

1.8.1 General Plan

California Government Code (Title 7, Division 1, Chapter 3, Article 8, Sections 65450–65457) permits adoption and administration of specific plans as an implementation tool for the local general plan. Specific plans must demonstrate consistency in regulations, guidelines, and programs with the goals and policies set forth in the general plan.

The Summit Station Specific Plan has been prepared in conformance with the goals and policies of the City of Beaumont General Plan as amended, in providing e-commerce and commercial uses on an underutilized property, creating new employment opportunities, and providing regulations that support the success of an employment area of the City. The policy analysis in Appendix B describes the manner in which the Summit Station Specific Plan complies with the General Plan policies applicable to the Project.

1.8.2 Zoning

The zoning for the property is "Specific Plan." This designation would not change. The approval of the Summit Station Specific Plan would amend and replace the existing Specific Plan for the property to allow

the development of approximately 2,707,465 square feet of mixed commercial, e-commerce, and office uses, as well as approximately 30.6 net acres of passive open space.

When adopted by ordinance, the Specific Plan Amendment will become the zoning for all uses within the Specific Plan area. Where conflicts occur between the Municipal Code and the Specific Plan, the Specific Plan would prevail. Where standards are not included in the Specific Plan, the underlying code provisions would apply.

1.9 Specific Plan Organization

Section 1 – Introduction

This section explains the purpose of the Specific Plan; local and regional context and setting; background; authority to prepare; relationship to existing plans and policies; and organization of the Specific Plan.

Section 2 – Development Plan

This section explains the conceptual land use plan for the Specific Plan area and defines the land use designations unique to the Specific Plan. The circulation, drainage, water and sewer, grading, and public services plans are also described.

Section 3 – Planning Areas and Development Standards

This section explains the development standards for the land uses established in the Development Plan, including the standards for allowable uses, setbacks, parking, and signage, as well as definition of the three Planning Areas.

Section 4 –Design Guidelines

This section explains design concepts and establishes design guidelines for development in the Specific Plan area and illustrates the landscape elements of the Project.

Section 5 – Administration and Implementation

This section discusses the development review procedures by the City of Beaumont and other relevant permitting agencies, applicable to the Specific Plan area. Implementation of the proposed land uses, including Specific Plan adoption, subsequent approvals and plans, substantial conformance findings, and phasing are outlined in this chapter. Additionally, financing sources and maintenance responsibilities are identified.

The illustrative examples included in this Specific Plan, including graphic illustrations, renderings, and photos, are illustrative, including with respect to number of buildings, building location and orientation, and alignment of streets or drive aisles.

Unless otherwise specified, all graphic illustrations and photos shall be interpreted as one possible design and shall not be considered definitive.

2.0 DEVELOPMENT PLAN

This section explains the conceptual land use plan for the Beaumont Summit Station (Summit Station) Specific Plan area and defines the land use designations unique to the Specific Plan. The circulation, drainage, water and sewer, grading, and public services plans are also described.

2.1 Land Use Plan

The purpose of the Summit Station Specific Plan is to direct the development of the property through a land use plan, development regulations and design guidelines. The Specific Plan provides development regulations and design guidelines for the developer(s) and the City of Beaumont (City) by identifying development criteria for the Specific Plan and providing for development plans with descriptive text and exhibits that establish the basis for the overall master development of the Specific Plan area.

The components addressed in this section are further defined for each Planning Area through the development regulations contained in **Section 3.0 - Planning Areas and Development Standards**.

The development plan has been derived from studies prepared by civil engineers, traffic engineers, land planners, landscape architects, and other consultants. Consultation with City staff has guided the content and character of this development plan.

The Specific Plan encompasses approximately 188 gross acres and allows up to 2,707,465 square feet of mixed commercial, e-commerce, and office uses and approximately 30.6 net acres of passive open space (see **Figure 2-1, Conceptual Land Use Plan** and **Table 2-1, Land Use**).

Figure 2-1, Conceptual Land Use Plan, and **Figure 2-2, Conceptual Site Plan**, provide the overall vision for the Project and guide the development of the anticipated e-commerce and flexible commercial uses.

Table 2-1 Land Use			
Planning Area	Land Use	Acreage (net)	Square Footage
Planning Area 1	E-Commerce Center E-commerce Office	139.9 ac	2,507,465 sf 50,000 sf
Planning Area 2	Commercial Hotel (220 keys) General Retail Food Uses	10.9 ac	100,000 sf 25,000 sf 25,000 sf
Planning Area 3	Open Space	30.6 ac	0
Circulation	Road	6.7 ac	--
Total (gross)		188 ac	2,707,465 sf

The conceptual Site Plan, shown in **Figure 2-2, Conceptual Site Plan**, is an illustration of the potential configuration of the Specific Plan area, taking the square footage in **Table 2-1** into consideration. The final site plan presented for entitlement approval by the City may differ based on final design; however, the square footages outlined in **Table 2-1** above shall not be exceeded.

In order to ensure the orderly development of the Specific Plan, land use development standards have been created. These specific standards, discussed in **Section 3.0, Planning Areas and Development Standards**, will assist in accommodating the proposed development and provide adequate transitions to neighboring land uses.

2.0 | DEVELOPMENT PLAN

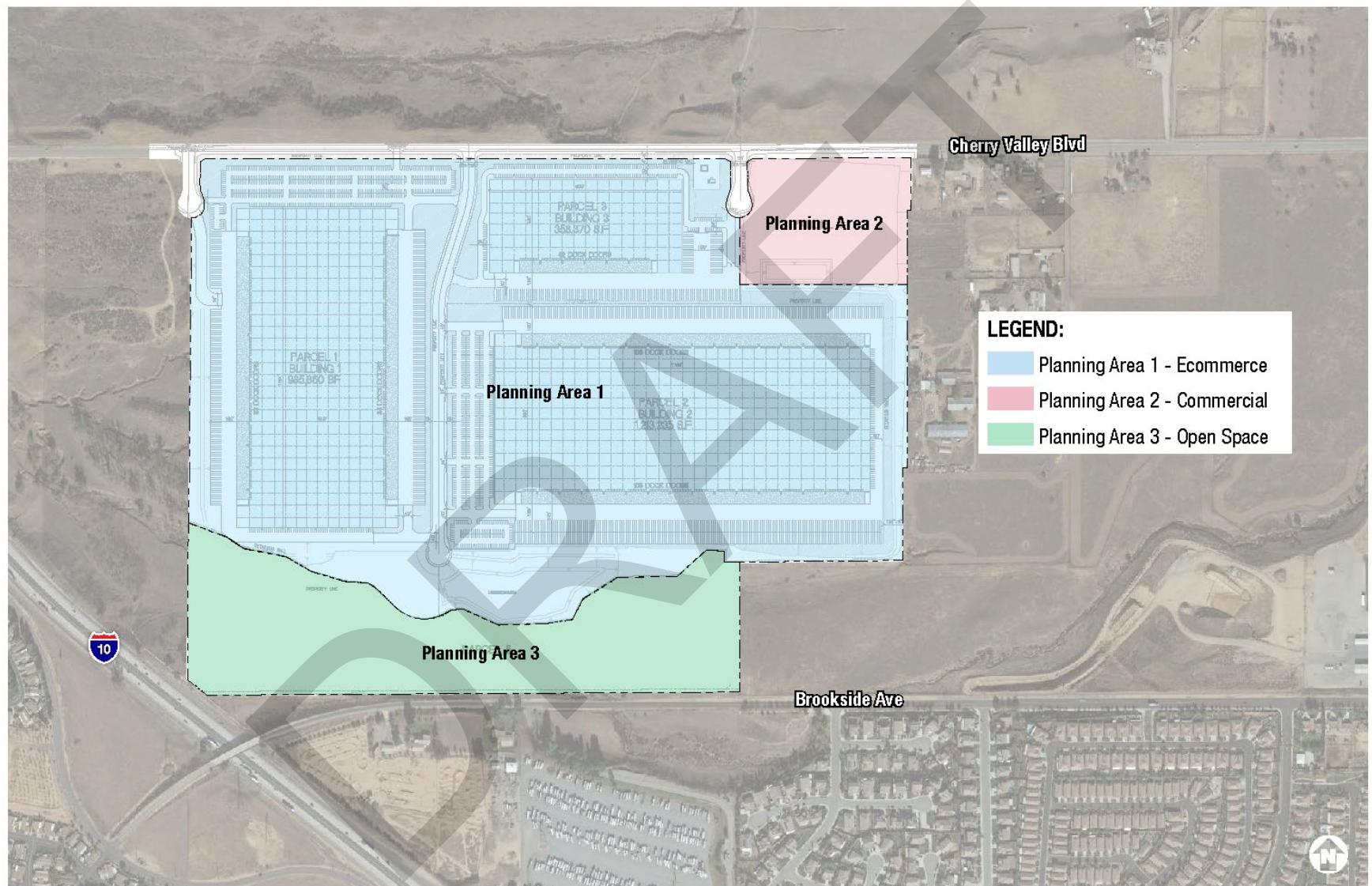
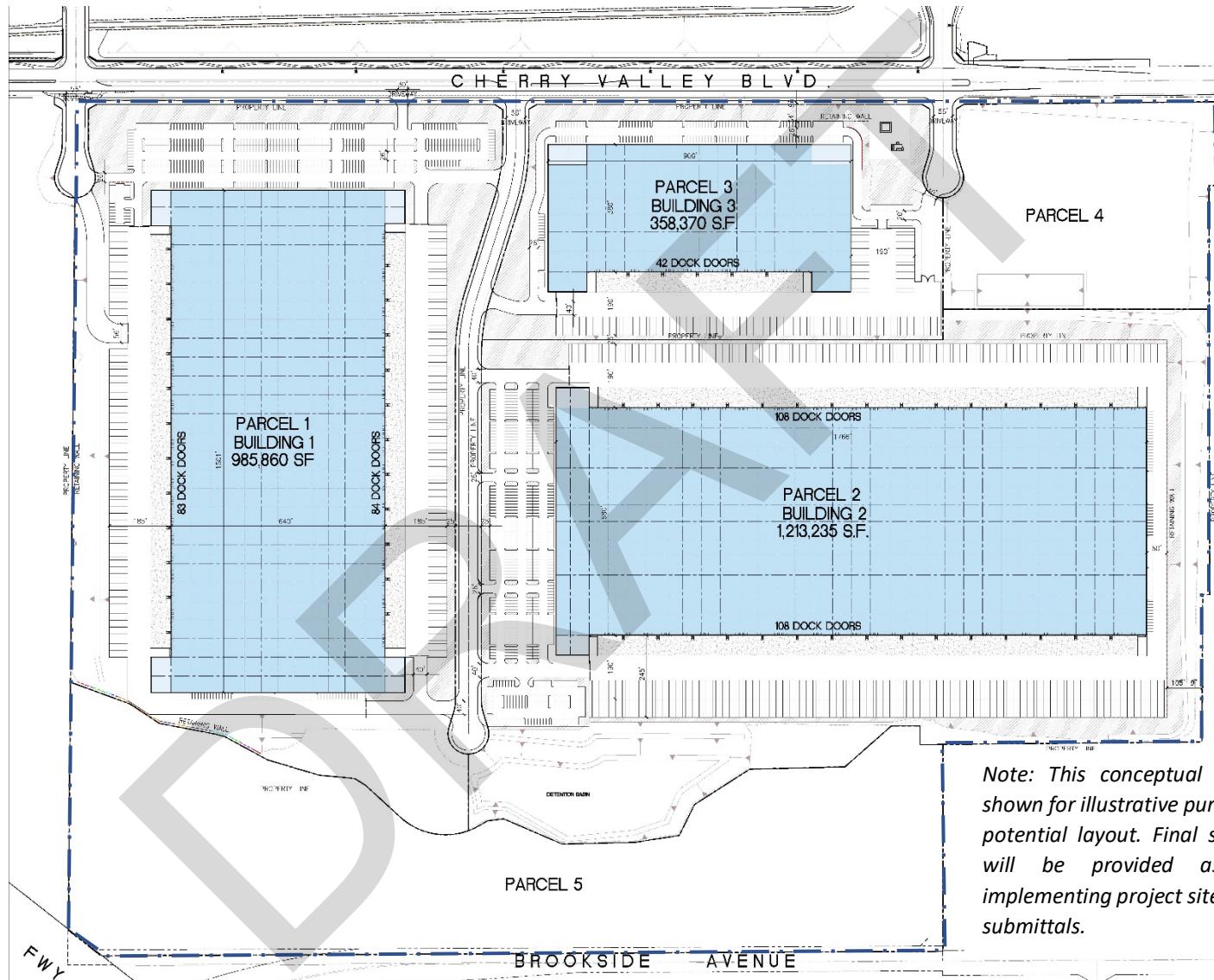


Figure 2-1 Conceptual Land Use Plan

Note: Underlying site plan is shown for reference purposes as one potential layout. Final site planning will be provided as part of implementing project site plan review submittals.

2.0 | DEVELOPMENT PLAN



Note: This conceptual site plan is shown for illustrative purposes as one potential layout. Final site planning will be provided as part of implementing project site plan review submittals.

Source: HPA Architecture

Figure 2-2 Conceptual Site Plan

2.0 | DEVELOPMENT PLAN

In addition to the specific standards outlined in **Section 3.0**, project-wide development standards for the Specific Plan have been prepared to complement the standards for each individual Planning Area. These are identified as *General Provisions* in Section 3.

The Specific Plan land use is broken into three Planning Areas, as outlined below.

2.1.1 E-Commerce – Planning Area 1

The majority of the Specific Plan area is comprised of e-commerce uses, which may include light industrial buildings, research and development, warehousing and distribution, fulfillment, and showroom space. The e-commerce planning area comprises approximately 139.8 net acres, approximately 74 percent of the site.

2.1.2 Commercial – Planning Area 2

Commercial uses within the Specific Plan area will be flexible depending on market conditions and may contain a variety of commercial uses. **Table 2-1** identifies the potential for hotel, general retail, and food uses, however the specific plan permits a range of commercial uses and development scenarios. **Appendix C** shows four potential commercial development options; though this does not indicate the extent of potential scenarios.

The Commercial Planning area comprises approximately 10.9 net acres, or approximately 6 percent of the site.

Planning Area 2 is planned to accommodate flexible commercial uses. Additional information on permitted uses is provided in the Development Regulations section.

The Commercial land use is located along the Cherry Valley Boulevard frontage and will provide the “face” of the Specific Plan area at

Project buildout. Because of its visibility, architectural design will reflect a commercial design character rather than the style of the E-commerce Planning Area 1, as further discussed in Section 4.5.

2.1.3 Open Space – Planning Area 3

Planning Area 3 is approximately 30.6 net acres and contains slopes and a natural drainage feature which cross the Planning Area in a southeast to northwest direction. The Planning Area represents the majority of the Specific Plan area’s frontage adjacent to Brookside Avenue. The drainage has been avoided by the land use plan through its placement in a natural open space area.

2.2 Circulation

Vehicular circulation is comprised of two components: peripheral public roadways and internal public drives. The Circulation Plan provides standards and guidelines that ensure the safe and efficient movement of people and vehicles into and through the Specific Plan area, addressing light trucks and passenger vehicles, heavy trucks, public transit, and non-vehicular circulation (pedestrians and bicycles). All on-site roadways are anticipated to be constructed at once with no separate phasing or triggers required.

2.2.1 Existing Circulation

Regional Circulation

Interstate 10 (I-10) provides regional access to the Specific Plan area via Cherry Valley Boulevard. I-10 is adjacent to Planning Area 3 (the natural Open Space Planning Area) of the Specific Plan. This east-west-oriented freeway provides access between Redlands and San Bernardino to the northwest, and Beaumont and the Coachella Valley to the southeast. There will be no direct access to I-10 from the Specific Plan area. Access ramps exist from Cherry Valley Boulevard

to the west of the Specific Plan area and at Oak Valley Parkway to the south. **Figure 2-3, Circulation Plan** establishes the hierarchy and general location of roadways within the Commerce Center.

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2.0 | DEVELOPMENT PLAN

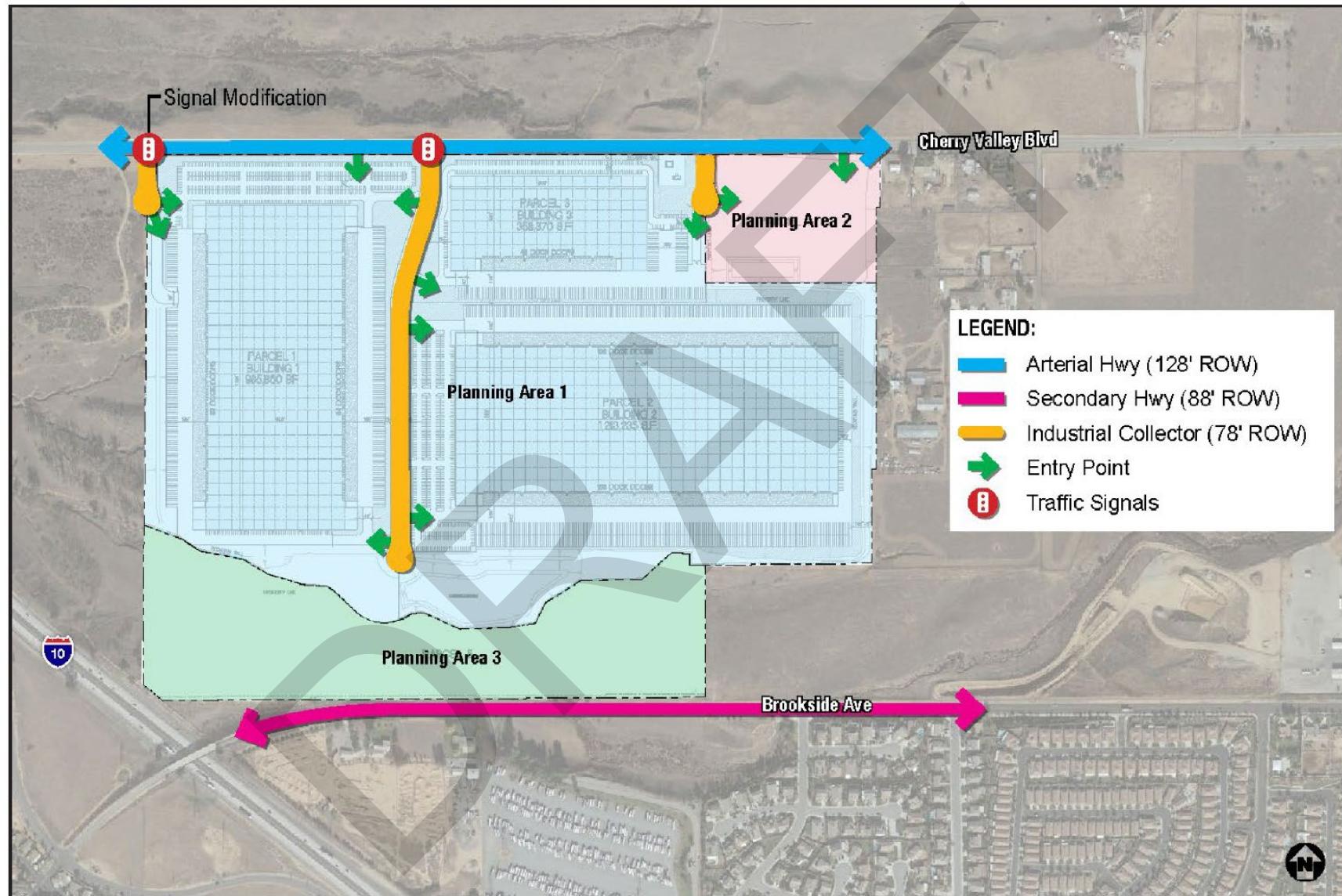


Figure 2-3 Conceptual Circulation Plan

A traffic study prepared as part of the Specific Plan EIR has identified the need for additional rights-of-way at critical intersections to accommodate turn movements. The developer shall be responsible for those improvements as determined by the City Engineer and pursuant to the mitigation measures identified in the EIR and/or Conditions of Approval established for the Project's tentative map. The City's Development Impact Fees and/or fair share contributions may also finance project-related improvements.

As identified in the Traffic Impact Assessment (TIA) for the project, the following recommended improvements are identified at the intersections shown below.

#1 – I-10 EB Ramps at Cherry Valley Boulevard

- Install a traffic signal
- Add a westbound left-turn lane
- Add an eastbound right-turn lane
- Add a southbound right-turn lane

#2 – I-10 WB Ramps at Cherry Valley Boulevard

- Install a traffic signal
- Add a northbound left-turn lane
- Add an eastbound left-turn lane
- Add a westbound right-turn lane

#3 – Calimesa Boulevard at Cherry Valley Boulevard

- Add a 2nd eastbound through lane
- Add a 2nd westbound through lane
- Install a traffic signal

#4 – Hannon Road at Cherry Valley Boulevard

- Add a 2nd eastbound through lane
- Add a 2nd westbound through lane
- Install a traffic signal

#5 – Union Street at Cherry Valley Boulevard

- Add a 2nd eastbound through lane

- Add a 2nd westbound through lane
- Install a traffic signal

#6 – Nancy Avenue at Cherry Valley Boulevard

- Add a 2nd eastbound through lane
- Add a 2nd westbound through lane
- Add a dedicated eastbound right-turn lane

#11 – Beaumont Avenue at Brookside Avenue

- Add EB right-turn overlap phase
- Add WB right-turn lane
- Add WB right-turn overlap phase
- Traffic Signal relocation and modification

#12 – Desert Lawn Drive at Oak Valley Parkway

- Add a 2nd eastbound through lane

#13 – I-10 EB Ramps at Oak Valley Parkway

- Add a 2nd southbound left-turn lane
- Add a 2nd eastbound through lane
- Add a 2nd westbound through lane

#14 – I-10 WB Ramps at Oak Valley Parkway

- Add a northbound left-turn lane
- Add a 2nd eastbound through lane
- Add a 2nd westbound through lane

#15 – Oak View Drive at Oak Valley Parkway

- Add a 2nd eastbound through lane
- Modify southbound right-turn lane to free right-turn lane
- Traffic Signal relocation and modification

Local Circulation

Local access is provided to the property via Cherry Valley Boulevard, along the Specific Plan area's northern boundary. No roadways are present within the Specific Plan area. The Specific Plan area is bordered by two public roadways: Cherry Valley Boulevard and Brookside Avenue.

2.0 | DEVELOPMENT PLAN

Cherry Valley Boulevard

Cherry Valley Boulevard is designated in the County General Plan as an Arterial Highway with a right-of-way of 128 feet, 4 travel lanes, and a raised landscaped median. This road runs in an east to west direction from I-10 to Beaumont Avenue.

The San Gorgonio Crossing project to the north of the Specific Plan area in the County of Riverside will make half-width improvements to Cherry Valley Boulevard and construct the median (see **Figure 2-4, Cross Sections**) as part of a planned logistics project.

Brookside Avenue

Brookside Avenue is designated as a Secondary Street in the City's General Plan Roadway Classification section. Secondary streets have a right-of-way of 88 feet with 4 travel lanes, 3-foot curb-adjacent parkways, 6-foot sidewalks, and 3-foot ROW adjacent parkways. Eight-foot Class II (on-street) bike lanes are identified on both sides of the roadway section.

Class II Bike Lane: An on-street bike lane that uses painted stripes, stencils, and signs to delineate the right-of-way assigned to bicyclists and motorists.

Transit

There are no existing public transit stops in the vicinity of the Specific Plan area. Community Services may request a future transit stop in coordination with the local transit agency. The Pass Transit System provided by the City includes Routes 3, 4, 7, and 9 which are within approximately two miles of the Specific Plan area. As the Project develops, the Pass Transit System may assess the potential demand for these facilities in the area and may establish new or extended routes in the area¹. Coordination with the Pass Transit System will be

required as the Project builds out to determine the need for future bus turnouts along Cherry Valley Boulevard.

Site Access and Internal Circulation

Access to the Specific Plan area is proposed in several locations along Cherry Valley Boulevard as shown of **Figure 2-3, Conceptual Circulation Plan**. Three public access roadways are planned, using an Industrial Collector standard.

