



RENAISSANCE™

at Oak Valley Greens

Planned Unit Development Amendment
Precise Development Plan



RENAISSANCE

By Pacific Century Homes

At Oak Valley Greens

**ADOPTED
BEAUMONT CITY
COUNCIL
RESOLUTION NO.**

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RENAISSANCE

By Pacific Century Homes

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INTRODUCTION
CHAPTER 1

PRECISE DEVELOPMENT PLAN

1 INTRODUCTION

Oak Valley Greens is a Planned Unit Development consisting of three integrated Planning Areas with a wide range of housing, commercial services, and recreational opportunities. The community will be developed in manner consistent with community theme elements, neighborhood parks and open spaces, pedestrian paths, and extensive street landscaping through a cohesive overall community design program. The level of quality defined in this Precise Development Plan and Community Design Guidelines is directed toward promoting a pleasant and attractive living environment.

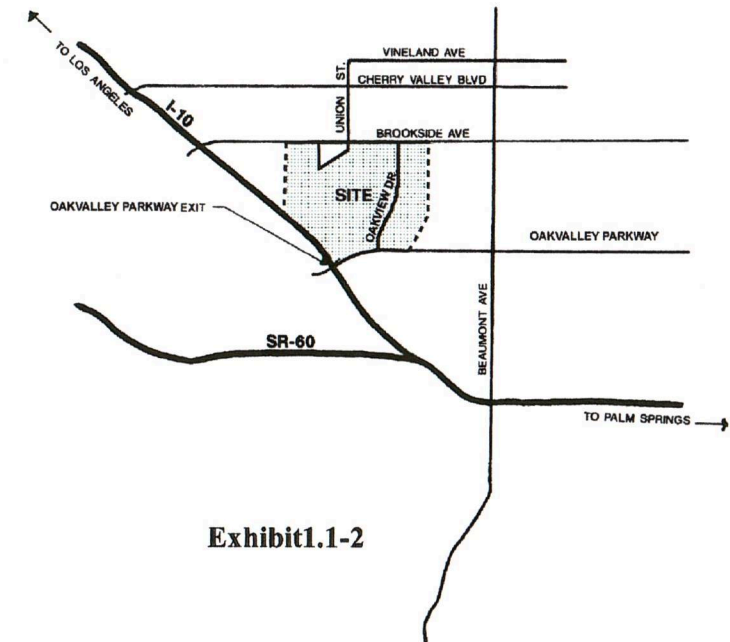
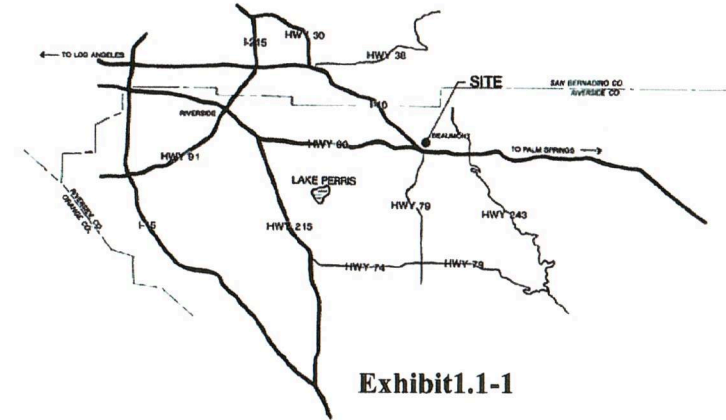
1.1 PROJECT LOCATION

The Oak Valley Greens property is comprised of 532.77 acres within the City of Beaumont. The site is located northeasterly of the intersection of Oak Valley Parkway, formerly 14th Street, and the I-10 freeway. Brookside Avenue forms the northern boundary of the project site (Exhibits 1.1-1 and 1.1-2).

1.2 EXISTING CONDITIONS

The property is partially (Planning Area I) developed, and surrounds the existing Oak Valley Golf Course. The Oak Valley Golf Course is a championship daily-fee course, with a driving range, clubhouse facility, and planned golf academy.

Historical uses on the property include dry crop farming and cattle grazing. The undeveloped portions of the site includes several large and relatively flat plateaus that overlook the existing golf course improvements. A portion of the site borders Noble Creek, a local natural drainage channel that runs along a portion of the property's eastern boundary, which is improved including Planning Area I, both North and South. The vacant portions of the property (Planning Area II and III) are characterized by an expanse of non-native grassland and generally featureless topography (Exhibit 1.3-1, Aerial Photograph).



1.3 SURROUNDING LAND USES

Land uses that currently surround the property include rural residential and agricultural uses to the north; the existing golf course, driving range, clubhouse and Oak Valley Parkway to the south; a mobile home development west of Interstate 10, and a RV Park and Noble Creek Sports Park to the east (Exhibit 1.3-1). The proposed Noble Creek Specific Plan area borders Oak Valley Greens to the east.