Private drive aisles with parking are proposed to connect individual buildings within the Specific Plan area. Drive aisles will be located and sized at the time of design review, based on City Code and fire lane requirements.

Internal access and circulation will be based on a shared access easement shown on a final parcel map or an agreement or covenant recorded prior to building permit issuance. An existing right-of-way on the property's western edge will be vacated as part of the subdivision map process.

2.2.2 Proposed Circulation Plan

Cherry Valley Boulevard

Project-related improvements to Cherry Valley Boulevard include the following:

- Construction along the Project frontage to its ultimate half width as an Arterial Highway (128-foot right-of-way). A raised median will be constructed by the San Gorgonio Crossing project to the north (see **Figure 2-4, Cross Sections**).

¹ San Gorgonio Crossing EIR

Depending on timing of adjacent improvements, the project may be required to construct the median.

- Construction of three public (Industrial Collector) entries, one driveway entrance on the western side of Planning Area 1, one driveway entrance midway through Planning Area 1, and one driveway entrance at Planning Area 2 (Commercial).
- New and modified traffic signals in two locations (see **Figure 2-3, Conceptual Circulation Plan**):
 - West Project Driveway
 - A signal modification to provide a four-legged traffic signal (future traffic signal to be installed by adjacent development).
 - Middle Project Driveway
 - Install new traffic signal
 - Construct a 300-foot dedicated eastbound right-turn pocket into the project driveway.
 - One dedicated left-turn and one dedicated right-turn lane at the northbound approach
 - East Project Driveway
 - Install a stop sign on the northbound approach and permit right-in-right-out access only.

Brookside Avenue

Project-related improvements to Brookside Avenue include the following:

- Construction along the Project frontage to its ultimate half-width as a Secondary Highway (88-foot right-of-way) (see **Figure 2-4, Cross Sections**).
- Construction of a landscaped parkway along the Project frontage.

Note that the Traffic Impact Assessment for the project showed that the project functions as proposed, and no project-related access is needed from Brookside Avenue.

Internal Circulation

Three public drives/cul-de-sacs will be constructed to provide access to the E-commerce uses in Planning Area 1 and the commercial uses in Planning Area 2. These will be designed as Industrial Collectors and have a right-of-way of 78 feet, and a paved width of 56 feet (see **Figure 2-4, Cross Sections**).

On-site traffic signage and striping will be implemented in conjunction with construction documents for the property.

Access road alignments and access points are conceptual in nature and will be determined at the tentative parcel map stage. Intersections and access points will be designed in accordance with the County of Riverside Design Standards for Cherry Valley Boulevard, and City of Beaumont standards for all other roadways.

2.0 | DEVELOPMENT PLAN

2.2.3 Circulation Criteria

Circulation within the Specific Plan area must comply with the following design criteria.

1. All tentative parcel maps shall comply with the on-site and off-site street improvement recommendations as stated in this Specific Plan and mitigation measures outlined in the Specific Plan EIR.
2. Driveways/access points – Driveways or access points as shown in the Specific Plan area are subject to review and approval of the City Public Works Department as part of site plan review and shall comply with standard access spacing.
3. Parkway landscaping within public road rights-of-way will require approval by the City Planning, Public Works and Community Services Departments assurance of continuing maintenance through the establishment of a landscape maintenance district or similar mechanism as approved by the City.
4. Cherry Valley Boulevard and Brookside Avenue shall have restricted access to provide better flow of traffic. Driveway locations to the commercial and e-commerce areas shall be approved at the tentative parcel map stage.
5. The sidewalks shall be safe and efficient as depicted in **Figure 2-4, Street Cross Sections.**

2.2.4 Parking

Parking will be provided in accordance with the parking ratios outlined in **Section 3, Planning Areas and Development Standards.**

Accessible and Electric Vehicle (EV) spaces and charging stations shall be provided when and as required by Government Code/CalGreen and may be counted towards required parking. Location of EV spaces shall be reviewed and approved as part of development review.

2.3 Water Plan

Water service for the Specific Plan area will be provided by the Beaumont-Cherry Valley Water District. The Beaumont-Cherry Valley Water District (BCVWD) provides potable and non-potable water service to the City of Beaumont and the unincorporated community of Cherry Valley. BCVWD's potable water system is supplied by wells in Little San Gorgonio Creek (Edgar Canyon) and the Beaumont Basin (sometimes called the Beaumont Storage Unit or the Beaumont Management Zone). BCVWD has 24 wells (1 well is a standby). One of the wells, Well 26, can pump into either the potable water or the non-potable water system. Currently, Well 26 is pumping into the non-potable water system. The Beaumont Basin is adjudicated and managed by the Beaumont Basin Watermaster. BCVWD augments its groundwater supply with imported State Project Water from the San Gorgonio Pass Water Agency which is recharged at BCVWD's recharge facility at the intersection of Brookside Avenue at Beaumont Avenue. BCVWD has 11 pressure zones and 14 reservoirs (tanks) ranging in size from 0.5 million gallons (MG) to 5 MG. (Potable Water Master Plan)

The property was annexed into the BCVWD in 2017, concurrent with the annexation into the City of Beaumont.

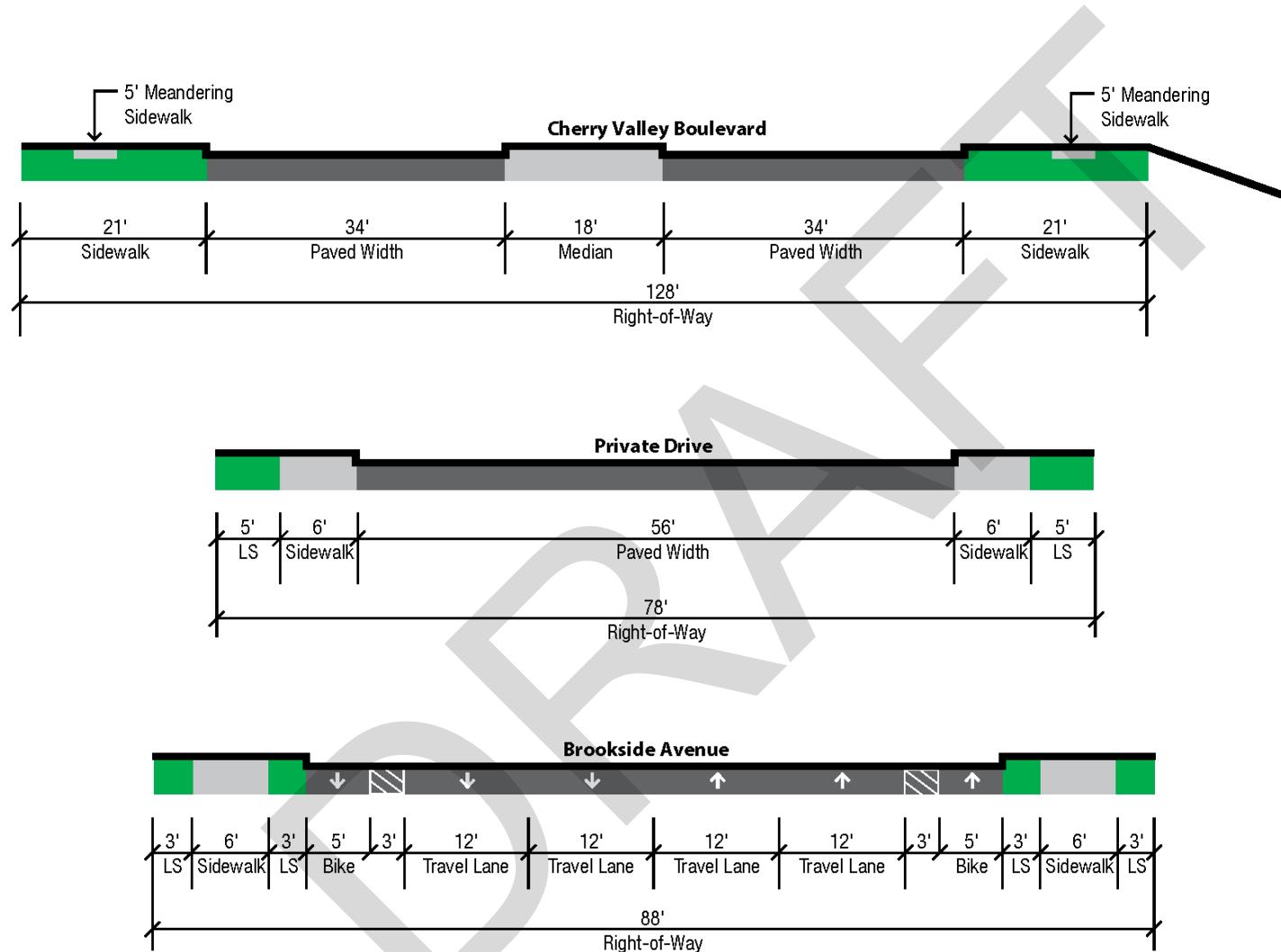


Figure 2-4 Cross Sections

2.0 | DEVELOPMENT PLAN

2.3.1 Existing Facilities

An existing 16-inch water line is present in Cherry Valley Boulevard fronting the Specific Plan area. The property also contains three existing wells (see **Figure 2-5, Conceptual Water Plan**). There are no existing non-potable water lines near the project boundary to serve recycled water to the project.

2.3.2 Proposed

The Project's water infrastructure will connect to the existing 16-inch line in Cherry Valley Boulevard. The new public water main will be placed in the central entry road and extend eastward within the drive aisles of Planning Area 1, connecting with 24-inch water line in Brookside Avenue (see **Figure 2-5, Conceptual Water Plan**). Laterals will be extended from this backbone main to individual buildings. Conceptual sizing for on-site infrastructure will be provided with infrastructure plan submittals associated with the project.

As noted in the previous section, BCVWD does not have existing a non-potable water system adjacent to the project boundary to serve the site with recycled water. The new recycled water main is proposed to run parallel to the public water main in the central entry road and follow the same path through the drive aisles of Planning Area 1 as indicated in **Figure 2-5**, however the recycled water line layout will be dependent on the BCVWD's future well location.

2.3.3 Water Supply

The Beaumont Basin is adjudicated. The Specific Plan has secured water rights in the Beaumont Basin, as an "overlaying party" to the basin adjudication, with an entitlement of approximately 1,440 Acre Feet per Year (AFY). The Project will be served from its water

entitlement by BCVWD (source: LAFCO annexation staff report, June 2017).

A water supply assessment will be prepared for the Project as part of the Specific Plan EIR.

2.4 Sewer Plan

Sewer service will be provided by the City of Beaumont, with treatment provided by the Beaumont Wastewater Treatment Plant No. 1. Sewer service is evaluated in the preliminary design report for the project.

2.4.1 Existing Facilities

There are no sewer facilities in the immediate vicinity. Existing 15-inch sewer lines are located in a subdivision to the south of Brookside Avenue, flowing under I-10, and ultimately to the Beaumont Wastewater Treatment Plant No. 1 (see **Figure 2-6, Conceptual Sewer Plan**).

2.4.2 Proposed Facilities

Project sewer infrastructure will be a gravity system placed in drive aisles and the central entry road and connecting with a proposed sewer line in Brookside Avenue (see **Figure 2-6, Conceptual Sewer Plan**). The proposed sewer line connects to the existing sewer approximately 490 feet east of the connection point to the site. Sewer facilities are required to meet Eastern Municipal Water District (EMWD) standards. Conceptual sizing for on-site infrastructure will be provided with infrastructure plan submittals associated with the project. AKEL has evaluated the downstream sewer facilities and no downstream facilities require modification.

2.5 Drainage Plan

The City of Beaumont is located in Zone 5 of the Riverside County Flood Control District's Beaumont Area Master Drainage Plan.

The Specific Plan area slopes in a northeast to southwest direction with site elevations ranging from 2,570 to 2,420 feet above mean sea level (amsl).

A stream course crosses the Specific Plan area. The stream passes from Brookside Avenue across the southwest corner of the property. The site presently sheet flows towards the existing stream course.

2.5.1 Stormwater

The Project's drainage plan will collect stormwater through catch basins placed throughout the Specific Plan area. Stormwater will be discharged into a series of above and below-ground detention basins and bioretention basins to reduce flows and to provide treatment prior to being discharged into the existing stream course in Planning Area 3 (see **Figure 2-7, Conceptual Drainage Plan**).

A Preliminary Hydrology study prepared as part of the Specific Plan EIR may identify the need for additional stormwater treatment and capture infrastructure. The developer shall be responsible for those improvements as determined by the City Engineer and pursuant to the mitigation measures identified in the EIR and/or Conditions of Approval established for the Project's tentative map.

Conceptual sizing for on-site infrastructure will be provided with infrastructure plan submittals associated with the project.

2.5.2 Water Quality

Improvement of water quality is a critical issue for all development. Local, State, and Federal laws include requirements for the treatment of stormwater runoff to reduce pollutants entering the environment.



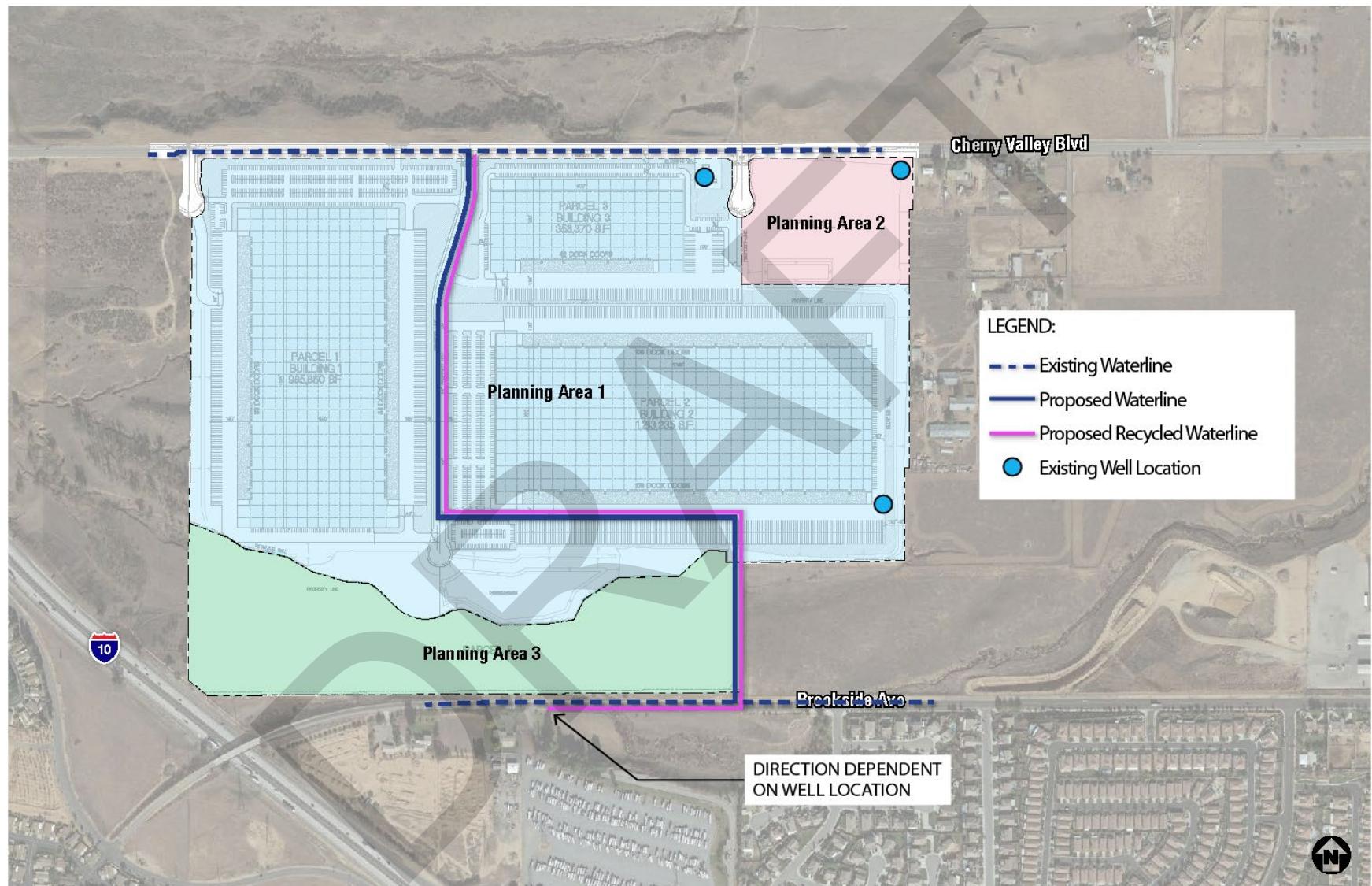
The Specific Plan area lies within a hydromodification zone, as defined by the County of Riverside Flood Control District. The purpose of hydromodification management is to incorporate hydrologic controls within a proposed development such that post-development peak flows do not exceed pre-development conditions.

Each parcel will provide independent treatment of stormwater. All WQMP options will use Riverside County guidance.

Reducing hydromodification can protect and restore the downstream receiving waters.

Stormwater will be collected and treated with either proprietary modular wetlands or bioretention prior to discharge.

2.0 | DEVELOPMENT PLAN



Source: Webb Engineering

Figure 2-5 Conceptual Water Plan

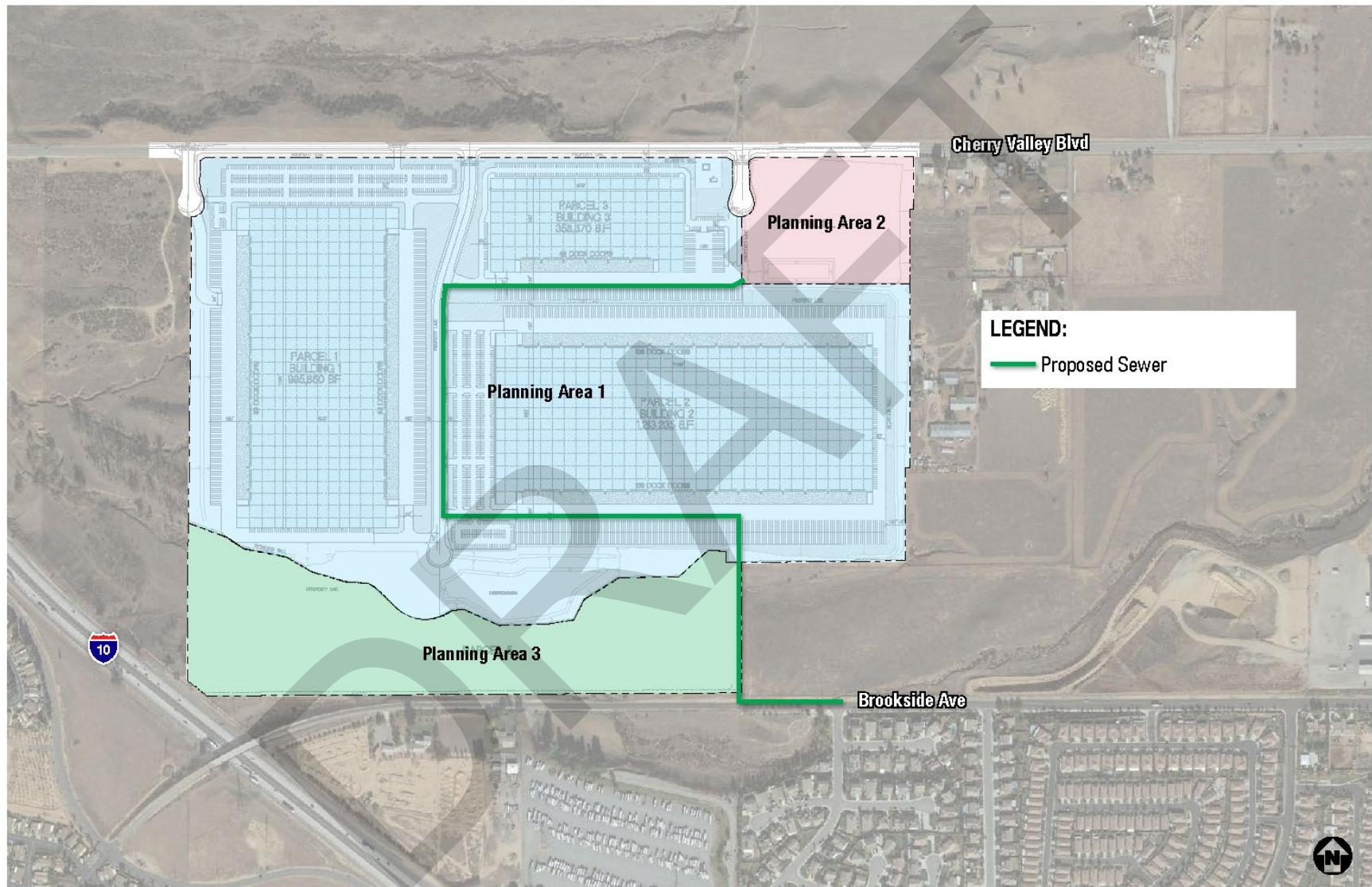
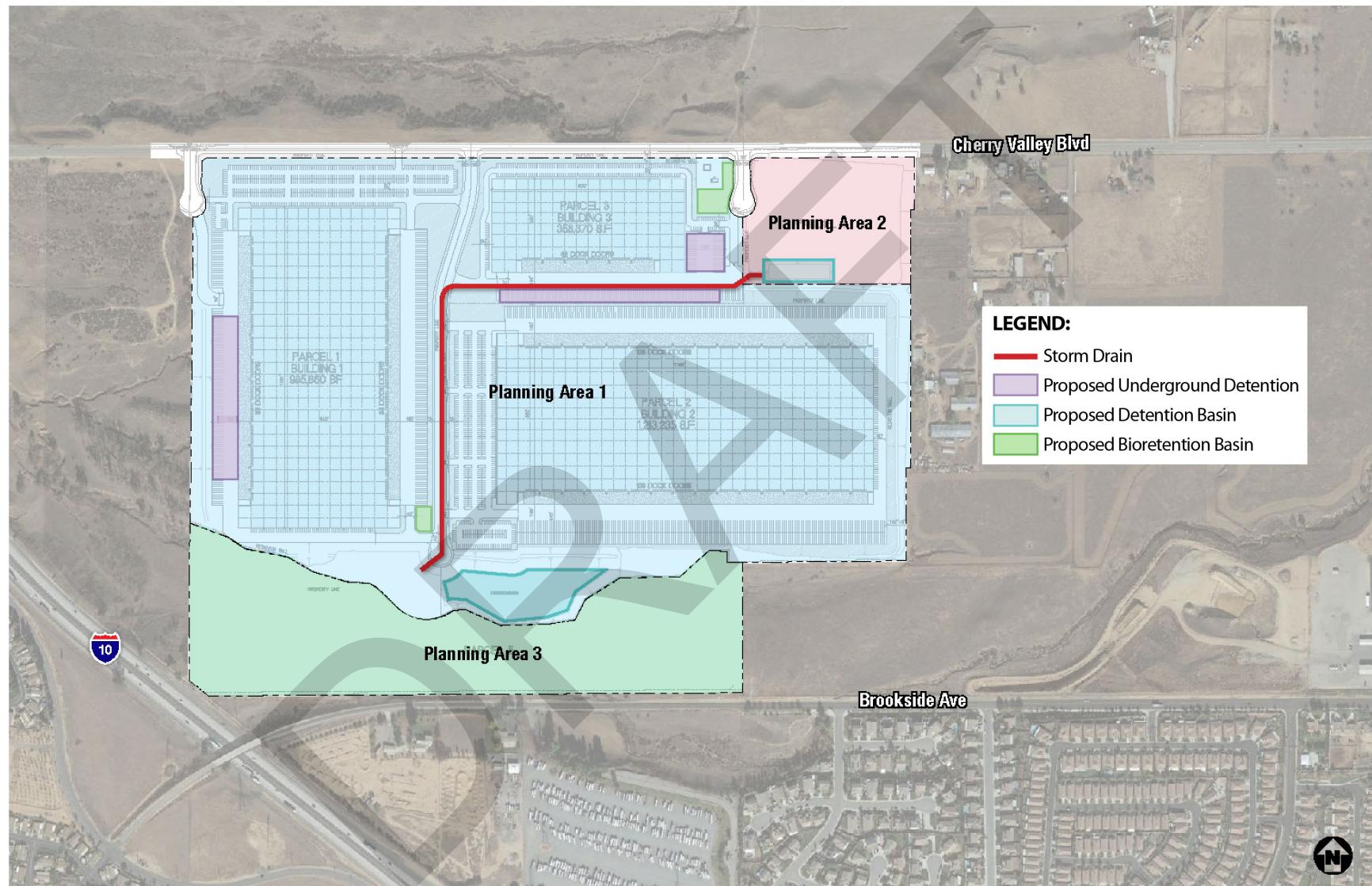


Figure 2-6 Conceptual Sewer Plan

Source: Webb Engineering

2.0 | DEVELOPMENT PLAN



Source: Webb Engineering

Figure 2-7 Conceptual Drainage Plan

2.5.3 Drainage Criteria

1. Storm drain outlets will be constructed with reinforced concrete dissipaters, with nuisance flows directed to infiltration basins.
2. All storm drain facilities 36" or larger shall be designed in accordance with Riverside County Flood Control (RCFC) standards to provide protection from a 100-year storm event.
3. On-site drainage facilities for each planning area will be privately maintained. The portion of storm drain serving Building 3 and Planning Area 2 that lies within the public right of way, is anticipated to be publicly maintained. For public storm drain facilities 36" and larger, operation and maintenance will be conducted by Riverside County Flood Control & Water Conservation District. For public storm drain facilities smaller than 36", operation and maintenance will be conducted by the City of Beaumont. This is subject to change and will be established prior to issuance of a grading permit.
4. All Project construction activities including cleaning, grubbing, grading, or excavation, that result in the disturbance of at least one-acre total land area or activity which is a part of a larger common plan of development of one acre or greater shall comply with the appropriate National Pollutant Discharge Elimination System (NPDES) construction permit. All development within the

Hydromodification refers to changes in runoff characteristics caused by altered land use and increase of impervious areas.

Too much hydromodification can cause erosion of stream banks and beds. Best Management Practices (BMPs) can include structural BMPs to reduce flows or volumes thus reducing impacts to downstream channels.

Specific Plan boundaries shall be subject to future requirements adopted by the City to implement the NPDES program. Mitigation measures may include, but are not limited to, on-site retention, covered storage of all outside storage facilities, vegetated swales, and monitoring programs.

2.6 Conceptual Grading Plan

Figure 2-8 illustrates the Grading master plan for the Specific Plan area. The intent of the Grading Plan is to balance the site to the extent feasible while avoiding the jurisdictional area of the existing drainage course in Planning Area 3 (see **Figure 2-8, Conceptual Grading Plan**). This avoidance results in a number of retaining walls to provide for building pads to accommodate large e-commerce buildings while reducing grading adjacent to the stream course.

All grading activities shall be in conformance with City standards and shall implement any grading-related mitigation measures outlined in the Specific Plan EIR.

2.6.1 Grading Criteria

1. Prior to any development within any Planning Area in the Specific Plan, an overall Conceptual Grading Plan for each Planning Area in process shall be submitted to the City Planning Department and Public Works for review and approval. The site will be mass graded at once with no phasing needed due to the cut/fill needed to balance site earthwork. Each Grading Plan shall be used as a guideline for subsequent detailed Grading Plans for individual stages of development in that Planning Area and shall include at a minimum:

2.0 | DEVELOPMENT PLAN

- Techniques employed to prevent erosion and sedimentation during and after the grading process;
- Approximate time frames for grading;
- Identification of areas which may be graded during higher probability rain months (January through March); and
- Preliminary pad and roadway elevations.

2. Prior to any on-site grading for each project or group of projects in the Specific Plan area, a detailed Grading Plan shall be prepared and submitted to the City for review and approval. A grading permit shall be obtained from the City.
3. Prior to initial grading activities within the Specific Plan area, a current detailed soils report and geotechnical study shall be prepared which analyzes on-site soil conditions and slope stability and includes appropriate measures to control soil erosion and dust.
4. All roads within the Specific Plan area shall have a gradient not to exceed 15 percent.
5. Where cut and fill slopes are created higher than ten feet, detailed landscaping and irrigation plans shall be submitted to the City prior to approval of any Grading Plan. The plans shall be reviewed for type and density of ground cover, shrubs, and trees. All landscape elements, including BMPs, on private property shall be maintained by the property owner or current tenant.
6. Graded but undeveloped land in the Specific Plan area shall be maintained weed-free.

7. Soil stabilizers shall be used to control dust as required by the South Coast Air Quality Management District (SCAQMD) Rule 403.
8. Fugitive Dust PM-10 Mitigation Plan shall be submitted to the City for review and approval prior to the issuance of any Grading Plans and building permits.
9. If any historic or prehistoric remains are discovered in the Specific Plan area during grading, a qualified archaeologist shall be consulted to ascertain their significance in compliance with the Specific Plan EIR.

2.7 Public Services and Utilities

2.7.1 Fire Service

The City of Beaumont contracts with the Riverside County Fire Department (RCFD), who in turn contracts with the California Department of Forestry and Fire Protection (CAL FIRE), for city-wide fire protection, emergency medical services, dispatch, and fire prevention and safety education.

The fire station closest to the Specific Plan area is RCFD Station 22, the Cherry Valley Fire Station, located in the County approximately 2.8 miles northeast of the Specific Plan area.

The City, through its contract with the RCFD and CAL FIRE also has the use of 7 shared engines in San Jacinto, 5 shared engines in Desert Hot Springs, and 9 shared engines in Moreno Valley for a total of 21 shared engines.

The Project would be required to comply with RCFD requirements for emergency access, fire-flow, fire protection standards, fire lanes, and other site design/building standards.

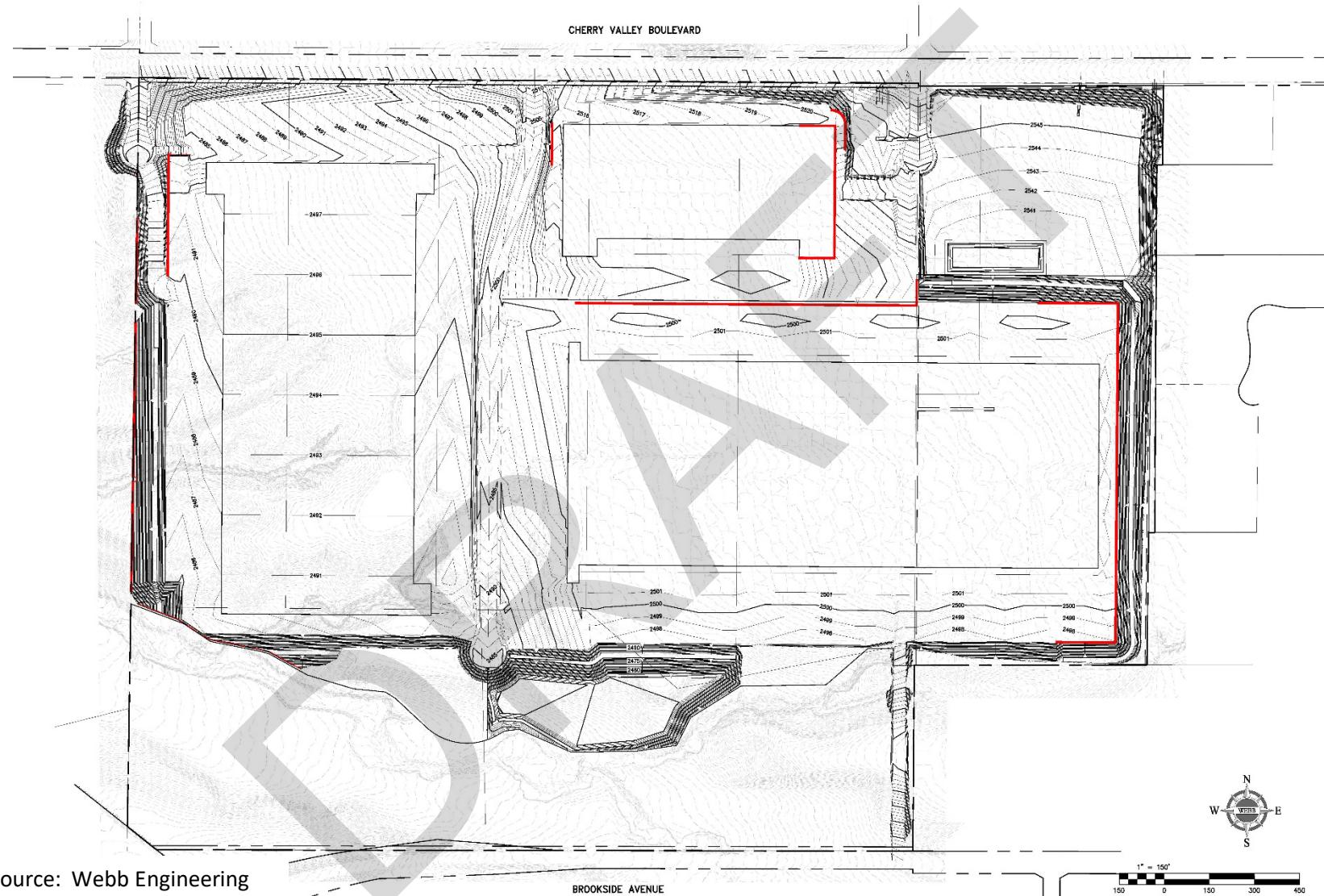


Figure 2-8 Conceptual Grading Plan

2.0 | DEVELOPMENT PLAN

Additionally, all future development within the Specific Plan area would be subject to compliance with the existing regulations specified in the California Fire Code, California Building Code, International Fire Code, Beaumont Municipal Code (Municipal Code) and specific fire and life safety requirements in effect that the time of building fire plan check.

2.7.2 Police Services

The City of Beaumont operates its own Police Department. The Beaumont Police Department is located across the street from Beaumont City Hall at 660 Orange Street.

2.7.3 Dry Utilities

Electrical. The City, inclusive of its SOI are within the service area of Southern California Edison (SCE) for the provision of electricity. SCE is one of the nation's largest electric utilities, providing electric service to approximately 5 million customer accounts over a 50,000 square mile service area, including western Riverside County.

Natural Gas. The City, inclusive of its SOI are within the service area of Southern California Gas Company (SoCalGas) for the provision of natural gas at residences and businesses. SoCalGas provides natural gas to approximately 5.9 million meters in more than 500 communities in a 24,000-square-mile service area

2.7.4 Solid Waste

The City is in the service area of the Lamb Canyon Landfill, located just south of the City and operated by the Riverside County Department of Waste Resources (RCDWR). Currently, Waste Management, Inc. provides waste collection and disposal services for business within the City. RCDWR estimated in its most recent Annual

Report Summary to CalRecycle (2017), pursuant to the Countywide Integrated Waste Management Plan (CIWMP), that the County's disposal facilities will provide approximately 20 years of disposal capacity, based on current and future disposal (General Plan EIR).

3.0 | PLANNING AREAS AND DEVELOPMENT REGULATIONS

3.0 PLANNING AREAS AND DEVELOPMENT REGULATIONS

The purpose of this section is to provide land use development regulations that apply to each of the land use designations of the Specific Plan. These include standards regarding permitted uses, building height limits, parking requirements, and setbacks, as well as general provisions applicable to all uses.

These development standards should be used in conjunction with **Chapter 4: Design Guidelines**, which describe and illustrate building designs, concepts, and features that will promote the high-quality development that is envisioned for the Specific Plan area.

3.1 General Provisions

California Government Code (Title 7, Division 1, Chapter 3, Article 8, Sections 65450 et seq.) grants authority to cities to use Specific Plans for purposes of implementing the goals and policies of a city's General Plan. Application of these regulations is specifically intended to provide the most appropriate use of the land, create a harmonious relationship among land uses and protect the health, safety and welfare of the community. The following General Provisions apply to all development in the Specific Plan area.

3.1.1 Applicability

The Summit Station Specific Plan has been developed as both a regulatory and a land use policy document, which, upon adoption by ordinance will constitute the zoning for the property. Development plans or agreements, tract or parcel maps, site plans or any other action requiring ministerial or discretionary approval for the subject property must be consistent with the Specific Plan. California Government Code, Section 65454 requires that a Specific Plan be consistent with the General Plan. Upon adoption, actions deemed to

be consistent with the Specific Plan shall be judged to be consistent with the City of Beaumont General Plan as amended.

Where conflicts exist between the standards contained in this Specific Plan and those found in the City of Beaumont Zoning Ordinance or Municipal Code, the regulations and standards in this Specific Plan shall take precedence.

Any area of site development, administration, review procedures, environmental review, landscaping requirements, and regulations not expressly addressed by this Specific Plan shall be subject to the provisions of the City Zoning Code, Municipal Code or General Plan, using the context and objectives of this Specific Plan as a guide.

3.1.2 Severability

If any section, subsection sentence, clause, or phrase of this Specific Plan, or future amendments or additions hereto, is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Specific Plan.

3.1.3 Definitions

The meaning and construction of words, phrases, titles, and terms shall be the same as provided in the Zoning Code unless otherwise specifically provided herein. If a word is not defined in this section or in any provision of the Zoning Code, the Community Development Director shall determine the correct definition.

- **Bioretention Facilities.** Soil and plant-based filtration devices that remove pollutants through a variety of physical, biological, and chemical treatment processes. These facilities normally consist of a grass buffer strip, sand bed, ponding

3.0 | PLANNING AREAS AND DEVELOPMENT REGULATIONS

- area, organic layer or mulch layer, planting soil, and plants, or proprietary systems such as modular wetlands.
- **E-Commerce.** E-Commerce is the buying and selling of goods and services over an electronic network, primarily the internet. This use includes internet fulfillment centers, in which orders are received from affiliated stores or other locations, processed, and filled. The number of employees, and therefore amount of employee parking, is higher than a high cube distribution center.
- **High Cube Warehouse/Distribution Center.** High-cube warehouses or distribution centers are primarily for the storage and/or consolidation of manufactured goods (and to a lesser extent, raw materials) prior to their distribution to retail locations or other warehouses but may also accommodate minor assembly as an ancillary use. These facilities are generally very large buildings characterized by a small employment count due to a high level of automation/mechanization and truck activities are frequently outside of the peak traffic hours.
- **Logistics Support.** Facilities that provide support services including fueling facilities and limited commercial uses oriented to truck operators serving the Specific Plan area. Fueling facilities may include motor fuel sales.
- **Mezzanine.** As defined herein, a mezzanine is an elevated, occupied floor above the ground floor of a larger warehouse space used for office or other enclosed workspace uses. For purposes of this Specific Plan, mechanical mezzanine platforms (typically relocatable, freestanding steel structures) used for high cube/e-commerce purposes are not counted in the square footage in the land use table nor counted towards the maximum Floor Area Ratio (FAR) or parking counts.
- **Warehousing with Distribution.** The use of a building or buildings primarily for the interim (short-term) internal storage of goods of any type, which may include sales of goods (e.g., retail sales or wholesaling). This use is generally engaged in receipt and distribution of goods, products, supplies, etc., with incidental storage and is typically identified with a quick turnaround of such goods.

3.1.4 Determination of Unlisted Uses/Interpretation

The development standards and regulations contained in this Specific Plan shall supersede the standards contained in the Beaumont Municipal Code and Zoning Code, except where specifically provided in the Specific Plan. Whenever the provisions contained in the Specific Plan conflict with the Municipal Code or Zoning Code, the provisions of the Specific Plan shall take precedence. Any ambiguity concerning the content or application of the Specific Plan shall be resolved by the City's Community Development Department, its Director/Manager or their designee. Such interpretations shall take into account the stated goals and intent of the Specific Plan.

If requested by the builder or if referred by the Community Development Director, the Planning Commission may review any administrative interpretation, subject to appeal to the City Council.

3.1.5 Use of Design Guidelines

Development shall be designed and built in substantial conformance with the Design Guidelines contained in this document (Refer to **Section 4, Design Guidelines**).

3.1.6 Subsequent Building Modification

Subsequent building modification by tenant or property owners, including additions and/or projections into setback areas permitted by the Specific Plan (subject to approval of standard City permits),

3.0 | PLANNING AREAS AND DEVELOPMENT REGULATIONS

shall match the architectural style of the primary unit and shall be constructed of the same or complementary materials and colors as the primary unit and/or in context with the overall Design Guidelines. Building modifications are permitted up to the amount specified below:

1. A decrease of not more than twenty percent of the minimum required setback area
2. An increase of not more than ten percent of the maximum permitted building height.
3. Any deviation in the permitted maximum height or location of a fence or wall.
4. An increase of not more than ten percent of the maximum permitted lot coverage.
5. Any deviation in the applicable development standards of not more than twenty percent to allow for improved productivity of solar energy systems.
6. Modifications in excess of those cited in subparagraph 1 through 5 above or modifications not listed above are permitted and shall require a Director Approval.

3.1.7 Projections into Required Setbacks

Encroachments of up to two feet into required setbacks are permitted for architectural projections such as columns, cornices, door or window frames or other decorative features and eaves, so long as emergency access is not compromised. Minor modifications of up to 15 percent to any of the development standards are specifically allowed, subject to the provisions of **Section 5.1.6, Minor Modifications/Substantial Conformance**.

3.1.8 Height

Building height means the vertical distance from the finished grade of the lot to the highest average point of the building or structure. Rooftop equipment may extend above the allowable height as defined in **Section 3.2.3** below and will be screened from view.

3.1.9 Grading

Development within the Specific Plan area shall use grading techniques as approved by the City.

3.2 Planning Areas and Regulations

Tables 3-2 and 3-4, Permitted Uses (Planning Areas 1 and 2), show the uses that may be developed on each Planning Area in the Specific Plan area. **Chapter 5, Implementation** provides detail on the process for determining if uses that are not stated in **Table 3-1** may be permitted.

The following symbols used **Table 3-1, Permitted, Conditional, and Ancillary Uses** are defined as follows:

- “P” means the use is permitted by right, subject to applicable development standards contained in this Specific Plan.
- “C” means the use is conditionally permitted, subject to the filing of a Conditional Use Permit application in accordance with the requirements of the City of Beaumont Zoning Code.
- “A” means the land use is permitted by right, provided the use is ancillary/allowed in conjunction with a primary or conditionally permitted use of the property.

3.0 | PLANNING AREAS AND DEVELOPMENT REGULATIONS

3.3 Planning Areas

Upon completion, the Summit Station Specific Plan will contain high quality commerce center, commercial center, and open space uses of an appropriate intensity for the physical features and limitations of the Project Site. **Table 3-1** presents a summary of the Planning Areas.

3.4 Planning Area 1 -- E-Commerce

3.4.1 Descriptive Summary

Planning Area 1 permits development of approximately 139.8 acres with a mixture of commerce center uses. Uses assumed for this Planning Area include up to 2,507,465 square feet of e-commerce uses and up to 50,000 square feet of office uses in support of the e-commerce uses as well as typical support uses such as break rooms, snack bars, etc. The design and layout of this Planning Area is intended to avoid the drainage course along its southern edge.

3.4.2 Permitted Land Uses

See **Section 3.4.1** for the permitted use table for the e-commerce planning area, which includes uses permitted by right and those permitted with a Conditional Use Permit.

The primary e-commerce use would include typical ancillary uses as outlined in the project's Development Regulations, including office, and employee support areas such as meeting rooms and break rooms.

3.4.3 Development Standards

The development standards outlined in **Section 3.4.2** shall apply to this Planning Area. See also the general provisions in **Section 3.1**.

3.4.4 Planning Standards

Access

Access to Planning Area 1 is from three public cul-de-sacs off Cherry Valley Boulevard, conceptually shown in **Figure 3-1, Planning Area 1**. The easternmost driveway would be shared with Planning Area 2. These access driveway locations are conceptual in nature. Access driveway design shall be reviewed by the Public Works Department as part of Tentative Parcel Map, site plan, and construction drawing review.

3.0 | PLANNING AREAS AND DEVELOPMENT REGULATIONS

Frontage

This Planning Area fronts onto Cherry Valley Boulevard. A 29-foot parkway is planned for this arterial highway, consisting of a 5-foot meandering sidewalk, and a curb-adjacent parkway as shown on **Figure 2-4, Streetscape Cross Sections**. Entry monumentation would occur at each driveway.

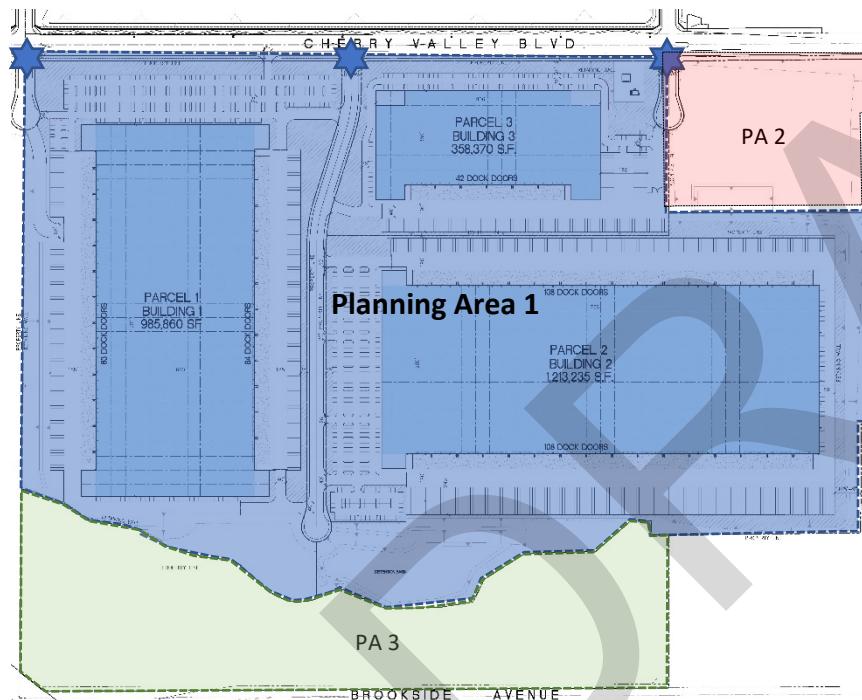


Figure 3-1 Planning Area 1

Table 3-1
Planning Areas

Planning Area	Land Use	Net Acreage	Square Footage	FAR
Planning Area 1	E-Commerce E-commerce Office	139.8 ac	2,507,465 sf 50,000 sf	0.45
Planning Area 2	Commercial	10.9 ac	150,000 sf	0.35
Planning Area 3	Open Space	30.6 ac	0	--
Circulation	Road	6.7 ac	--	--
Total (gross)		188 ac	2,707,465 sf	

Acreages are rounded.

3.0 | PLANNING AREAS AND DEVELOPMENT REGULATIONS

3.5 Planning Area 2 – Commercial

3.5.1 Descriptive Summary

Planning Area 2 permits development of approximately 10.9 acres with a mix of commercial uses. Uses assumed for this Planning Area include up to 150,000 square feet of general commercial uses, with an assumption of a mix of general retail, food uses, and hotel development.

As commercial users are identified this Planning Area may be further subdivided to provide individual pads for each eventual use.

3.5.2 Permitted Land Uses

See **Section 3.4.3** for the permitted use table for commercial uses, which includes uses permitted by right and those permitted with a Conditional Use Permit.

3.5.3 Development Standards

The development standards outlined in **Section 3.4.4** shall apply to this Planning Area. See also the general provisions in **Section 3.1**.

3.5.4 Planning Standards

Access to Planning Area 2 is from one cul-de-sac off Cherry Valley Boulevard, conceptually shown in **Figure 3-2, Planning Area 2**. This access point is designed as a cul-de-sac shared with Planning Area 1. This access driveway location is conceptual in nature. Access driveway design shall be reviewed by the Public Works Department as part of Tentative Parcel Map, site plan, and construction drawing review. Additional driveways may be provided as part of plot plan review subject to the approval of the Public Works Department.

Frontage

This Planning Area fronts onto Cherry Valley Boulevard. A 21-foot parkway is planned for this Arterial Highway, consisting of a 5-foot meandering sidewalk and a curb-adjacent parkway as shown on **Figure 2-4, Streetscape Cross Sections**. Entry monumentation would occur at the driveway entrance.

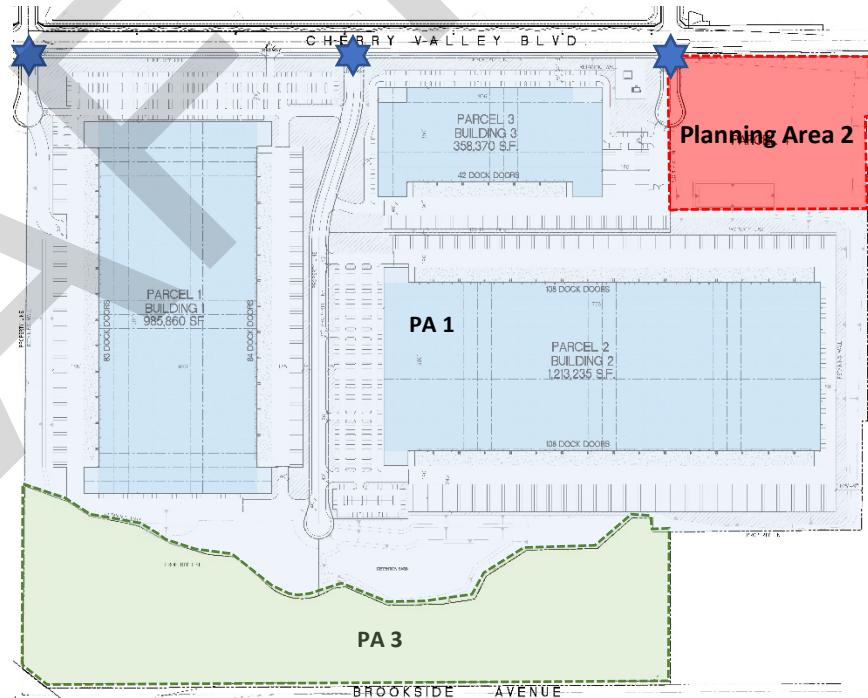


Figure 3-2 Planning Area 2

3.0 | PLANNING AREAS AND DEVELOPMENT REGULATIONS

3.6 Planning Area 3 – Open Space

3.6.1 Descriptive Summary

Planning Area 3 is set aside for natural, unimproved open space. It consists of approximately 30.6 net acres of property and contains slopes and a natural drainage course which traverses the property in a southeast to northwest direction.

This open space area will have no access from the development areas of Planning Area 1 to the north, and no planned roadways within it except for potential maintenance access for infrastructure easements.

3.6.2 Land Use

See **Section 3.4.5** for open space uses, which includes a range of passive open space uses.

3.6.3 Development Standards

The development standards outlined in **Section 3.4.6** shall apply to this Planning Area. See also the general provisions in **Section 3.1**.

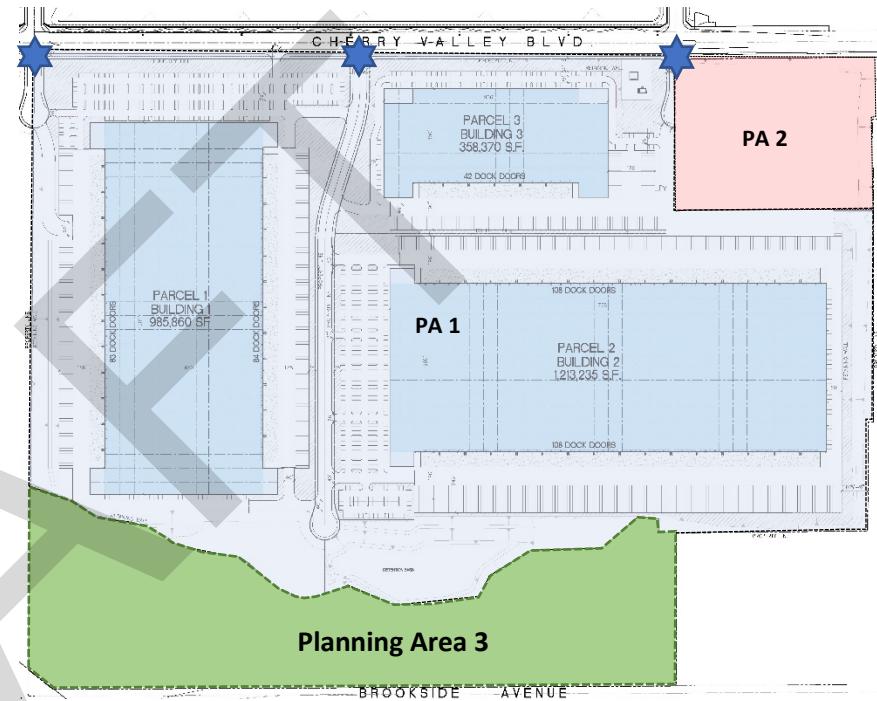


Figure 3-3 Planning Area 3

3.0 | PLANNING AREAS AND DEVELOPMENT REGULATIONS

3.7 Development Regulations and Standards

3.7.1 E-Commerce Center Land Uses

This section includes the development of e-commerce center uses in Planning Area 1. Permitted uses for the e-commerce center land uses in Planning Area 1 are described on **Table 3-2**.

Table 3-2 Permitted Uses – E-Commerce (PA 1) “P” = Permitted, “C” = Conditional, “A” = Ancillary	
E-Commerce Center Uses	
Warehouse	P
E-Commerce, including fulfillment centers	P
Heavy and Light Logistics, distribution and warehousing, including high-cube warehousing. Activities typically include, but are not limited to, warehousing, storage, freight handling, shipping, trucking services; storage.	P
Industrial retail sales	P
Industrial robotics manufacturing and assembly	P
Joining and assembly manufacturing	P
Light Manufacturing and product assembly. Activities typically include, but are not limited to, the mechanical or chemical transformation of raw or semi-finished materials or substances into new products, including manufacture of products, assembly of component parts (including required packaging for retail sale), and treatment and fabrication operation. Light manufacturing activities do not produce odors, noise, vibration, or particulates which would adversely affect uses within the same structure or site.	P
Research and Development	P
Shipping/parcel delivery hub and sorting center	P
Self-Storage (public)	P
Logistics Support	A
Overnight truck parking	A
Truck service/repairs/storage	A
Vehicle cleaning/detailing	A

Commercial Uses	
Auto Repair (Minor) - Activities include, but are not limited to automotive and light truck repair; retail sales of goods and services for automobiles and light trucks; and the cleaning and washing of automobiles and light trucks. Uses typically include, but are not limited to, repair of brakes, tires, electrical, etc. and car washes.	P
Administration and professional offices	A
Athletic Clubs (cross-fit, martial arts, club sports: volleyball, badminton, and similar)	C
Blueprinting and photocopying	P
Commercial Recreation, includes batting cages, climbing walls, trampoline, bounce house, indoor golf/driving range, and similar uses.	C
Courier Services	A
Eating Establishments - Activities typically include, but are not limited to, the retail sale from the premises of food or beverages prepared for on-premises consumption. Uses typically include, but are not limited to fast food, cafe, deli, coffee shop, and similar uses.	A
Medical and dental laboratories	A
Motion picture films, processing	P
General Retail	A
Other Uses	
Schools (vocational, trade, higher education)	C
Public Utility uses and structures	A
Property Maintenance facilities (vehicle storage, nursery holding area)	P
Telecommunications facilities/cell site associated with a permitted or conditionally permitted primary use	A
Telecommunications facilities/cell site, independent	C
Other uses not listed but similar in nature and consistent with the intent of the Specific Plan subject to Community Development Director's interpretation	

3.0 | PLANNING AREAS AND DEVELOPMENT REGULATIONS

3.7.2 E-Commerce Center Development Standards (PA 1)

The development standards establish the minimum criteria for the development of land use types on individual lots within the Planning Area specified within the Specific Plan. The following development standards and provisions apply to Planning Area 1 of the Specific Plan, primarily intended for large-scale e-commerce buildings.

1. Planning Area layout may vary from the conceptual site plan shown on **Figure 2-2** as part of plot plan review so long as the FAR does not exceed the maximum allowable FAR of 0.5 and the total Planning Area square footage is not exceeded.
3. In the event that a plot plan that alters the conceptual site plan shown in **Figure 2-2** is proposed at the plot plan level of review, final engineering layouts for water, sewer, and on-site drainage would be expected to be modified to accommodate the scenario without a Specific Plan Amendment.
4. Maximum building height shall be 60 feet (see general provisions for definition of building height measurement, Section 3.1.7).
5. Encroachments of up to two feet into required setbacks are permitted for architectural projections such as columns, cornices, door or window frames or other decorative features and eaves, so long as emergency access is not compromised.
6. Minimum setbacks shall be provided as outlined in **Table 3-3, Development Standards: E-commerce (PA 1)**. Standards are minimums unless otherwise stated.

7. Drive aisles shall have a minimum width of 26 feet subject to approval of a fire access plan by the Riverside County Fire Department. Fire lanes shall be a minimum of 28 feet in width.
8. Loading docks shall be screened from view from Cherry Valley Boulevard through the use of landscaping (trees, hedges), walls, or berms.
9. Walls/Fences shall be a maximum of 8 feet in height except for retaining wall which may have a maximum height of 65 feet.
10. All uses shall be conducted within a building unless specified in **Table 3-2, Permitted Uses E-Commerce (PA 1)**.

Table 3-3
Development Standards: E-Commerce (PA 1)

Item	Dimension/Standard
Floor Area Ratio (maximum)	0.5 ¹
Lot Area	10,000 sf
Building Setback (at Cherry Valley)	70 feet (from ROW)
Building Setback (at Specific Plan area perimeter boundary, excluding along Cherry Valley))	150 feet
Building Setback, internal property lines	50 feet
Landscape Setback, parking lot to Cherry Valley ROW	50 feet
Setback, Building Entry to Parking/driveway	10 feet
Setback, Building to Parking	5 feet
Site Landscaping	10%
Building Height (maximum)	60 feet ²

¹ Floor Area Ratio (FAR) shall be averaged - calculated across the planning area. FAR shall not include mechanical mezzanines.

² Inclusive of rooftop equipment and architectural projections

3.0 | PLANNING AREAS AND DEVELOPMENT REGULATIONS

3.7.3 Commercial Land Uses – Planning Area 2

Table 3-4, Permitted Uses – Commercial (PA2) below identifies the permitted and conditional uses within the Commercial Planning Area.

Table 3-4 Permitted Uses – Commercial (PA 2) "P" = Permitted, "C" = Conditional, "A" = Ancillary	
Commercial Uses	
Administration and professional offices, including medical and dental and architectural, engineering, design services, and legal services	P
Athletic Clubs (cross-fit, martial arts, club sports: volleyball, badminton, and similar)	C
Bakeries	P
Banking, Credit Unions, Financial Services	P
Blueprinting and photocopying	P
Convenience Markets, excluding alcohol sales	P
Convenience Markets, including alcohol sales	C
Commercial Recreation, includes batting cages, climbing walls, trampoline, bounce house, indoor golf/driving range, and similar commercial recreation uses	C
Courier Services	P
Commercial Day Care Facilities	P
Eating Establishments - Activities typically include, but are not limited to, the retail sale from the premises of food or beverages prepared for on-premises consumption. Uses typically include, but are not limited to fast food, cafe, deli, coffee shop, and similar uses.	P
Food services with live entertainment	C
Fast Food with Drive-Thru	C
Health Clubs and Gyms	C
Restaurants with Alcoholic Beverage Sales	C
Recharging Stations	P
Service Stations	C
Service Commercial uses including barbers and beauty parlors, dry cleaners, laundries, shore repair, tailors	P

Hotel and Motel uses, including extended stay	P
General Retail permitted in the CC zone of the BMC	P
Other Uses	
Schools (vocational, trade, higher education)	C
Public Utility uses and structures	A
Telecommunications facilities/cell site associated with a permitted or conditionally permitted primary use	A
Telecommunications facilities/cell site, independent	C
Other uses not listed but similar in nature and consistent with the intent of the Specific Plan subject to the Community Development Director's interpretation	

3.7.4 Commercial Development Standards – Planning Area 2

The following development standards and provisions apply to Planning Area 2 of the Specific Plan, primarily intended for smaller scale general commercial uses.

1. Maximum building height shall be 50 feet for general commercial and food uses and 60 feet for hotels (see general provisions for definition of building height measurement, **Section 3.1.8**).
2. Minimum setbacks shall be provided as outlined in **Table 3-5, Development Standards: Commercial (PA 2)**. Standards are minimums unless otherwise stated.
3. Encroachments of up to two feet into required setbacks are permitted for architectural projections such as columns, cornices, door or window frames or other decorative features and eaves, so long as emergency access is not compromised. Encroachments for canopies may exceed up to a maximum of five feet along Cherry Valley Boulevard.
4. Drive aisles shall have a minimum width of 26 feet subject to approval of a fire access plan by the Riverside County Fire Department as part of plot plan review. Fire lanes shall be a minimum of 28 feet in width.

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5. Outdoor uses and ground mounted mechanical equipment shall be screened from view from Cherry Valley Boulevard by landscaping (trees, hedges), low walls, or berms.
6. All uses shall be conducted within a building unless specified in **Table 3-4, Permitted Uses—Commercial (PA 2)**.

Table 3-5 Development Standards: Commercial (PA 2)	
Item	Dimension/Standard
Floor Area Ratio (maximum)	0.35 ³
Lot Area	10,000 sf
Lot Depth and Width	100 ft
Building Setback (at Cherry Valley)	50 feet (from row)
Parking Setback (Cherry Valley)	40 feet
Building Setback (at Specific Plan area perimeter boundary, excluding along Cherry Valley)	20 feet
Building Setback, internal property lines	10 feet
Setback, Building Entry to Parking/drive aisle	10 feet
Setback, Building to Parking	5 feet
Building Separation	Per fire code
Site Landscaping	10% ⁴
Common Open Space (may include plaza space, seating areas, shade structures)	40 sf per 1,000 sf of floor area
Building Height (maximum)	
Retail/Food Services	50 feet ⁵
Hotel	60 feet ⁵

³ Floor Area Ratio (FAR) shall be averaged - calculated across the Planning Area. FAR shall not include mechanical mezzanines.

3.7.5 Open Space Land Uses – Planning Area 3

The open space in Planning Area 3 may include the following uses:

1. Natural open space
2. Pedestrian trails
3. Stream course and drainage facilities
4. Public Works and/or Infrastructure facilities (including water/sewer/drainage easements
5. Fuel modification zones
6. Habitat restoration
7. Interpretive areas, including public information kiosks.
8. Wireless communications facilities as provided in the Beaumont Zoning Ordinance

3.7.6 Open Space Development Standards – Planning Area 3

1. No automobile parking spaces will be provided.
2. No vehicular circulation access will be provided other than for maintenance.

3.8 Walls and Fences

- Walls/fences may be a maximum of eight feet in height. Fence materials may consist of tubular steel fences, masonry block, or a combined low block wall/fence.
- Walls or fences will be provided around the perimeter of the property, except for the edge Cherry Valley Boulevard. The

⁴ Parking lots to have 30% shade coverage in 30 years. 15% of parking to be landscaped with a mixture of trees, shrubs, vines, groundcovers, 30% of which must be interior of the parking lot, 70% perimeter.

⁵ Inclusive of rooftop equipment and architectural projections

3.0 | PLANNING AREAS AND DEVELOPMENT REGULATIONS

frontage at Cherry Valley Boulevard may include a low wall or fence or use planting materials along the street frontage.

- Chain link fencing is prohibited.
- Retaining walls may have a maximum height of 65 feet.
- If entry gates are proposed as part of an implementing project, sufficient stacking distance shall be provided for at least one semi-trailer vehicle to avoid obstruction of traffic on Cherry Valley Boulevard.
- Use of terracing with walls as approved by the Community Development Director.

3.9 Parking

Unless otherwise provided herein, parking shall be provided in accordance with the Beaumont Municipal Code. Parking within the Specific Plan area shall be provided in accordance with the ratios in **Table 3-6, Parking**, based on gross floor area. Parking ratios which are based on the 2021 Parking Management Plan prepared by Walker Consultants are indicated with an asterisk (*). In Planning Area 2 (Commercial), a minimum of one rideshare drop-off/pick-up space shall be provided.

Parking stall dimensions shall be in accordance with the Beaumont Municipal Code summarized as follows:

- Standard automobile stalls: 9' x 19'
- Compact Stalls: 8' x 16' (10% of stalls maximum)

Shared parking may be provided subject to a shared parking study in accordance with Section 17.05.080 of the Beaumont Municipal Code.

Table 3-6 Parking	
Item	Parking Ratio
Office/Ancillary Retail	1 space/200 sf
Medical Office	0.9 space/250 sf*
E-Commerce⁶	
First 40,000 sf	1 space/1,000 sf
40,000 sf	1 space/4,000 sf
Ancillary office	1 space/ 250 sf
Tractor/Trailer	1 space per 4 dock doors
Manufacturing	1 space/500 sf
Ancillary office	1/250 sf
Warehouse	1 space/1,000 sf
General Retail	0.75 spaces/200 sf*
Restaurants, Fast Food⁷	1 space/100 sf
Restaurants, Sit-Down	1 space/100 sf
Hotel/Motel	1.15 spaces/key plus 7.50 spaces per ksf restaurant*
Bicycle Parking	per CalGreen
Carpool Stalls	per CalGreen
EV Charging Stations	Per CALGreen

⁶ Mechanical mezzanines shall not require additional parking.

⁷ Drive-thru lanes to provide a minimum of 8 spaces for stacking. Some high volume drive-thru uses may require a queuing study at plot plan review.

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3.10 Signage

All signage within the boundaries of the Specific Plan area shall conform with the provisions of the Beaumont Municipal Code.

A master signage program for monument and wall signage shall be prepared for the Project prior to approval of the first implementing project within the Specific Plan. The master sign program may present deviations from the City's signage standards.

3.11 Lighting

The design of lighting fixtures shall be approved by the City as part of the City's Development Plan Review.



DO NOT
DRAFT

4.0 DESIGN GUIDELINES

This section explains design concepts and establishes design guidelines for development in the Specific Plan area and illustrates the landscape elements of the Project.

4.1 Purpose

The Design Guidelines within this chapter describe building designs, concepts, and features that will promote the high-quality development envisioned for the Specific Plan area. The Design Guidelines in this chapter should be used in conjunction with the development standards described in **Chapter 3: Development Regulations**. The guidelines provide a tool for developers, builders, architects, engineers, and landscape architects and others to use in the design of new development.

Certain key design elements will contribute significantly to the visual order and consistency of the entire Specific Plan area and provide a quality development. The Design Guidelines chapter is developed primarily around two key elements: Architecture and Landscape. These elements define the design concept, physical character, and overall theme of the Summit Station Specific Plan.

- The Architectural Design Guidelines describe the intended architectural themes and styles for buildings permitted within the Specific Plan area and are intended to provide a basis for decisions regarding the built environment. These guidelines promote a high-quality ecommerce project, including direct guidance on architectural design and details, building mass and scale, materials and exterior colors, and articulation.
- The Landscape Guidelines describe general landscaping requirements, including streetscape design, entry

treatments, signage, water quality features, walls and fencing, and lighting. The guidelines provide direction regarding the use of plant materials that are water-wise and complement the desired architectural style.

These Design Guidelines serve to promote cohesive design and enhance the Project identity. These guidelines take a flexible approach to guidance with the intent that architectural design and quality change over time. Conceptual graphics and imagery are included as visual references but do not represent the only approach that may be taken to design within the Specific Plan area. Creative approaches are encouraged.

These Design Guidelines serve the following functions:

- To provide the City of Beaumont with assurance that Summit Station will be developed in accordance with the quality and character described within this Specific Plan.
- To establish design guidelines for architecture, circulation, landscape, parking, lighting, and other distinguishing features.
- To provide guidance to City staff and the Planning Commission in the review of future implementing projects within the Specific Plan area.
- To provide builders, planners, architects, landscape architects and property owners with guidelines and recommendations to aid in maintaining a high level of project cohesiveness while still allowing for a degree of personal expression and creativity.
- To encourage sustainable design solutions that reduce energy consumption, use water efficiently, and minimize waste.

4.0 | DESIGN GUIDELINES

- To create simple building designs that result in efficient use of space, materials, and resources while maintaining a high level of design integrity.

Within the Design Guidelines:

- “Shall” indicates a mandatory provision.
- “Should” indicates a provision that is encouraged but not required.
- “May” indicates a provision that is permitted but not required.

Illustrations and photographs are provided as general guidance and are not intended to indicate required or preferred design.

These guidelines may be subject to modification over time to respond to unanticipated conditions, such as changes in the real estate market, specific needs of buildings users, technology advancements, and economic fluctuations.

4.2 Site Design

Development within the Specific Plan area should consider the following site design guidelines:

- The site should be organized in a way that reduces conflicts between pedestrian and vehicular paths of travel.
- The site should include wayfinding measures to promote efficient paths of travel for pedestrians and all vehicles, including large truck traffic.
- Indoor or outdoor break areas shall be provided. Landscaping shall be used to define activity/use areas.
- Spaces for outside equipment, trash receptacles, storage, and loading areas shall be designed as an integral part of the

structure or positioned in the least conspicuous part of the site and properly screened.

- The site shall be designed such that any check-in point for trucks is well inside the facility to ensure that there are no trucks queuing outside the facility. Vehicles can access the building using paved roads and parking lots. Further, the applicant shall provide signage to ensure that no trucks are queuing outside the facility.

4.2.1 Safety Through Design

Employee and site safety can be enhanced through the application of design considerations that contribute to the reduction in opportunities for crime. The concept of safety through design includes several primary elements, which should be taken into consideration as part of final design of implementing projects.

- See and be Seen. Use natural surveillance (i.e., “eyes on the street”) to maximize the visibility of people, parking, building entrances, and loading docks. Seating areas, circulation corridors, and individual building entries should be designed to be visible from as many areas as possible.
 - Building entries should be visible from a street or drive aisle.
 - Landscaping should be designed to limit hiding places and enhance visibility.
 - Lighting should be strategically placed to illuminate parking areas, docks/loading zones, and building entries.
 - Lighting along entrance paths to buildings should be provided at the same level as street lighting.
 - Back drive aisles and loading docks should be well lit.

- Internal walkways should be well lit and visible from buildings.
- Lighting should illuminate entrapment areas such as the entrances to loading/unloading areas.
- Parking lots should be well lit for night shift while still complying with the dark sky ordinance.
- Access control, including clear wayfinding to guide visitors and vehicles to appropriate site and building entries and perimeter fencing to avoid trespass.
- Maintenance. Properly maintained properties are less likely to attract unwanted activity. Landscape, signage, and lighting should be kept in good condition to avoid an appearance of neglect. Reporting of burnt out or vandalized lights should be encouraged.

4.2.2 Parking Facilities

Parking design shall emphasize clear hierarchy, clear navigation, and safety. Development in the Specific Plan area should consider the following guidelines relating to the design of parking lots and internal pedestrian and vehicular circulation:

- The circulation system should be clear, direct, and simple, with a primary focus on the building itself and access to loading zones.
- Entries, exits, parking lots, and pedestrian pathways shall allow customers, employees, emergency vehicles, and delivery vehicles to navigate through the site easily and safely.
- Visitor parking should be located with convenient access to public building entries.

- Trees should be planted regularly within parking lots and parking lot medians to provide shade for vehicles and pedestrians.

Delivery and loading operation design shall not conflict with vehicular traffic in the adjacent public street – trucks shall not be allowed to stack in such a way as to extend on to Cherry Valley Boulevard.

- Parking space and aisle dimensions and landscaping shall conform to City development standards.
- Parking lots must be designed with a clear hierarchy:
 - major access drives into the Commerce Center from Cherry Valley Boulevard;
 - major internal circulation drives and/or fire lanes;
 - parking aisles for direct access to parking spaces or loading docks.

4.3 Sustainable Design

Building in a resource-efficient manner has advantages for the environment as well as for users of buildings within Summit Station. An important tenet of sustainable development is the efficient use of available resources, coupled with maintaining a healthy balance between the natural open space areas and developed areas of the site.

Sustainable design elements reduce pollution and conserves natural resources, with the following goals in mind:

- Design that incorporates on-site landforms, including drainage areas.
- Design buildings to accommodate renewable energy systems where feasible.

4.0 | DESIGN GUIDELINES

- Create building forms and landscapes that protect employees from climate conditions.
- Use water resources responsibly.

4.3.1 Water Efficiency

- Use of drought tolerant and/or native plant materials.
- Use of high efficiency plumbing and fixtures that meet CalGreen requirements.
- Use of irrigation controls and planting hydrozones to reduce water demand.

4.3.2 Energy Efficiency

- Use of overhangs, window glazing/tinting and landscaping to control heat gain.
- Use of high-performance glazing.

4.3.3 Materials Efficiency

- Use of recycled content in building materials.
- Use of renewable materials where possible.
- Recycling of construction material packaging.
- Use of materials with low volatile organic compounds of off-gassing.

4.3.4 Natural Resource Conservation

- Avoidance of on-site drainage courses and steep slope areas.

4.3.5 Air Quality

- Projects within the Specific Plan area must review and incorporate the project design features (PDFs) as written in

the Environmental Impact Report (EIR) for the Specific Plan area.

4.4 Architecture

Well thought-out architectural design is one of the most important components of a successful project. It can be challenging to successfully implement traditional architectural elements into larger e-commerce and commercial buildings. The large scale and logistical requirements needed to accommodate the internal use of the building are not always conducive to highlighting detailed architectural features. However, if concentrated into strategic areas of the building's façade such as visible corners, these details can help define a building.

The guidelines within this section are intended to promote successful architectural design, both aesthetically and functionally. Builders within the Specific Plan area should review and consider each of the following guidelines.

4.4.1 Building Orientation, Mass and Form

Building form is a defining feature of architecture. Shape, massing, scale, proportion, and articulation are all components of a building's form. Development within the Specific Plan area should consider the following principles relating to form and massing:

- The overall building form should consist of simple, geometric forms.
- Building design should exhibit balance, rhythm, and symmetry.
- Rectangular forms with repeating elements at entryways and marking building corners are encouraged to promote balance and visual interest.

- Arbitrary, complicated building forms and rooflines should be avoided. Varied rooflines consistent with the proposed architectural style and appropriate for the building form at various points (entries, corners) are encouraged.



The following Design Guidelines relating to building scale and orientation should be incorporated into projects within the Specific Plan area.

- Buildings should be organized to provide convenient access to entrances and efficient internal circulation for vehicles and pedestrians.
- A parapet or other method of screening should be considered to keep rooftop mechanical equipment screened from public streets.
- Visitor parking should be located with convenient access to publicly accessible building entries.
- Buildings should be oriented so that loading areas are screened from view from streets and public areas.

4.4.2 Façade Articulation and Entries

Building entries are important components of a building façade and should be defined visually through the use of enhanced architectural



Example: Prominent corners of buildings are important to denote as primary pedestrian entrances through the application of architectural features.

design features. Development within the Specific Plan area should consider the following guidelines for building entrances:

- Building forms and elevations shall be articulated in a manner that will enhance the primary building entry points and create interesting rooflines, building shapes, and patterns of shade and shadow.

4.0 | DESIGN GUIDELINES

- Long horizontal stretches of building façade should be broken up through a push or pull of the façade, vertical banding, a change in materials, or use of other design elements that break up the façade into smaller components. Articulation of the façade must be consistent with the setbacks described in the Development Regulations section.
- Vertical and horizontal variation should be appropriately implemented in order to add richness and variety to the overall mass of the building.
- Primary building entries shall be easily identified through the use of architectural elements, signage, landscaping, lighting, canopies, roof form, hardscape, architectural projections, columns, vertical elements, or other design features that help emphasize a building's entry.
- Building entries should be clearly accessible from the adjacent vehicular parking areas.
- Provide for small seating spaces designed in concert with adjacent building entries.

4.4.3 Materials and Colors

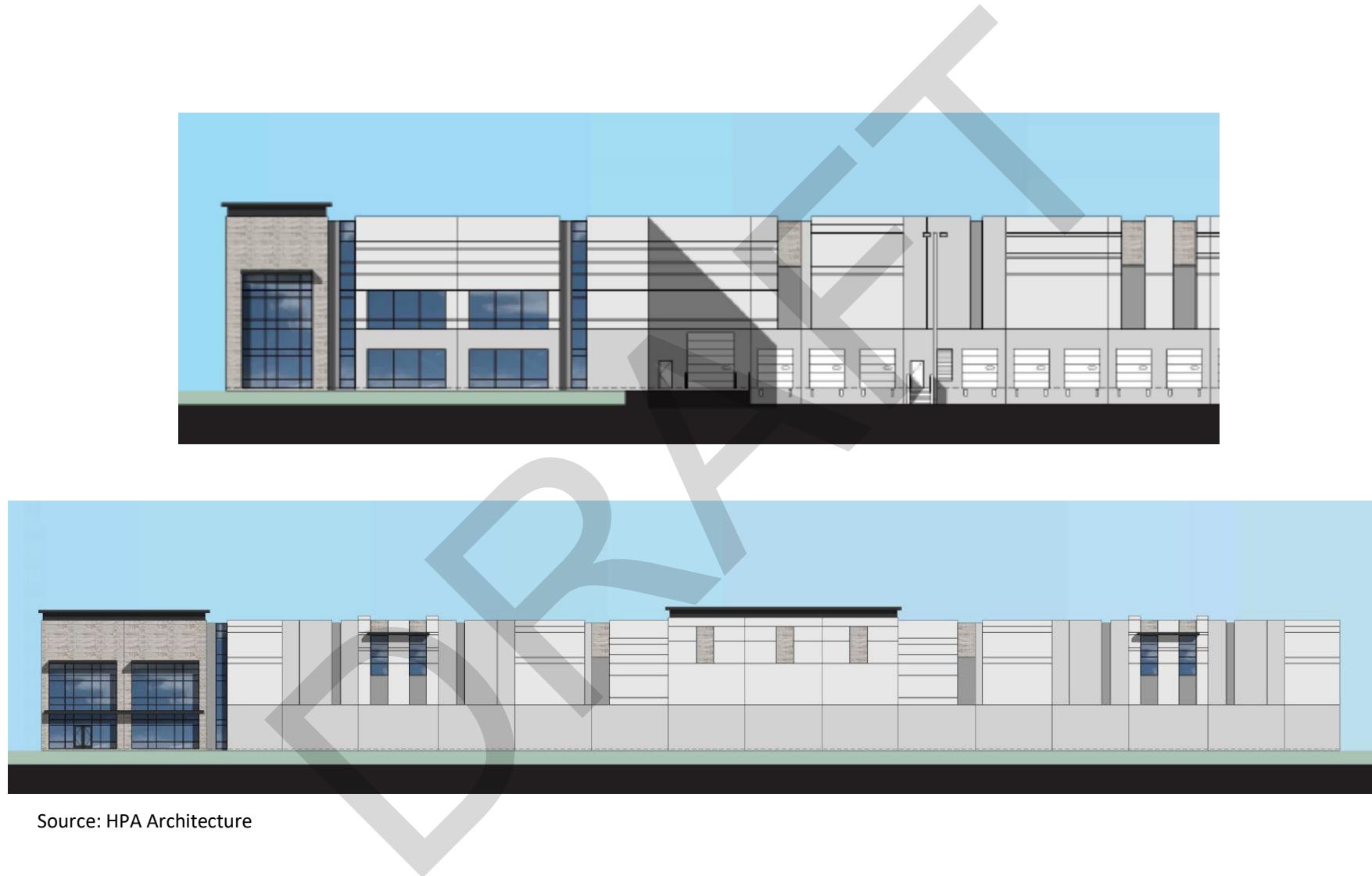
Building materials, colors, and finishes should be high quality and complement the architectural theme and styles within the Specific Plan area. Development within the Specific Plan area should consider the following guidelines for building materials and colors:

- Development within the Specific Plan area should consist of high-quality materials and finishes.
- Trim or decorative accent elements should complement the architectural style and be consistent in color and material throughout a building façade.

- Materials applied to any elevations shall turn the corner of the building and continue until they reach a logical termination point in relation to architectural features or massing.



Example corner entry design



Source: HPA Architecture

Figure 4-1 E-Commerce Elevations

4.0 | DESIGN GUIDELINES

4.4.4 Undesirable Elements

Architectural elements which are undesirable and should be avoided include the following:

- Large, blank, unarticulated wall surfaces in public view;
- Loading bays or doors facing Cherry Valley Boulevard;
- Chain link fence or barbed wire fencing except during construction;
- Exposed roof drains and/or downspouts, except where integrated with the building architecture through complementary colors and materials; and
- Unscreened rooftop equipment.

4.5 Commercial Guidelines (Planning Area 2)

4.5.1 Building and Site Design

- The architectural style shall consist of contemporary interpretations of traditional architectural styles. Unique or landmark architecture is permitted, especially associated with a trademarked use.
- Primary building entries shall provide a prominent sense of entry for easy identification. The use of architectural projections, columns, entry lobbies or other design elements are strongly encouraged.
- Commercial building façades facing Cherry Valley Boulevard should show a higher level of articulation and fenestration than the e-commerce uses within the Specific Plan area. This may include changes in building materials, color, and/or decorative accents/scoring.

- For buildings with two or more entrances, the primary entrance should be clearly delineated through architectural detailing, scale, lighting, or signage.
- Articulation of building planes shall be provided for commercial uses which exceed two stories. This would apply to hotel or other unique commercial uses which may exhibit elements of residential-style architecture.
- First floor primary elevations must include pedestrian-scaled elements such as storefront design, overhangs, awnings, arcades, etc.
- Roofs should be given design consideration and treatment consistent with the primary building and the rest of the building exteriors. Roof form and rooflines should be continuous in design throughout a commercial development.
- Seating areas or plaza spaces within commercial developments are strongly encouraged.

4.0 | DESIGN GUIDELINES



Elements of light stone, dark mullions on retail



Black I beam canopy on retail



Source: HPA Architecture



Urban residential feel hotels



Urban casual contemporary hotels

Figure 4-2 Commercial Imagery

4.0 | DESIGN GUIDELINES

4.5.2 Hotel Uses. Small-scale hotels and motels are classified as a commercial use, but often include residential-scaled elements in building design. In addition to the general architectural criteria, the following guidelines are specific to this type of use:

- Delivery and loading areas shall be located at the rear of the building lot and be screened from view from publicly accessible spaces.
- Hotels and motels shall provide landscaped setbacks from interior property lines as defined in the Development Regulations section of this Specific Plan.
- Recreational facilities such as swimming pools should be designed to offer privacy to facility users and to minimize noise impacts on adjacent uses. Mechanical equipment of all types, including swimming pool equipment, should be located to minimize impacts on adjacent uses and screened appropriately.
- Landscaped areas should separate ground floor units from pedestrian walkways, project amenities, and drive aisles/parking areas.
- For structures over two stories, access to guest rooms should be provided from interior hallways. Avoid room entrances directly adjacent to parking lots or exterior walkways.
- Exterior building materials should include natural stone (marble, granite, brick, slate, etc.), stucco, and/or cultured (i.e., manufactured) stone. The choice of materials should be complementary to the design of the structure.
- Walkways, stairways, and balcony railing and other similar details should be architecturally consistent with the building design.



Main building and driveway should be primary presence on major streets



Architectural treatment of building should be equally applied on all facades of hotel

4.5.3 Drive-Thru Businesses. Drive-through businesses may include restaurants, coffee shops, banking institutions with drive-up teller/ ATM access, and other similar facilities. Drive-through businesses have additional design considerations related to on-site circulation, vehicular access, outdoor seating, signage, landscape, and other parameters. In addition to the general criteria provided within the Design Guidelines, the following criteria apply drive-thru uses:

- Drive-through lanes for food and beverage establishments shall accommodate a minimum of eight vehicle stacking at the menu board and pickup windows without impacting other on-site circulation. If a high-volume use is proposed a queuing analysis may be required, at the Community Development Director's discretion.
- Safe pedestrian walkways shall be provided from the parking areas and from street frontages. Pedestrian pathways to the use should avoid conflicts with vehicular drive through lanes through siting or clearly delineated paving.
- Drive-through aisles should be separated from adjacent streets and parking areas with a landscaped buffer.
- Outdoor eating areas are encouraged. Outdoor eating areas should provide details such as low walls, trellis elements, furniture, umbrellas/awnings, refuse area placement, etc.
- Exterior doors, equipment rooms, and service/employee entries should be designed with complementary architectural treatment.



Drive-through lanes shall accommodate appropriate vehicle stacking based on the specific use

4.6 Landscape

4.6.1 Landscape Concept

Landscape and plant materials provide aesthetic quality by complementing and enhances the established design themes as well as functionally providing shade and screening. This is especially important for projects with larger buildings where plant materials serves the critical role of softening building facades and creating a sense of comfort at the pedestrian level. These landscape guidelines work in tandem with the architectural design guidelines presented previously in this chapter of the Specific Plan to enhance the contemporary design theme and establish a high-quality, professional aesthetic quality for the Specific Plan area.

4.0 | DESIGN GUIDELINES

Landscaping helps to establish the identity of the Summit Station Specific Plan area. All landscaping for the Project shall:

- Enhance internal cohesion and continuity;
- Promote an attractive corporate environment; and
- Promote water conservation.

The guidelines within this section present parameters for general landscape design, water conservation, streetscapes, and on-site landscaping.

The conceptual landscape master plan shown in **Figure 4-3**, provides the approximate locations for the variety of plant materials described within this chapter. As noted, the conceptual landscape master plan is for illustrative purposes and may change due to revisions in final design and to meet the needs of future implementing projects. This section of the Specific Plan is intended to provide flexibility in future implementation while promoting a consistent look and feel throughout the Specific Plan area. Use of a plant material not listed within the preliminary plant palette (**Figures 4-4, Plant Materials - Trees and Shrubs** and **4-5, Plant Materials-Groundcovers**) is permitted provided it is consistent with the core elements of landscape plan and reinforces the overall design concept.

4.6.2 Entries/Monumentation

Monumentation is anticipated at each Project entry. Conceptual signage is shown on **Figure 4-6: Conceptual Monumentation**.

Separate from entry monuments, directional signs shall be installed at each Phase 1 exit driveway which provides directional information to the City's truck route. Text on the sign shall read "To Truck Route" with a directional arrow. Truck routes shall be clearly marked consistent with the Municipal Code.

4.6.3 Streetscape

Three types of streetscape are anticipated in the Specific Plan area:

Public/Perimeter: Streetscape along Cherry Valley Boulevard and Brookside Avenue (see **Figure 4-7, Streetscape – Cherry Valley Boulevard** and **Figure 4-8, Streetscape – Brookside Avenue**).

Public/Interior: Streetscape along the public entry drives as shown on the Circulation Plan and Landscape Master Plan (see **Figure 4-9, Streetscape – Public Entry Street**).

4.6.4 Parking Lots

Parking lots for automobile parking will include landscaping, including canopy trees for shade and landscape medians separating internal roadways from parking areas (see **Figure 4-7** for an illustration of typical automobile parking lot landscape). Parking lots must have 30 percent shade coverage in 30 years. 15 percent of parking must be landscaped with a mixture of trees, shrubs, vines, groundcovers, 30 percent of which must be interior of the parking lot and 70 percent on the perimeter.

4.6.5 Fuel Modification

Adjacent to natural open space, a fuel modification zone must be provided. **Figure 4-10, Fuel Modification**, depicts the fuel modification landscape strategy within the Specific Plan area.

4.0 | DESIGN GUIDELINES

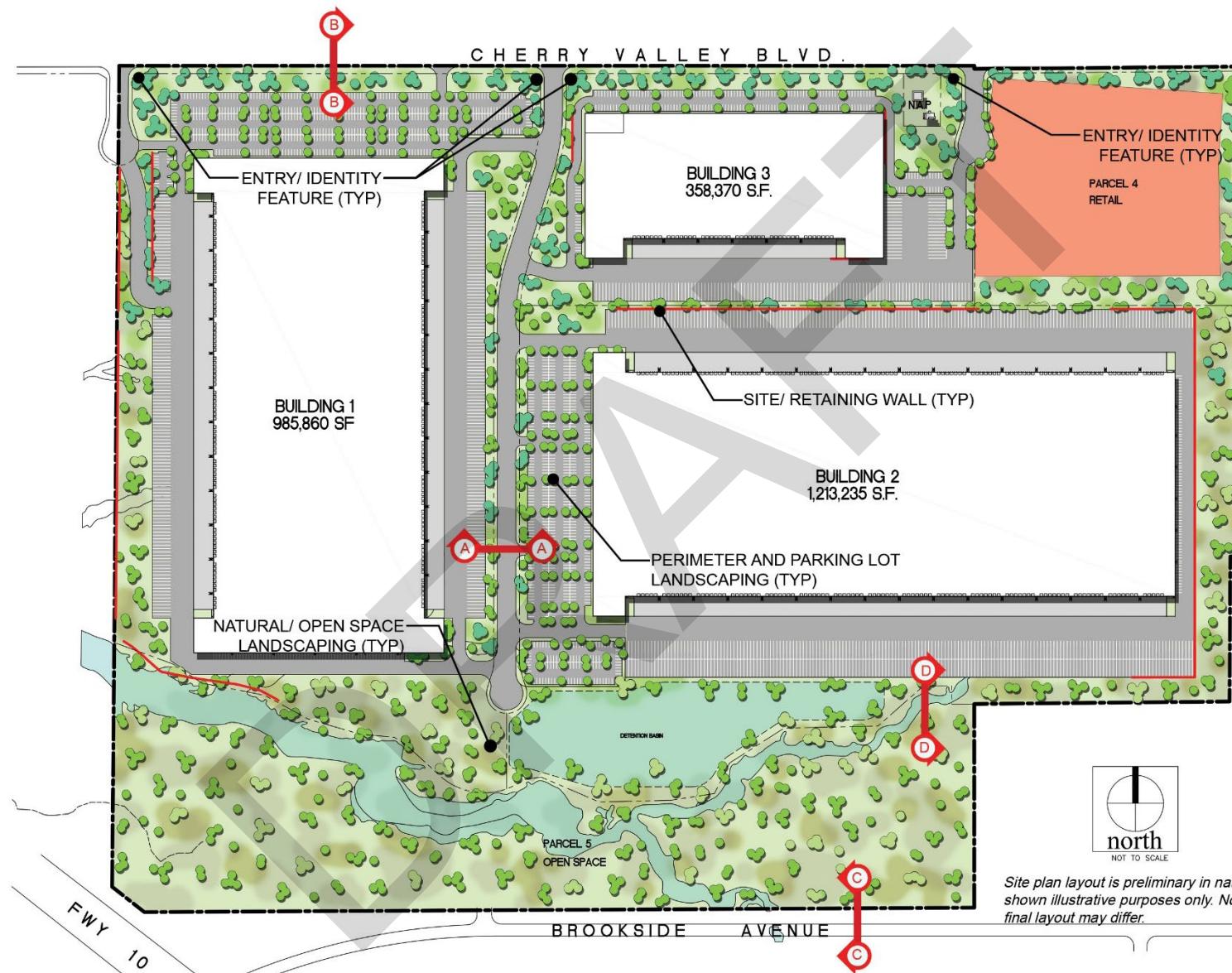


Figure 4-3 Conceptual Landscape Plan

4.0 | DESIGN GUIDELINES

Trees



Alnus rhombifolia - White Alder
Betula pendula 'Alba' - European White Birch
Ceratonia siliqua - Carob Tree
Cercis occidentalis - Western Redbud
Chitalpha tashkentensis - Chitalpa
Cinnamomum camphora - Camphor Tree
Fraxinus Americana - White Ash
Geijera parviflora - Australian Willow
Ginkgo biloba - Maiden Hair Tree
Gleditsia triacanthos - Honey Locust
Grevillea robusta - Silk Oak
Koelreuteria bipinnata - Chinese Plame Tree
Lagerstroemia indica Spp. - Crape Myrtle
Liquidambar styraciflua 'Burgundy' - Sweet Gum
Lophostemon confertus - Brisbane Box
Magnolia soulangea - Saucer Magnolia
Malus spp. - Crabapple
Olea Europaea 'Majestic Beauty' - Olive Tree
Parkinsonia x 'Desert Museum' - Desert Museum Palo Verde
Phoenix dactylifera - Date Palm
Pinus eldarica - Mondel Pine
Pinus nigra - Austrian Black Pine
Pistacia chinensis - Chinese Pistache
Platanus acerifolia 'Bloodgood' - London Plane Tree
Podocarpus gracilior - African Fern Pine
Populus nigra 'Italica' - Lombardy Poplar
Prunus cerasifera 'Krauter Vesuvius' - Flowering Plum
Prunus cerasifera spp. - Flowering Plum
Quercus spp. - Oak
Rhus lancea - African Sumac
Salix babylonica - Weeping Willow
Tipuana tipu - Tipu Tree
Ulmus parvifolia 'True Green' - Chinese Evergreen Elm
Washingtonia filifera - Desert Fan Palm



Shrubs and Accents



Abelia grandiflora 'Edward Goucher' - Glossy Abelia
Agapanthus africanus 'Ladanifer' - Ladanifer Lily of the Nile
Agave attenuata - Agave
Arctostaphylos densiflora 'Howard McMinn' - Manzanita
Aristida purpurea - Purple Three-awn

Shrubs and Accents (continued)



Asparagus densiflorus - Asparagus Fern
Berberis thunbergii - Japanese Barberry
Bouteloua gracilis 'Blonde Ambition' - Blue Gama
Calliandra californica - Baja Fairy Duster
Callisemon viminalis 'Little John' - Weeping Bottle Brush
Carex divisa - Berkeley Sedge
Carpenteria californica - Bush Anemone
Ceanothus Spp. - California Lilac
Cistus purpureas - Purple Rockrose
Cotoneaster glaucophyllus - Gray Leaf Cotoneaster
Cotoneaster horizontalis - Rock Cotoneaster
Dites bicolor - Fortnight Lily
Dodonaea viscosa - Hopseed Bush
Echiun, fastuosum - Pride of Madeira
Festuca glauca 'Siskiyou Blue' - Blue Fescue
Forsythia 'Arnold Dwarf' - Arnold Dwarf Forsythia
Fremontodendron californicum 'California Glory' - Flannel
Grevillea 'Noellii' - Noel's Grevillea
Helictotrichon sempervirens - Blue Oat Grass
Hemerocallis spp. - Day Lily
Heteromeles arbutifolia - Toyon
Ilem rocallis spp. - Da Lil
Juncus effesus 'Quarts Creek' - Common Rush
Lavandula angustifolia - English Lavender
Leuophyllum spp. - Sage
Ligustrum japonicum 'Texanum' - Texas Privet
Mahonia repens - Creeping Mahonia
Muhlenbergia rigens - Deer Grass
Myrtus communis 'Compacta' - Dwarf Myrtle
Pittosporum tenuifolium 'Silver Sheen' - Silver Sheen
Rhaphiolepis indica 'Pinkie' - Indian Hawthorn
Rhus integrifolia - Lemonade Berry
Romneya coulteri - Matilija Poppy
Rosmarinus officinalis 'Prostratus' - Trailing Rosemary
Salvia clevelandii - Cleveland Sage
Sarcococca hookerana humilis - Sweet Sarcococca
Tagetes lemmonii - Mountain Marigold
Tulbaghia violacea - Society Garlic

Figure 4-4 Plant Materials – Trees and Shrubs

Beaumont Summit Station Specific Plan

Groundcovers

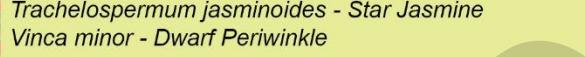
	<i>Acacia redolons</i> 'Desert Carpet' - Desert Carpet Acacia
	<i>Achillea millefolium</i> - Achillea
	<i>Arctostaphylos hookeri</i> - Monterey Carpet Manzanita
	<i>Artemisa caucasia</i> - Wormwood
	<i>Baccharis pilularis</i> 'Pigeon Point' - Dwarf Coyote Bush
	<i>Baileya multiradiata</i> - Desert Marigold
	<i>Convolvulus mauritanicus</i> - Ground Morning Glory
	<i>Cotoneaster</i> spp. - Cotoneaster
	<i>Heliantheumum</i> spp. - Helianthemum
	<i>Juniperus horizontalis</i> 'Wiltonii' - Blue Rug Juniper
	<i>Lantana</i> spp. - Lantana
	<i>Lomandra longifolia</i> 'Breeze' - Dwarf Mat Rush
	<i>Myoporum parvifolium</i> - Myoporum
	<i>Oenothera berlandieri</i> - Mexican Evening Primrose
	<i>Rosmarinus</i> o. 'Prostratus' - Prostrate Rosemary
	<i>Salvia greggii</i> - Autumn Sage
	<i>Santolina chamaecyparissus</i> - Lavender Cotton
	<i>Santolina virens</i> - Green Lavender Cotton
	<i>Sedum rubrotinctum</i> - Pork and Beans
	<i>Trachelospermum jasminoides</i> - Star Jasmine
	<i>Vinca minor</i> - Dwarf Periwinkle



Figure 4-5 Plant Materials – Groundcovers

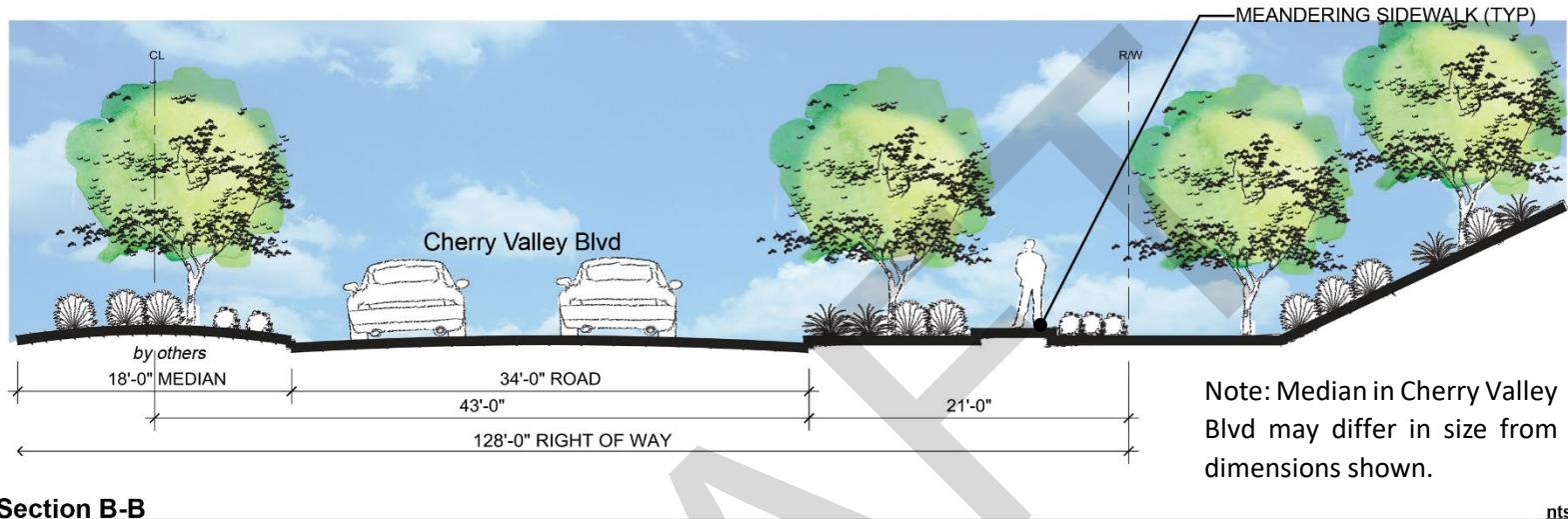
4.0 | DESIGN GUIDELINES



The conceptual entry monumentation is preliminary in nature and for shown illustrative purposes only. Note that the final design may differ.

Figure 4-6 Conceptual Entry Monumentation

4.0 | DESIGN GUIDELINES



Section B-B

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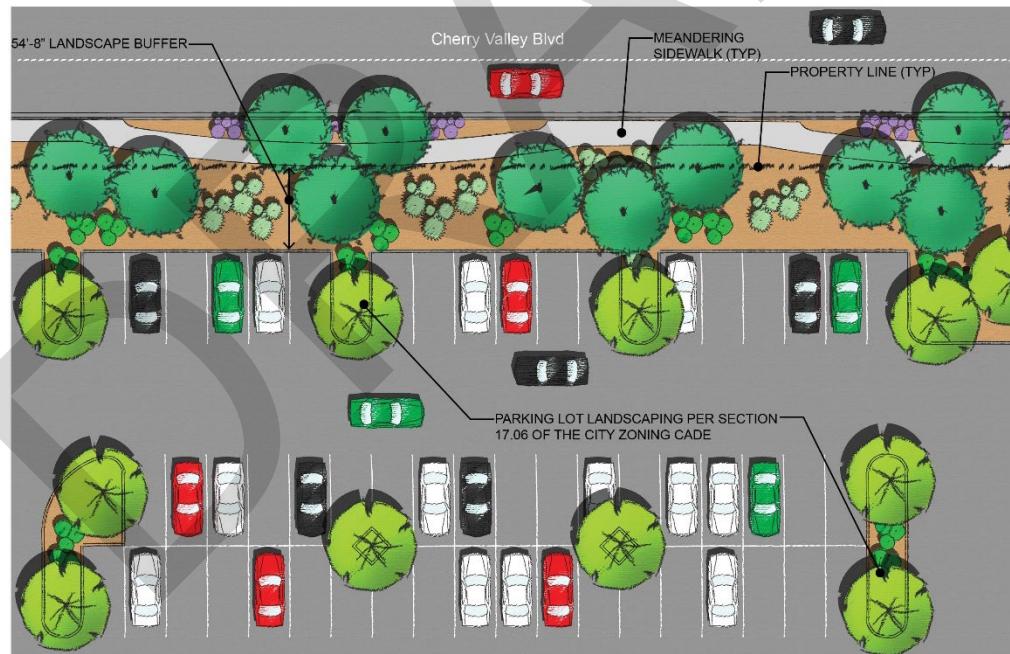


Figure 4-7 Streetscape – Cherry Valley Boulevard

4.0 | DESIGN GUIDELINES

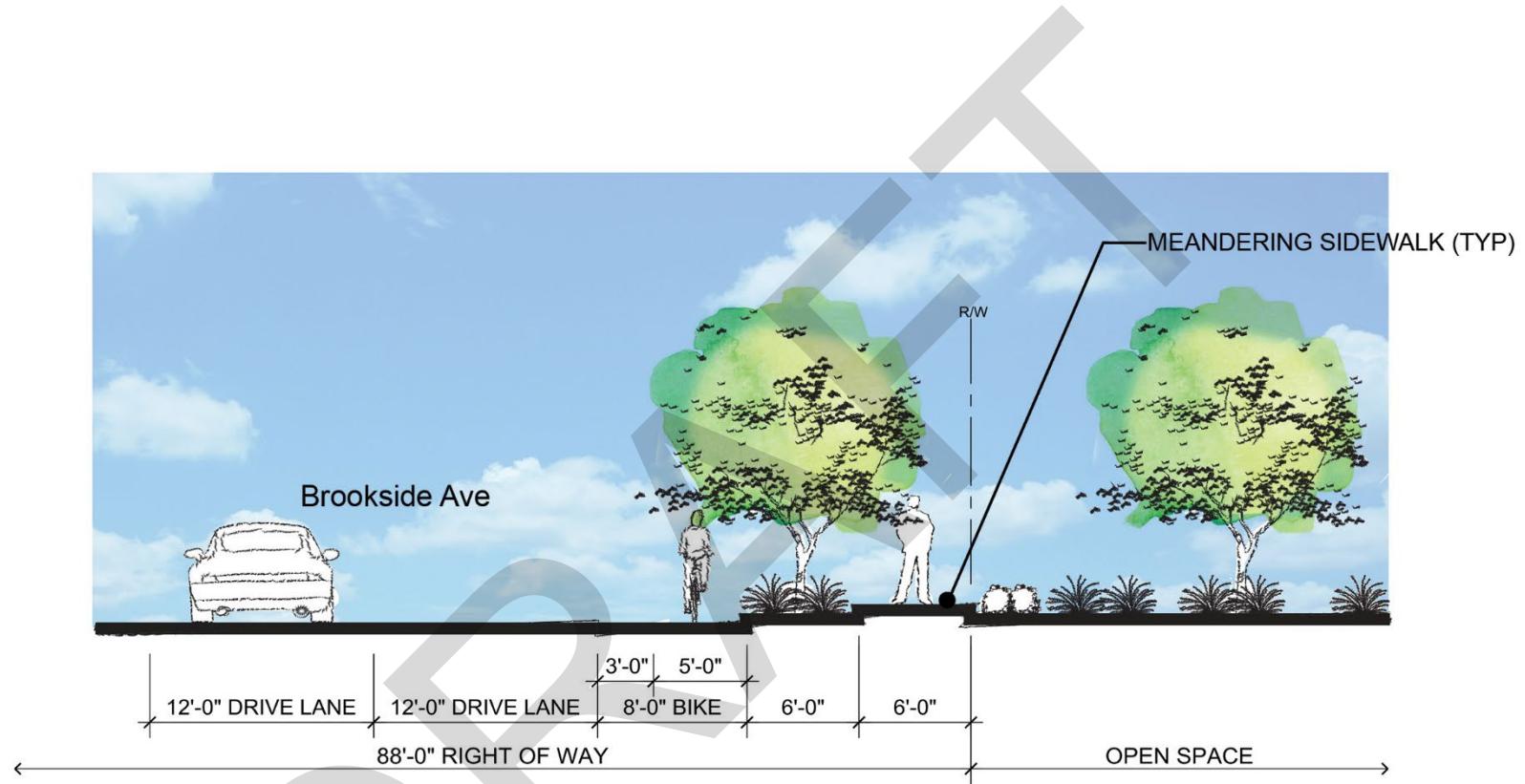


Figure 4-8 Streetscape – Brookside Avenue

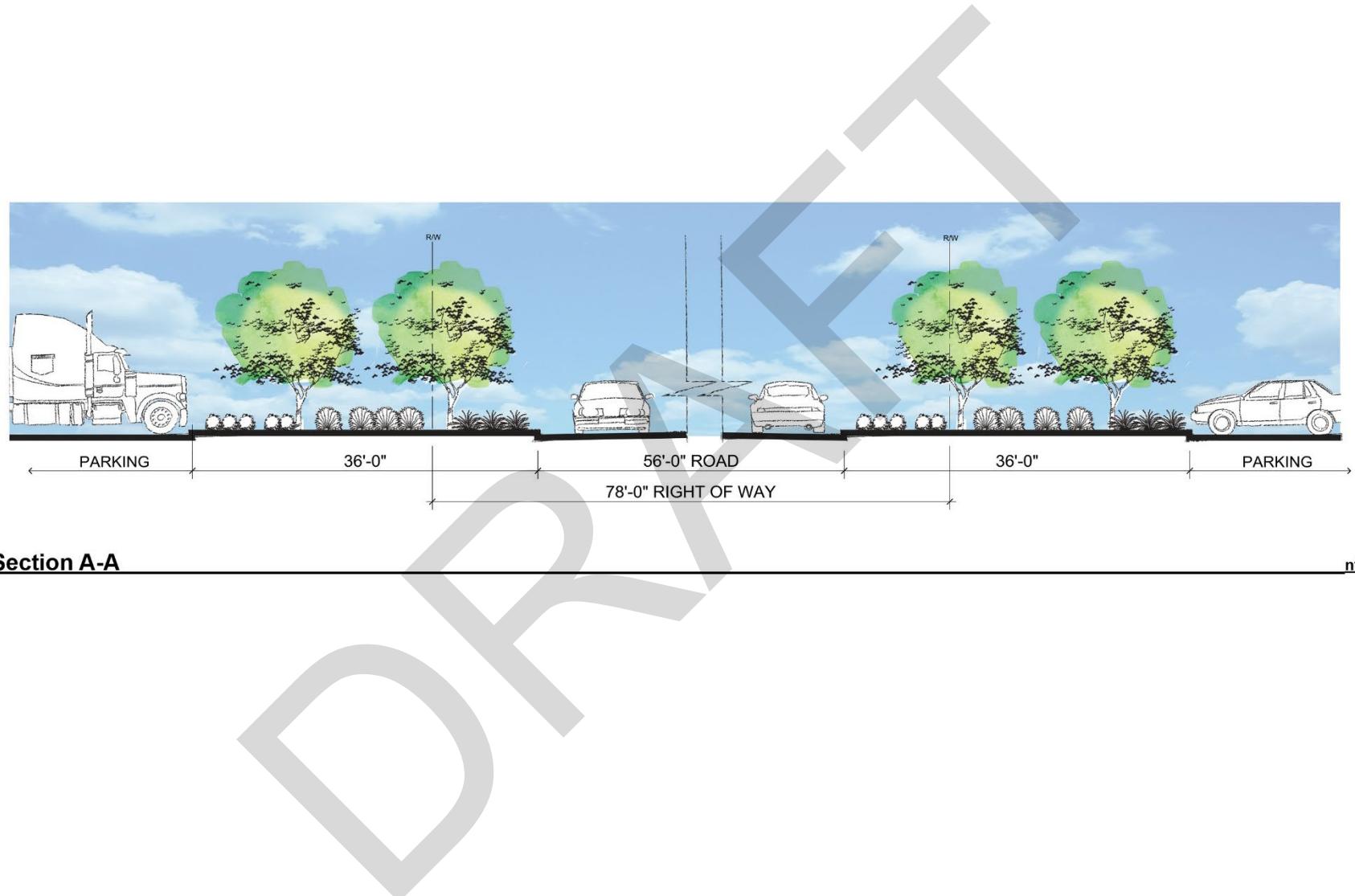
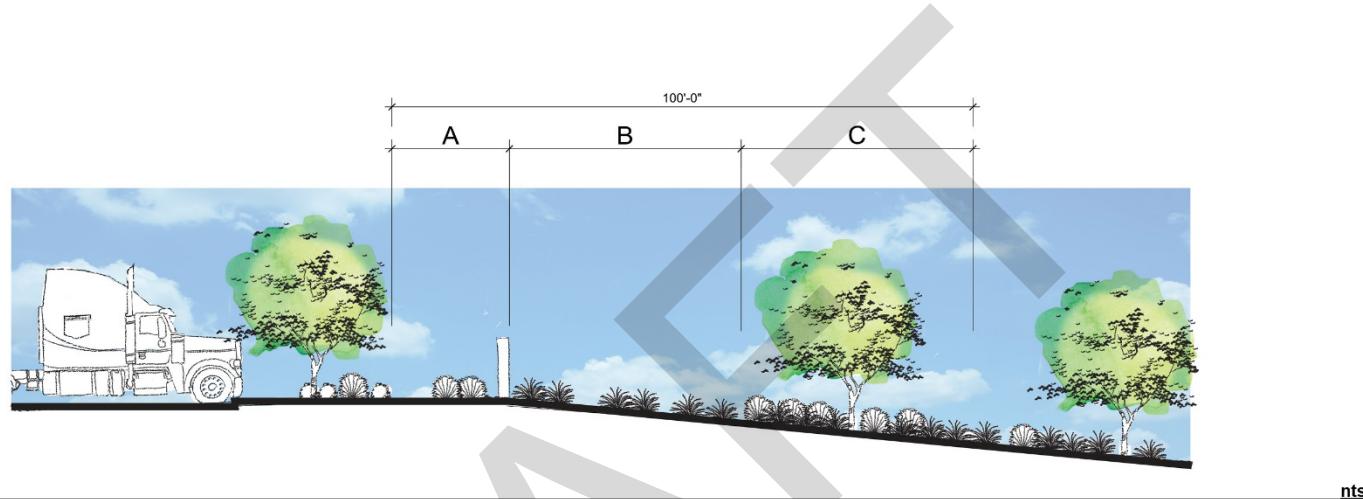


Figure 4-9 Streetscape -Public Entry Drive

4.0 | DESIGN GUIDELINES



Section D-D

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Zone A (Irrigated Setback Zone)

Zone A shall be a permanently irrigated area installed by each individual private lot owner that is between a 20' setback from 'rear of house' to the edge of the pad. Zone A shall contain no buildings or other combustible construction that provides a means for transmitting fire to the structures. Structures such as hardscape, fences, walls and non-habitable gazebos that are located within this zone shall be constructed of non-combustable materials.

Plants within Zone A shall be primarily low growing and less than 4' in height with the exception of trees. Plants shall be low-fuel and fire resistive. Trees within Zone A shall be located away from structures to a minimum distance of 10 feet as measured from the structure to the drip line of the tree at maturity. Zone A shall be maintained by the individual parcel owner on a regular basis by pruning and thinning plants controlling weeds and maintaining irrigation systems.

Zone B (Irrigated Setback Zone)

Zone B shall be a permanently irrigated area installed by the developer after rough grading is completed. Zone B shall contain no buildings or other combustible construction that provides a means for transmitting fire to the structures. structures such as hardscape, fences, walls and non-habitable gazebos that are located within this zone shall be constructed of non-combustable materials.

Plants within Zone B shall be primarily low growing and less than 4' in height with the exception of trees. Plants shall be low-fuel and fire resistive. Trees within Zone B shall be located away from structures to a minimum distance of 10 feet as measured from the structure to the drip line of the tree at maturity. Zone B shall be maintained by the individual parcel owner on a regular basis by pruning and thinning plants controlling weeds and maintaining irrigation systems.

Zone C (Non-Irrigated Setback Zone)

All dead and excessively twiggy growth shall be removed. After pruning large trees and shrubs low growing plants shall be separated by a distance three times their height from large plants. Trees and large shrubs shall be pruned to provide clearance of three times the height of the understory plant material (or 6', whichever is higher).

Debris and trimmings produced by thinning shall be removed from the site, or if left, shall be converted to mulch, and dispersed non-irrigated to a depth of 6" No native plants shall be cut below 6'. Individual non-irrigated groupings of plants over 18' in height may be retained provided they do not exceed 400 square feet in area and their combined coverage does not exceed 30% of the total Zone B area.

Note: Maintenance for all private property areas, including irrigated setback zones, are the responsibility of the owner and/or tenant of each individual parcel.

Figure 4-10 Fuel Modification

4.6.6 Service Areas and Utility Placement and Screening

Service areas and above-ground equipment such as air conditioners, trash enclosures, and electrical vaults are understood to be a requirement of development. Their screening treatment is important to the overall quality of the Summit Station.

A. Mechanical Equipment

- All equipment shall be internal to buildings to the greatest extent possible. When unfeasible, all such equipment shall be screened and not prominently visible from public rights-of-way. Electrical rooms should be planned in an inconspicuous location with smooth access doors painted to match the building field color. Underground service must be provided.
- Roof-mounted mechanical equipment (excluding solar panels, solar films, and small-scale wind turbines) shall be screened from views from streets, walkways, common areas, and open space areas with parapets and other architectural features that are compatible with the architectural style and character of the building.
- Equipment should be located to maximize energy efficiency, such as locating cooling equipment in shaded areas that are protected from the hot sun, thus reducing energy needs.
- Storage and equipment areas shall be screened from publicly accessible spaces. Landscaping and/or architectural enclosures can be used to screen these areas.
- Ground-mounted mechanical equipment shall be located behind walls/fences, inside utility cabinets, and/or behind landscaping to screen this equipment from streets,

walkways, and common areas. Items to be screened include, but are not limited to, power transformers, electrical equipment, backflow preventers, antennas, HVAC (heating, ventilation, and air conditioning) equipment, and other similar mechanical equipment and utilities.

- Energy and water-efficient appliances, fixtures, lighting, and windows shall meet or exceed state energy performance standards. Energy Star qualified (or equivalent) models of mechanical equipment are strongly encouraged.

B. Loading/Unloading Areas

- Service areas, such as loading docks, utility areas, and back of house entrances should be visually screened with landscaping or vertical hardscape elements or incorporated within the shell of the building.
- Service and loading areas should be located to the rear of the buildings or in the interior of a multiple building complex.
- Loading and unloading zones should provide adequate space for maneuvering into and out of a loading position. These areas should be designed to integrate with the entire development and signed appropriately to minimize use by other vehicles.

C. Trash Enclosures

- Trash enclosures must be screened by a solid wall or fence a minimum of six feet in height with a solid latching gate with landscaped buffers, located so that doors do not interfere with landscaping and pedestrian and vehicular circulation. Color shall complement adjacent buildings and landscaping.

4.0 | DESIGN GUIDELINES

- Trash enclosures can have openings but must be covered from above.



4.6.7 Landscape Standards

1. Parking lots shall have 30 percent shade coverage in 30 years.
2. 15 percent of parking shall be landscaped with a mixture of trees, shrubs, vines, groundcovers, 30 percent of which must be interior of the parking lot and 70 percent perimeter.

4.6.8 Plant Materials

The plant palette for the Summit Station Specific Plan area is comprised of a variety of street trees, accent trees, shrubs, grasses, succulents, and groundcovers. Plants included within the preliminary plant list were selected for their unique aesthetic qualities as well as their drought-tolerant characteristics.

Figure 4-5 Preliminary Plant Palette, provides a preliminary list of approved plant material for use within the Specific Plan area. This list is not intended to be exhaustive and additional plant material that is similar in size, form, color, and water need requirements may be substituted provided that they complement the overall design theme of Summit Station.

4.7 Walls and Fences

All walls should adhere to the following guidelines.

- Walls at loading areas shall be at least six feet in height, or as approved by the City to screen loading activities from off-site views from the adjacent public right-of-way.



- Landscaping shall be used in combination with walls and fences to visually soften blank surfaces and to deter graffiti.
- Chain link fencing is prohibited as a permanent fencing type.

- Wall materials shall be masonry with graffiti coating, tubular steel painted black, or combination wall/fences.
- Long stretches of wall (in excess of 100 feet) shall be broken by pilasters or columns of a similar material that complements the wall, spaced up to 50 feet on center.



4.8 Lighting and Security

Lighting will use high-efficiency technologies, dark-sky cutoffs, strategic orientation to avoid spillover into adjacent properties, and open space areas, and appropriate shielding or recesses to minimize glare and reflections. Street and parking lot lighting will meet City standards.

- Exterior lighting should be unobtrusive and not cause glare or spillover into neighboring properties, especially when within 100 feet of I-10. Lighting fixtures must be fully shielded to direct illumination downward to minimize light pollution impacts.
- Adequate lighting should be provided throughout the site to create an inviting and non-threatening environment. Night lighting of public spaces should be kept to the minimum necessary for safety and security purposes while minimizing glare.
- The scale, materials, colors, and design detail of on-site light posts and fixtures should reflect the desired character of the

Specific Plan area and the architectural style of the surrounding buildings.

- Light posts should be appropriately scaled to pedestrians near sidewalks and other areas of pedestrian circulation.
- Extremely tall light posts and fixtures should be avoided. Light posts standards will meet the current requirement within the City's applicable code section.
- Bollard lighting is encouraged to illuminate walkways without providing spillover.
- Lighting fixtures should be compatible with the architectural style and character of the building. The color, size, placement, and number of fixtures should enhance the overall design and character of the building and site.
- Energy efficient, low voltage lighting is strongly encouraged. Decorative lighting should be low intensity. LED lighting is also allowed.
- If security lighting is required, fixtures should be hooded, recessed, and/or located in such a manner to only illuminate the intended area.
- Addresses should be visible from streets and illuminated at night.

Security Cameras

- The location, style, and mounting of security cameras must be integrated with the building architecture. Any roof-mounted security camera must be below the top of the building parapet and screened from view from the ground. The color of the camera housing must match the color of the poles or the building wall.

4.0 | DESIGN GUIDELINES

- Cameras may be mounted on poles in parking lot, suspended from soffits, or mounted on building walls with the top of the camera below the top of the parapet. Cameras mounted on the parapet are permitted but not encouraged.
- The following are not permitted:
 - Exposed wires;



5.0 ADMINISTRATION AND IMPLEMENTATION

This section of the Specific Plan describes the development review procedures of the City and other relevant permitting agencies applicable to the Specific Plan area. Implementation of the proposed land uses, including Specific Plan adoption, subsequent approvals and plans, and phasing are outlined in this chapter. Additionally, financing sources and maintenance responsibilities are identified.

5.1 Administration

The California Government Code (Title 7, Division 1, Chapter 3, Article 8, Sections 65450 et seq.) grants authority to cities to adopt Specific Plans for purposes of implementing the goals and policies of a City's General Plan. As with general plans, the Planning Commission must hold a public hearing to consider and provide a recommendation on the Specific Plan to the City Council, which is the ultimate approval body.

5.1.1 Responsibility

The City of Beaumont's Planning Department, its Director/Manager or their designee shall be responsible for administering the provisions of the Specific Plan in accordance with the provisions of this Specific Plan document, all governing and applicable state and federal laws, the City of Beaumont's General Plan, including all amendments or updates thereto, and the City of Beaumont's Municipal Code.

5.1.2 Applicability

All development in the Summit Station Specific Plan area shall comply with the requirements and standards set forth in this Specific Plan document and the accompanying EIR, conditions of approval, and Mitigation Monitoring and Reporting Program (MMRP). Where conflicts exist between the standards contained in this Specific Plan

and those found in the City of Beaumont Zoning Ordinance or Municipal Code, the regulations and standards in the Specific Plan shall take precedence. Any area of site development, administration, review procedures, environmental review, landscaping requirements, and regulations not expressly addressed by this Specific Plan shall be subject to the provisions of the Zoning Code, Municipal Code or General Plan, using the context and objectives of the Specific Plan as a guide.

The name "Beaumont Summit Station Specific Plan" or "Summit Station Specific Plan" refers to this Specific Plan document and its supporting information. The final marketing name of the Project may differ and will be determined by the Project's Master Developer or an implementing builder.

5.1.3 Enforcement and Interpretation

The City shall enforce the provisions of the Specific Plan in the same manner that it enforces the provisions of the General Plan and Zoning Code.

Whenever in this Specific Plan any act is prohibited or is made or declared to be unlawful, or the doing of any acts required, or the failure to do any act is determined to be unlawful, the City of Beaumont retains its authority under the Municipal Code to enforce such violation or offense.

5.1.4 Severability

If any section, subsection sentence, clause, or phrase of this Specific Plan, or future amendments or additions hereto, is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this plan.

5.0 | ADMINISTRATION AND IMPLEMENTATION

5.1.5 Initial Entitlements

Initial entitlements required for development of the Specific Plan area include the following actions to be taken by the City:

- Environmental Impact Report (EIR) – The Summit Station Specific Plan is a discretionary project and is subject to the requirements of the California Environmental Quality Act (CEQA). As part of the approval process for the Specific Plan, an EIR must be considered and certified by the City Council prior to approval of any of the project-related entitlements.
- General Plan Amendment – The Project site is presently designated as “Single Family Residential” by the General Plan. A General Plan Amendment would change the property’s land use designation from Single Family Residential to Industrial, General Commercial, and Open Space. The proposed land use designations would be consistent with the proposed e-commerce center, commercial area, and open space uses.
- Specific Plan – The Project site is presently zoned Specific Plan, specifically the Sunny-Cal Specific Plan. The Summit Station Specific Plan is a standalone specific plan document that will replace the existing Sunny-Cal Specific Plan. The Summit Station Specific Plan establishes the zoning, land use designations, development standards, and design guidelines for the entire Specific Plan project area. The Specific Plan will implement the City’s General Plan as amended. The Specific Plan will be considered by the Planning Commission and City Council and will be adopted by Ordinance and will become the zoning for the Project.
- Subdivision Map – The Subdivision Map is a basic tool for implementation of a Specific Plan. The Project’s Tentative Parcel Map (TPM) will create the individual legal lots for Project development, formalize the parcel boundaries, and provide for public rights-of-way for Project access. The Project will include a TPM to create five legal lots and will be considered by the City concurrently with the review of this Specific Plan. The TPM will be considered by the Planning Commission and City Council and will be adopted by Resolution.
- Site Development Plan/Site Plan – A site development plan for the project, consisting of an e-commerce project with three proposed structures, parking, landscaping, drainage facilities, and new driveways. Site Plans are subject to review and approval of the Planning Commission.
- Statutory Development Agreement – A statutory development agreement, authorized pursuant to California Government Code Section 65864 et seq., may be processed concurrently with the approval of this Specific Plan. The development agreement will include, among other items, the term of entitlements and any provisions for off-site improvements if applicable.

5.1.6 Minor Modifications/Substantial Conformance

Final development plans for each parcel of the Project may be adjusted or modified based on final design and engineering and the precise development plans of the planning area builder. “Substantial Conformance” is a mechanism to allow the approval of minor modifications for development under the Specific Plan.

5.0 | ADMINISTRATION AND IMPLEMENTATION

Written documentation requesting a proposed minor modification to support an implementing map, site plan, or use permit must be submitted for the review and approval of the Planning Department, its Director or their designee.

Minor Modifications under Substantial Conformance Determination

The Community Development Director or his/her designee shall have the authority to approve minor adjustments or modifications, as defined herein, which substantially conform to the approved Specific Plan through an administrative Substantial Conformance review process, so long as those minor modification and adjustments are consistent with the intent of the Specific Plan.

Minor modifications may be warranted to accommodate changes resulting from final design and engineering that cause adjustments in roadway alignments, location of utilities or other infrastructure, development of innovative product design, distribution of permitted uses within the Specific Plan area, development of builder-level design guidelines, density transfers or other similar modifications deemed to be minor. Minor modifications or technical adjustments may include, but are not limited to the following:

- Inclusion of land uses not specified in Section 3, *Development Regulations* but similar in intent and character subject to interpretation by the Community Development Director as specified in Section 5.1.3 above.
- Modifications necessary to comply with final Conditions of Approval or mitigation measures when adopted under subsequent actions.
- Addition of information to the Specific Plan (including maps or text) for purposes of clarification that does not change the

intent of any plan or regulation, as well as correction of any clerical or grammatical errors.

- Adjustments to the alignment, location, and sizing of utilities and facilities or a change in utility and/or public service provider may be approved by the City's Building and Safety Department or Public Works Department so long as the adjustments or changes are found to be in compliance with applicable plans and standards of the agency responsible for such utilities and facilities and do not result in new significant environmental impacts.
- Change in roadway alignment, width, or improvements through the final engineering improvement plan process so long as minimum rights-of-way meet the standards outlined in the Specific Plan.
- Minor adjustments of any planning area boundary (less than 10%).
- Minor adjustments to any of the development standards or regulations per the requirements in Section 3.1.6 such as modification of wall heights for noise attenuation purposes, modification of allowable encroachments into setbacks, etc. that are specifically allowed under the Development Regulations of this Specific Plan.
- Minor changes to the architectural or landscape design guidelines, which guidelines are intended to be conceptual in nature and flexible in implementation.
- Modification of any design element in this Specific Plan that improves circulation, reduces grading, improves drainage, improves infrastructure, or provides similar utility and

5.0 | ADMINISTRATION AND IMPLEMENTATION

reduces operations and maintenance costs or improves the level of sustainability.

Table 5-1 Review Authority	
Review Authority	Permit or Approval Type
Director	Administrative Plot Plan Review ¹
	Minor Modifications per Section 5.1.6
Public Works	Lot Line Adjustment and Parcel Merger
Planning Commission	Conditional Use Permit ²
	Plot Plan
	Variances ³
	Appeals of Staff Decisions
	Sign Programs
City Council ⁴	Specific Plan adoption and amendments
	General Plan Amendment
	Tentative Tract Map/Tentative Parcel Map
	Code Amendments
	Appeals

1. For applications consistent with the Specific Plan/s land uses and in substantial conformance development standards, applications for new development are to be approved through a Plot Plan and potentially a Conditional Use Permit depending on the use. A Plot Plan for the Project is anticipated to be considered by City Council concurrent with this Specific Plan.
2. For Uses identified with a "C" in Section 3 of this Specific Plan.
3. For requests that exceed the provisions of Section 3 of this Specific Plan.
4. City Council actions are preceded by a Planning Commission recommendation.

The minor modifications described and listed above are not comprehensive. Any modification that is deemed by the Community

Development Director to be in substantial conformance with the purpose and intent of the Specific Plan shall be permitted.

The documentation of substantial conformance may include text and/or maps which describe the nature of all proposed modifications or adjustments to the Specific Plan. This application of substantial conformance with the adopted Specific Plan shall undergo any necessary technical review by City agencies as the Community Development Director or his/her designee deems necessary.

A Substantial Conformance Determination shall not include significant modifications in the basic design of the Specific Plan area including any increase in the allowable developable areas within the project area.

Action

No public hearing shall be required for a finding of Substantial Conformance. The Community Development Director or designee shall be the review and approval authority for a finding of Substantial Conformance. The Director's findings shall be provided by written notice to the Applicant approving, conditionally approving, or denying the determination of Substantial Conformance. The Director's decision shall be final, subject to the appeal procedures established by the Beaumont Municipal Code Section 17.02.030.

Findings

The following findings shall be required for a Substantial Conformance Determination:

- The modifications are consistent with the goals and intent of the Specific Plan;

5.0 | ADMINISTRATION AND IMPLEMENTATION

- The physical characteristics of the site have been adequately assessed, and proposed building sites are of adequate size and shape to accommodate proposed uses and all other features of development;
- There is supporting infrastructure, existing or available, consistent with the requirements of the Specific Plan, to accommodate the development without significantly lowering service levels; and
- The development resulting from the Substantial Conformance Determination will not have a substantial adverse effect on surrounding property or the permitted use thereof and will be compatible with the existing and planned land uses, as well as the character of the surrounding area.

5.1.7 Specific Plan Amendments

Substantial modifications to the Specific Plan would require an amendment. A minor modification or adjustment to the Summit Station Specific Plan listed in the section above would not require a Specific Plan Amendment.

An amendment to the Specific Plan is required if the following occur:

- Changes to the overall Specific Plan boundaries to include ownerships or properties not included in the Specific Plan at the time of approval (changes to Planning Area boundaries within the Specific Plan boundaries are deemed minor as noted above and would not require an amendment);
- Any increase in the overall development thresholds within the Specific Plan; or

- Any addition of new land uses not contemplated by the Specific Plan's Development Regulations.

5.1.8 Appeals

An appeal of any determination, decision, or requirement of City staff or Planning Commission shall be made in conformance to the appeal procedures established by the Beaumont Municipal Code Section 17.02.030.

5.2 Implementation

This Implementation Program is established to meet the goals of the Project. This program contains a number of legal, procedural, and administrative elements. The purpose of this section is to familiarize subsequent landowners, developers, public agencies, and decision-makers, as well as interested citizens, with the goals and intentions of the Summit Station Specific Plan. The Implementation Program summarizes the requirements listed in this section for the all development within the Specific Plan. The purpose of this section is to provide an outline of the steps necessary to implement the Summit Station Specific Plan and applicable conditions, mitigation measures, and regulations in coordination with the City of Beaumont and other governing public agencies. This section is intended to address each of these elements for the benefit of the future developers and builders, the City of Beaumont, and other approving agencies, and interested residents. The approval of this Specific Plan, certification of the Specific Plan EIR, and adoption of the MMRP will assure that timely mitigation and Project impacts take place at the appropriate milestones and in accordance with Project implementation.

5.0 | ADMINISTRATION AND IMPLEMENTATION

5.2.1 Adoption

The Summit Station Specific Plan has been prepared, submitted, and approved in a manner consistent with California Government Code Section 65451(a). The Specific Plan shall be adopted by ordinance and shall serve as the zoning for the Specific Plan area. The approved Specific Plan project site will continue to be designated on the City's Zoning Map Specific Plan. The land use and development standards identified in this Specific Plan document supersede all zoning regulations to the extent that they would be in conflict with the sections of this Specific Plan.

5.2.2 Phasing

Construction of the Project, including recordation of final subdivision map(s), and design review may be progressively implemented in stages, provided that vehicular access, public facilities, and infrastructure are constructed to adequately service the development, or as needed for public health and safety.

The Project will be phased to:

- Provide for the orderly build-out of the Commerce Center based upon market demand;
- Provide adequate infrastructure to serve the Project;
- Phases may occur concurrently so long as the associated infrastructure is provided.

5.2.3 Financing

All backbone improvements (i.e., roadways, utilities, open space) shall be constructed with private financing.

Builders may enter into an internal, private cost-sharing agreement specifying terms of financing for construction of improvements,

establishment of rights-of-way and any easements for improvements, and establishment of the basis and terms for cost sharing and reimbursement among owners.

Portions of the Specific Plan area may be sold to other builders to develop specific aspects or portions of the Specific Plan area (e.g., the individual lots, hotel, commercial uses). Sold portions would require a partial assignment and assumption of the development agreement for new owners. All infrastructure, services, facilities, and amenities shall be the responsibility of the developer for that particular portion as determined through the Tentative Map for plot plan process. It is anticipated that these would be constructed with private financing.

5.2.4 Maintenance and Ownership

Maintenance of private parking area aisles, parking area circulation, and common landscape areas will be the responsibility of a commercial association to be formed within the Specific Plan area. The maintenance association(s) shall be responsible for private driveways, parking, open space areas, signage, landscaping, irrigation, common areas, on-site sewers, storm drains, Best Management Practices (BMPs), and other responsibilities as necessary. Generally, facilities dedicated to public agencies will be maintained by that agency, while private facilities will be maintained by property owners or a maintenance district.

Table 5-3, *Financing, Ownership, and Maintenance* outlines the anticipated program.

5.0 | ADMINISTRATION AND IMPLEMENTATION

Table 5-3 Financing, Ownership, and Maintenance			
Improvement	Financing	Ownership	Maintenance
Water System	Developer	Water District	Water District
Sewer System	Developer	Private/Public	Private/City
Drainage System -Backbone -BMPs	Developer Developer	Private/Public Private	Private/City Private
Street Improvements Cherry Valley Blvd Brookside Ave, entry drives	Developer	City	City
Private Internal circulation	Developer	Private	Private
Landscaping -Public Right-of-Way -Common -Private plantings	Developer Developer Developer	City Private Private	City Private Private
Open Space (PA 3)	Developer (permits)	Private ¹	Private

5.2.5 Agency Permitting

Assuming concurrence with the proposed jurisdictional delineation findings, the existing stream courses in Planning Area 1 and Planning Area 3 would not be waters of the U.S. under U.S. Army Corps of Engineers (Corps) jurisdiction and thus no permitting from the Corps would be required for project impacts. However, the existing stream courses in Planning Area 1 and Planning Area 3 would be waters of the State under Regional Water Quality Control Board (RWQCB) jurisdiction and streambed and associated riparian habitat under

California Department of Fish and Wildlife (CDFW) jurisdiction. Any impacts to RWQCB- and CDFW-jurisdictional stream courses (assuming agency concurrence) within Planning Area 1 and Planning Area 3 from grading for Planning Area 1 will require Waste Discharge Requirements (WDR) per RWQCB and a Streambed Alteration Agreement per CDFW, depending upon the amount of area impacted. Such permits are required prior to grading or other activities that would impact a jurisdictional stream course. Ultimate ownership and maintenance of Planning Area 3 will be determined during environmental review and/or permit processing and may be private or dedicated to an established conservation group.

5.3 Relationship to CEQA

The California Environmental Quality Act (CEQA) classifies a specific plan as a “project” which is subject to environmental review. An Environmental Impact Report (EIR) is required prior to adoption of this Specific Plan to analyze potentially significant environmental impacts of the Project, discuss feasible alternatives, and recommend feasible mitigation measures in compliance with the provisions of CEQA. This EIR will analyze the entire Specific Plan and address potential impacts associated with the development of the Specific Plan area. The EIR includes recommended mitigation measures and analyzes implementing actions for the development. The EIR will fulfill the requirements for environmental documentation for most subsequent discretionary and ministerial applications for development within the Specific Plan area.

The MMRP shall ensure that the Specific Plan complies with all applicable environmental mitigation and permit requirements. The final MMRP shall be adopted with EIR certification.

¹ Ownership of the passive open space may be private or a conservation agency.

APPENDIX A | LEGAL DESCRIPTION

APPENDIX A Legal Description

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF BEAUMONT, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1: APN 407-190-016

THE WESTERLY 208.71 FEET OF THE NORTHERLY 1,073.55 FEET OF THE SOUTH HALF OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, ACCORDING TO THE OFFICIAL PLAT THEREOF.

EXCEPTING THEREFROM THE NORTHERLY 30 FEET IN WOODLAND AVENUE, NOW CHERRY VALLEY BOULEVARD.

ALSO EXCEPTING THAT PORTION CONVEYED TO THE COUNTY OF RIVERSIDE BY DEED RECORDED NOVEMBER 14, 1974 AS INSTRUMENT NO. 146636.

PARCEL 2: APN 407-190-017

PARCEL 2A:

THAT PORTION OF THE SOUTH HALF OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, ACCORDING TO THE OFFICIAL PLAT THEREOF, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID SOUTH HALF OF SECTION 29, SAID POINT BEING ALSO A POINT IN THE CENTER OF WOODLAND AVENUE;

THENCE NORTH 89° 33' 30" EAST ON THE CENTER LINE OF WOODLAND AVENUE, 786.12 FEET, MORE OR LESS, TO A POINT DISTANT SOUTH 89° 33' 30" WEST, 791 FEET, FROM THE NORTHWEST CORNER OF THAT CERTAIN PARCEL OF LAND CONVEYED TO J. VINCENT HANNON AND JEREMIAH C. HANNON BY DEED RECORDED JANUARY 28, 1909 IN BOOK 276, PAGE 324 OF DEEDS, RIVERSIDE COUNTY RECORDS;

THENCE SOUTH 0° 28' 50" WEST AND PARALLEL WITH THE WESTERLY LINE OF SAID PARCEL CONVEYED TO HANNON, 1975 FEET TO A POINT ON THE NORTHERLY LINE OF THAT CERTAIN PARCEL CONVEYED TO MELVIN F. KLAGUOS AND PAULINE M. KLAGUOS, HUSBAND AND WIFE BY DEED RECORDED AUGUST 4, 1959 AS INSTRUMENT NO. 67500;

THENCE WESTERLY ON THE NORTHERLY LINE OF SAID PARCEL CONVEYED TO KLAGUOS TO A POINT IN THE WEST LINE OF SAID SECTION 29;

APPENDIX A | LEGAL DESCRIPTION

THENCE NORTH 0° 07' 40" EAST ON THE WEST LINE OF SAID SECTION 29, TO THE POINT OF BEGINNING; EXCEPTING THEREFROM THE WESTERLY 208.71 FEET OF THE NORTHERLY 1,073.55 FEET;

ALSO EXCEPTING THEREFROM THE NORTHERLY 30 FEET IN WOODLAND AVENUE, NOW CHERRY VALLEY BOULEVARD.

ALSO EXCEPTING THAT PORTION CONVEYED TO THE COUNTY OF RIVERSIDE BY DEED RECORDED NOVEMBER 14, 1974 AS INSTRUMENT NO. 146646.

PARCEL 2B:

THAT PORTION OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, ACCORDING TO THE OFFICIAL PLAT THEREOF, DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE NORTHERLY LINE OF SAID SOUTHWEST QUARTER DISTANT SOUTH 89° 33' 30" WEST, 791 FEET FROM THE NORTHWEST CORNER OF THAT CERTAIN PARCEL OF LAND CONVEYED TO J. VINCENT HANNAN BY DEED RECORDED JANUARY 28, 1909 IN BOOK 276, PAGE 324 OF DEEDS, RIVERSIDE COUNTY RECORDS; SAID POINT ALSO BEING DISTANT NORTH 89° 33' 30" EAST 786.12 FEET FROM THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION;

THENCE SOUTH 0° 28' 50" WEST, PARALLEL WITH THE WEST LINE OF THE PARCEL CONVEYED TO J. VINCENT HANNON 313.5 FEET TO THE TRUE POINT OF BEGINNING;

THENCE EASTERLY ON SAID SOUTHERLY LINE OF THE PARCEL CONVEYED TO GEORGEOUS GEORGE AND ELIZABETH B. GEORGE, BY DEED FILED FOR RECORD AUGUST 21, 1952 AS INSTRUMENT NO. 35786, IN BOOK 1394 PAGE 352 OFFICIAL RECORDS, 11 FEET;

THENCE SOUTHERLY 1, 221.5 FEET TO A POINT ON THE SOUTHERLY LINE OF THAT CERTAIN PARCEL CONVEYED TO FRANK J. FABIAN AND MARY R. FABIAN BY DEED RECORDED NOVEMBER 4, 1939 IN BOOK 434, PAGE 587 OF OFFICIAL RECORDS, RIVERSIDE COUNTY RECORDS, 20.5 FEET OF THE SOUTHWEST CORNER OF SAID PARCEL SO CONVEYED TO FRANK J. FABIAN AND WIFE;

THENCE WEST ON SAID SOUTH LINE 20.5 FEET;

THENCE NORTH 1,221.5 FEET TO THE POINT OF BEGINNING.

PARCEL 2C:

THAT PORTION OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 2 SOUTH, RANGE 1 WEST, SAN BERNARDINO MERIDIAN, ACCORDING TO THE OFFICIAL PLAT THEREOF, DESCRIBED AS FOLLOWS:

APPENDIX A | LEGAL DESCRIPTION

BEGINNING AT A POINT ON THE NORTH LINE OF SAID SOUTHWEST QUARTER DISTANT SOUTH 89° 33' 30" WEST, 791 FEET FROM THE NORTHWEST CORNER OF THAT CERTAIN

PARCEL CONVEYED TO J. VINCENT HANNON BY DEED RECORDED JANUARY 28, 1909 IN BOOK 276, PAGE 324 OF DEEDS, RIVERSIDE COUNTY RECORDS; SAID POINT ALSO BEING DISTANT NORTH 89° 33' 30" EAST 786.12 FEET FROM THE NORTHWEST CORNER OF SAID SOUTHWEST QUARTER;

THENCE SOUTH 0° 28' 50" WEST, PARALLEL WITH THE WEST LINE OF THE PARCEL CONVEYED TO J. VINCENT HANNON 313.4 FEET;

THENCE NORTH 89° 33' 30" EAST, 30 FEET;

THENCE NORTH 0° 28' 50" EAST, 313.4 FEET, TO THE NORTH LINE OF SAID SOUTHWEST QUARTER;

THENCE SOUTH 89° 33' 30" WEST, 30 FEET TO THE POINT OF BEGINNING;

EXCEPTING THEREFROM THE NORTH 30 FEET IN WOODLAND AVENUE, NOW CHERRY VALLEY BOULEVARD.

ALSO EXCEPTING THAT PORTION CONVEYED TO THE COUNTY OF RIVERSIDE BY DEED RECORDED NOVEMBER 14, 1974 AS INSTRUMENT NO. 146646.

PARCEL 3: APNS: 407-230-022, 407-230-023, 407-230-024, 407-230-025, 407-230-026, 407-230-027 AND 407-230-028

PARCELS 1 TO 7, INCLUSIVE, AND LOTS A TO K, INCLUSIVE OF PARCEL MAP NO. 12218, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN PARCEL MAP BOOK 85, PAGE 66 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APPENDIX B | GENERAL PLAN CONFORMANCE

APPENDIX B Beaumont Summit Station Specific Plan – General Plan Consistency Table

General Plan Goal/Policy		Consistency
Land Use + Community Design		
Non-Residential Uses		
Goal 3.4	<i>A City that maintains and expands its commercial, industrial, and other employment-generating land uses.</i>	The Specific Plan encompasses approximately 188 gross acres and allows for up to 2,707,465 square feet of mixed commercial, warehouse/e-commerce, and office uses. The Specific Plan includes approximately 30.2 acres of passive open space. The project would facilitate development of underutilized land. The underutilized land is currently planned for residential uses. This project would maximize the underutilized land by using the site as a large format e-commerce center. This e-commerce center would consist of one or more buildings with a total e-commerce building space in excess of 2,557,465 square feet in size, responding to market demand.
Policy 3.4.6	<i>Continue to promote the maintenance and preservation of industrial activities and businesses that contribute to the City's economic and employment base.</i>	The project would facilitate the development of underutilized land with uses that would maximize the use of the site through mixed usage. The project would bring industrial, commercial, and open space uses. The Specific Plan would encompass approximately gross 188 acres and allows for up to 2,707,465 square feet of mixed commercial, warehouse/e-commerce, and office uses. The project also would include 30.2 acres designated for natural open space. This project would contribute to the local economy through new capital investment, creation of new employment opportunities, and expansion of the tax base.
Policy 3.4.7	<i>Encourage the continued expansion of the City's industrial districts to accommodate economic development and growth.</i>	The project would expand the City's industrial districts by maximizing the site's use as an e-commerce center consisting of one or more buildings with total e-commerce building space in excess of 2,557,465 square feet in size, responding to market demand. The project would accommodate economic development and growth through the expansion of new employment opportunities and the continued expansion of the City's industrial districts.

APPENDIX B | GENERAL PLAN CONFORMANCE

General Plan Goal/Policy		Consistency
<i>Policy 3.4.8</i>	<i>Where industrial uses are near existing and planned residential development, require that industrial projects be designed to limit the impact of truck traffic, air and noise pollution on sensitive receptors, especially in El Barrio.</i>	The proposed land use plan would avoid sensitive resources and place compatible land uses and facilities in an appropriate location. The project would also provide access patterns that minimize traffic conflicts. The development and operation of a large format logistics center in close proximity to the I-10 would limit truck traffic disruption to sensitive receptors within the surrounding regions.
Community Design + Public Realm		
<i>Goal 3.10</i>	<i>A City designed to improve the quality of the built and natural environments to reduce disparate health and environment impacts.</i>	<p>The project would incorporate appropriate buffers with the surrounding development through the use of landscaped setbacks, 30.2 acres of dedicated open space, and expanded parkways along portions of Cherry Boulevard and Brookside Avenue. The project's internal circulation would enable access between different land uses in the planning areas. Planning Area 1 would consist of e-commerce and office uses and Planning Area 2 would consist of commercial uses.</p> <p>Private drives measuring 56 feet would be designed as Industrial Collectors and have a right-of-way of 78 feet. Cherry Valley Boulevard and Brookside Avenue would be restricted access to provide better traffic flow. This internal circulation would allow for more efficient traffic flow. The restricted access and close proximity to the 1-10 would allow for truck routes to avoid sensitive land uses and to reduce disparate health and environment impacts.</p>
<i>Policy 3.10.4</i>	<i>Designate truck routes to avoid sensitive land uses, where feasible.</i>	<p>The project would develop internal circulation that enables access between the different land uses in the planning areas. Planning Area 1 would consist of e-commerce uses and Planning Area 2 would consist of commercial uses. Private drives measuring 56 feet would be designed as Industrial Collectors and have a right-of-way of 78 feet. Cherry Valley Boulevard and Brookside Avenue would be restricted access to provide better traffic flow. This internal circulation would allow for more efficient traffic flow. The restricted access and close proximity to the 1-10 would allow for truck routes to avoid sensitive land uses and to reduce disparate health and environment impacts.</p>

APPENDIX B | GENERAL PLAN CONFORMANCE

General Plan Goal/Policy	Consistency
Policy 3.10.7 <i>Support practices that promote low impact development, including water resilient communities, prevention of urban runoff, and mitigation of industrial pollution.</i>	<p>Project sewer infrastructure is proposed as a gravity system placed in the central public industrial collector and the central private drive and would connect with a proposed sewer line in Brookside Avenue. The drainage plan will collect stormwater through catch basins placed throughout the Specific Plan area. Stormwater will be discharged into a series of above and below-ground detention basins to reduce flows and to provide treatment prior to being discharged into the existing stream course in Planning Area 3. This project mitigation supports practices, such as the mitigation of industrial pollution and prevention of urban runoff. Mitigation measures may include, but are not limited to, on-site retention, covered storage of all outside storage facilities, vegetated swales, and monitoring programs.</p> <p>The proposed project infrastructure would include a gravity system that would connect to a proposed sewer line in Brookside Avenue. Catch basins would collect stormwater as noted in the proposed drainage plan. The stormwater would discharge into a series of above and below-ground detention basins to reduce runoff and to provide treatment to the stormwater prior to discharge into the existing course in Planning Area 3. To promote low impact development, project mitigation efforts may include, but are not limited to, on-site retention, covered storage of all storage facilities, vegetated swale, and monitoring programs.</p>
Open Space	

APPENDIX B | GENERAL PLAN CONFORMANCE

General Plan Goal/Policy		Consistency
Goal 3.11	<i>A City that maintains and enhances open space used for resource preservation and or recreation.</i>	The project includes 30.2 acres of open space in Planning Area 3, which would serve as a buffer between nearby lots and the industrial and commercial uses in Planning Area 1 and Planning Area 2. Planning Area 3 is designated as unimproved open space and would contain slopes and a natural drainage course traversing the property in a southeast to northwest direction. Land uses within Planning Area 3 may include natural open space, pedestrian trails, stream course and drainage facilities, public works/infrastructure facilities, fuel modification zones, habitat restoration, interpretive areas (including public information kiosks), and wireless communications facilities as provided in the Beaumont Ordinance.
<i>Policy 3.11.7</i>	<i>Preserve permanent open space edges or greenbelts that provide a buffer for separation between adjoining developments.</i>	The project includes 30.2 acres of open space in Planning Area 3 (along the southern property boundary adjacent to Brookside Avenue), which would serve as a buffer between nearby residential uses across Brookside Avenue and the industrial and commercial uses in Planning Area 1 and Planning Area 2. Planning Area 3 is designated as unimproved open space and would contain slopes and a natural drainage course traversing the property in a southeast to northwest direction. Land uses within Planning Area 3 may include natural open space, pedestrian trails, stream course and drainage facilities, public works/infrastructure facilities, fuel modification zones, habitat restoration, interpretive areas (including public information kiosks), and wireless communications facilities as provided in the Beaumont Ordinance.
Mobility		
Manage Traffic		
Goods Movement		
Goal 4.7	<i>An efficient goods movement system that ensures timely deliveries without</i>	Internal circulation consists of three public industrial collector roadways that would provide access to the E-commerce uses in Planning Area 1 and the commercial uses in Planning Area 2. Public roadways measuring 56 feet would be

APPENDIX B | GENERAL PLAN CONFORMANCE

General Plan Goal/Policy		Consistency
	<i>compromising quality of life, safety, or smooth traffic flow for Beaumont residents.</i>	designed as Industrial Collectors and have a right-of-way of 78 feet. Cherry Valley Boulevard and Brookside Avenue would be restricted access to provide better traffic flow. The project's internal circulation allows for efficient traffic flow. Driveway locations to commercial and e-commerce areas shall be approved at the tentative parcel map stage.
Economic Development + Fiscal		
Economic Development + Business Growth		
Goal 5.1	<i>A dynamic local economy that attracts diverse business and investment.</i>	The proposed project would provide a mixture of local and regionally serving E-commerce, office, and commercial uses across the Specific Plan area. The project adds jobs and commercial shopping opportunities to an area that is currently underdeveloped.
<i>Policy 5.1.1</i>	<i>Support economic growth that provides quality employment opportunities to balance Beaumont's jobs with its housing supply.</i>	The proposed project would introduce industrial e-commerce and commercial land uses to the City and provide additional employment opportunities that would balance the City's housing supply.
Goal 5.5	<i>A community with vibrant shopping areas.</i>	Planning Area 2 of the project proposes development of approximately 10.9 acres of commercial uses. Proposed uses include a mixture of general commercial, hotel, and food uses directly adjacent to Cherry Valley Boulevard within half a mile of existing residential uses.
Health + Environmental Justice		
Environmental Safety		
Goal 6.7	<i>A City that safely and systemically addresses toxics, legacy pollutants, and hazardous materials.</i>	A water supply assessment will be prepared as a part of the Specific Plan EIR. Sewer service will be provided by the City of Beaumont, with treatment provided by the Beaumont Wastewater Treatment Plant No. 1.
<i>Policy 6.7.6</i>	<i>Designate truck routes to avoid sensitive land uses, where feasible.</i>	The proposed project will route vehicular traffic related to the E-commerce uses through newly established public "Industrial Collector" roads. Cherry Valley

APPENDIX B | GENERAL PLAN CONFORMANCE

General Plan Goal/Policy		Consistency
		Boulevard and Brookside Avenue shall have restricted access to provide better flow of traffic.
Community Facilities + Infrastructure		
Stormwater		
Goal 7.4	<i>Incorporate sustainable and improved stormwater management practices.</i>	The project Environmental Impact Report (EIR) will analyze the entire Specific Plan and address potential impacts associated with the development of the Specific Plan area. The EIR includes recommended mitigation measures and analyzes implementing actions for the development. The MMRP shall ensure that the Specific Plan complies with all applicable environmental mitigation and permit requirements.
Goal 7.5	<i>Manage and effectively treat storm water to minimize risk to downstream resources.</i>	The Project's drainage plan will collect stormwater through catch basins placed throughout the Specific Plan area. Stormwater will be discharged into a series of above and below-ground detention basins to reduce flows and to provide treatment prior to being discharged into the existing stream course in Planning Area 3.
Policy 7.5.3	<i>Minimize pollutant discharges into storm drainage systems, natural drainages, and groundwater. Design the necessary stormwater detention basins, recharge basins, water quality basins, or similar water capture facilities to protect water quality by capturing and/or treating water before it enters a watercourse.</i>	The Project's drainage plan will collect stormwater through catch basins placed throughout the Specific Plan area. Stormwater will be discharged into a series of above and below-ground detention basins to reduce flows and to provide treatment prior to being discharged into the existing stream course in Planning Area 3

APPENDIX C | COMMERCIAL SCENARIOS

APPENDIX C Commercial Scenarios

COMMERCIAL DEVELOPMENT (PLANNING AREA 2)

The commercial component of the Beaumont Summit Station specific plan is an important part of creating the energy and amenities offered by the project. To respond to the variety of commercial tenants that are interested in this planning area, the specific plan has been planned and analyzed to allow for flexibility and serve the community's needs. As demonstrated in this appendix, a number of different development scenarios could play out as tenants commit to the project. **Table 2-1** in the Development Plan Section of this specific plan identifies one development scenario for hotel, general retail, and food uses and further scenarios are demonstrated in this appendix. Within the parameters and impacts studied in the EIR, Planning Area 2 may accommodate major and minor anchor retail tenants, neighborhood retail, food uses, sit down and fast-food restaurants, hotel and all other permitted uses listed in **Section 3 (Development Regulations)**.

Potential Future Commercial Uses

All permitted commercial uses within Planning Area 2 are listed in **Table 3-4** within Section 3.

Development Options

For purposes of the environmental and traffic studies associated with the specific plan, the project was analyzed to include a 220-room hotel, 25,000 square feet of general retail, and 25,000 square feet of food uses as shown in **Table 2-1**. This is one potential development scenario and does not represent the range of commercial uses envisioned for the Beaumont Summit Station area. Those uses will be driven largely by market demand for what is needed within the community. In response to community feedback, the specific plan also analyzes four total commercial layout options which can be developed without need for further traffic analysis.

- **Scenario presented in Development Plan Section:** 220-room hotel, 25,000 square feet of general retail, and 25,000 square feet of food uses.
- **Scenario Option 1:** A 125,000 square foot general retail anchor store and 20,500 square feet of sit-down restaurant uses (shown in **Exhibit C-1**).
- **Scenario Option 2:** A 40,000 square foot general retail anchor store, 38,000 square feet of in-line retail uses, 10,000 square feet of sit-down restaurant, and 3,000 square feet of drive-thru fast food uses (shown in **Exhibit C-2**).
- **Scenario Option 3:** A 25,000 square foot general retail anchor store, 19,000 square feet of in-line retail uses, a 25,000 square foot supermarket, 15,000 square feet of sit-down restaurant, and 3,000 square feet of drive-thru fast food uses (shown in **Exhibit C-3**).

Conceptual site plans for each of these options are shown on the following pages.

APPENDIX C | COMMERCIAL SCENARIOS

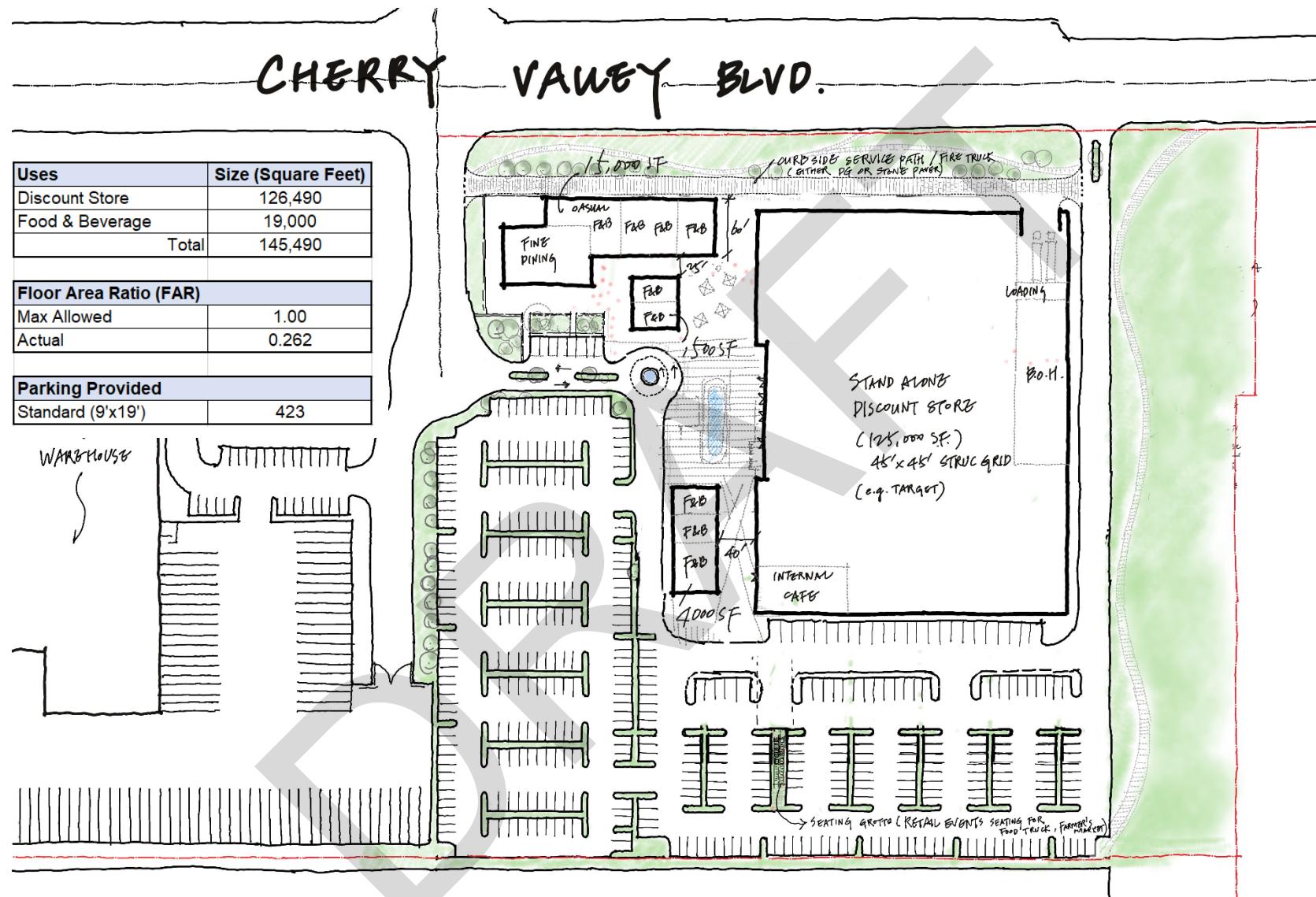


Figure C-1 Commercial Planning Area Conceptual Site Plan - Scenario Option #1

APPENDIX C | COMMERCIAL SCENARIOS

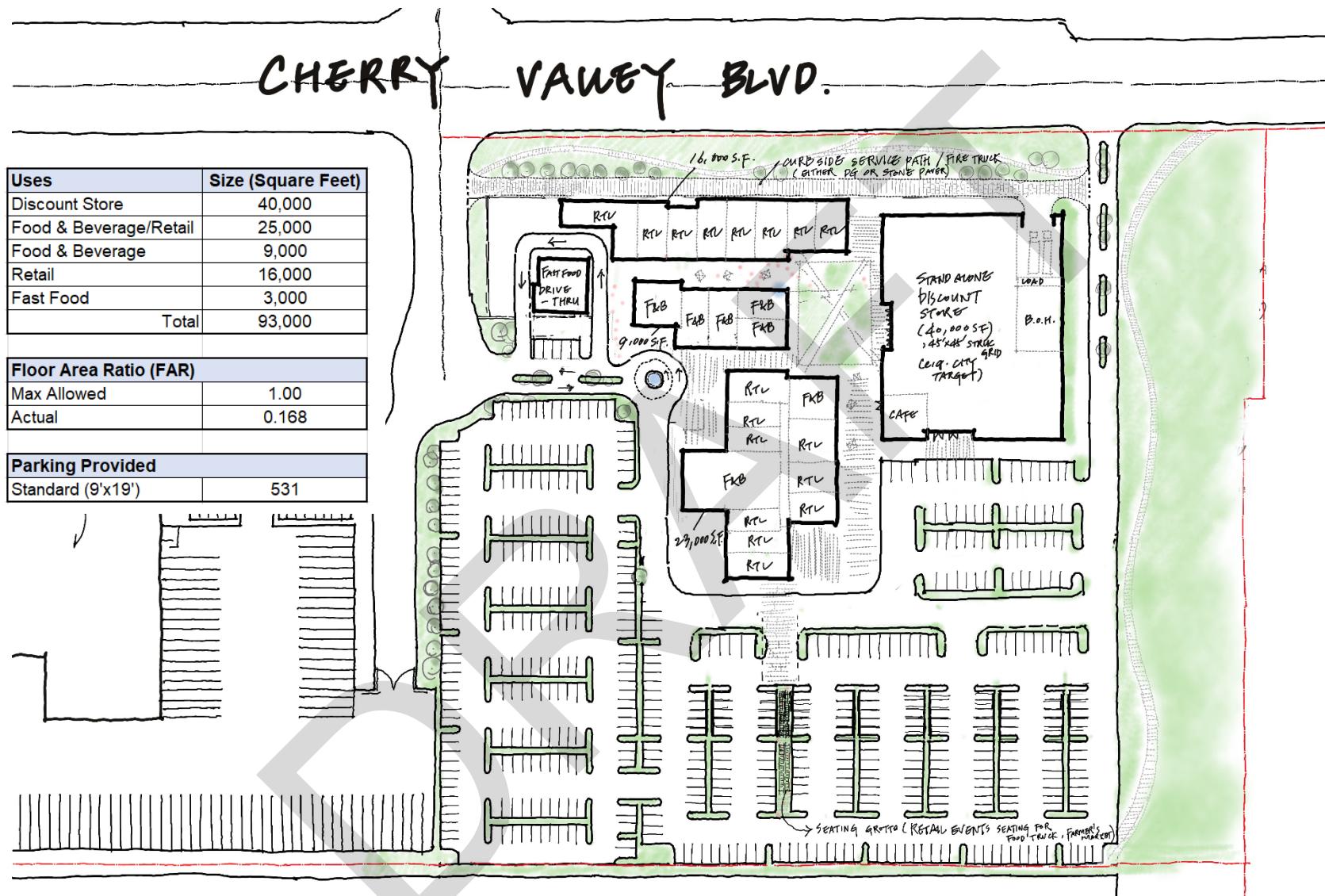


Figure C-2 Commercial Planning Area Conceptual Site Plan - Scenario Option #2

APPENDIX C | COMMERCIAL SCENARIOS

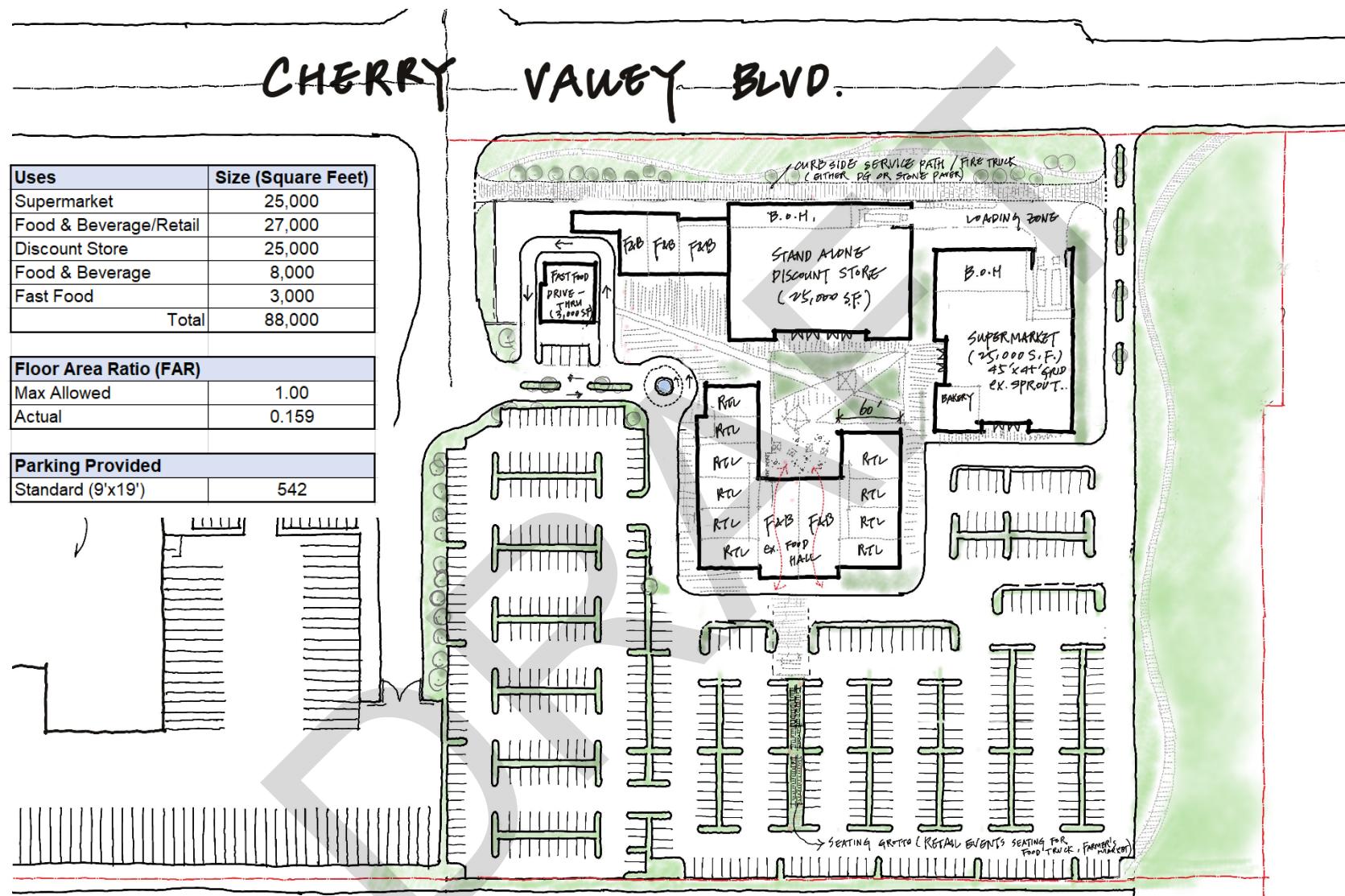


Figure C-4 Commercial Planning Area Conceptual Site Plan - Scenario Option #3