1.4 PROJECT OVERVIEW

Oak Valley Greens is uniquely sited to provide opportunities for a special and new planned residential community. The existing Oak Valley Golf Club has established an environment of quality, serenity, and beauty within the City of Beaumont. This environment has set the foundation for the vision of at Oak Valley Greens. The physical integration of the golf course with the residential Neighborhoods of the planned community defines the design of Oak Valley Greens.

As described in the following Chapters, the Oak Valley Greens planned development consists of three distinct, yet related Planning Areas. Each Planning Area is further comprised of smaller Neighborhoods, which will be created by Tentative Tract Maps for conveyance to builders and, ultimately, to individual homeowners.

The vision for Oak Valley Greens is framed by the distinct residential nature of each Planning Area. While a single-family detached character predominates in all Planning Areas, each has its own unique attributes.



RENAISSANCE at Oak Valley Greens

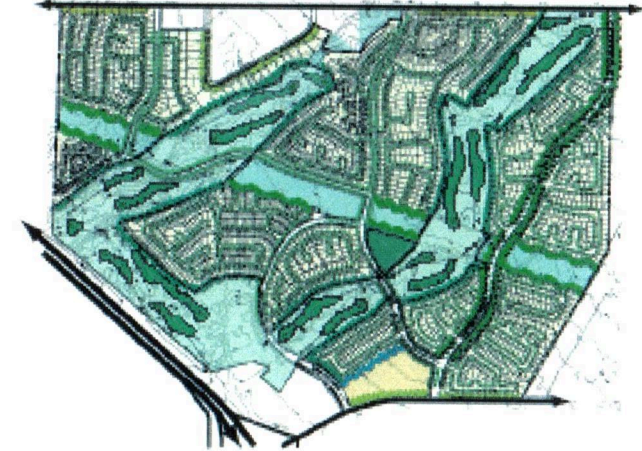
Exhibit I.3-1
AERIAL PHOTO

1. Introduction

Planning Area I is transitional as it interfaces with regional open space facilities (Noble Creek and the Noble Creek Park), and the Noble Creek Specific Plan Community to the east. Planning Area I is anchored by a large centrally located park site which provides recreation amenities for the surrounding Neighborhoods.

Planning Area II and III are designed to meet the needs of a more definitive market segment, the Active-Adult homeowner. Designed as a gated, age-restricted community, Planning Area III is virtually surrounded by the Oak Valley Golf Course. There are several distinct Neighborhoods offering a variety of housing types. The design of this Planning Area incorporates unique features such as an activity center of the community, and has a definite pedestrian orientation with its tree-lined promenade. The collector road and connector streets provide for golf carts and bicycles. The active lifestyle of this community's residents will be reflected in the diversity of the facilities and programs offered at the recreation center and active passive open space areas which anchor this Planning Area. Planning Area II is connected to Planning Area III through a collector road that crosses through the Golf Course. The crossing will be similar to Fairway Drive through the Golf Course within Planning Area I. The 30,000 sq. ft. parcels remain as conventional housing in its current location. The access for these lots are provided by Union & Hannon outside of the gated community.

The City of Beaumont General Plan designates the property for Low-Density Residential, Medium Density Residential, and Community Commercial land uses. Zoning designations for the property are consistent with the General Plan, including Planned Unit Development (PUD), and Commercial General (C-G) zoning designations. Oak Valley Greens is designed as a high quality community that provides for a mix of age restricted or "active adult" residential, single-family residential, community oriented commercial, and park and recreation uses.



1. Introduction

The plan is divided into three Planning Areas, each with smaller Neighborhoods that address particular market, residential, commercial, or open space needs.

The Oak Valley Greens Planned Unit Development includes land uses that are organized into the following land use districts:

- Low Density Single-Family Residential lots with a minimum lot size of 20,000 sq. ft. to 30,000 sq. ft.;
- Low Density Single-Family Residential lots with a minimum lot size of 4,000 sq. ft. to 10,000 sq. ft.;
- Medium Density Single-Family Duplex Residential Lots with minimum lot sizes of 3,000 sq. ft. per unit; The Duplex lots are 6,000 square feet with zero lot line, splitting the lot to 3,000 square feet each.
- Medium Density Cluster Single-Family, Multi-Family products;
- Commercial — maximum 150,000 sq. ft.; and
- Open Space, Parks, and Recreation.

1.5 AUTHORITY AND SCOPE

The Oak Valley Greens Planned Unit Development and Precise Development Plan (“PUD/PDP”) is intended to implement the direction and recommendations presented for the property contained in the Beaumont General Plan. The project site is designated as Low Density Residential with a density of 2.4 to 4.1 dwelling units to the acre, Medium Density Residential with a density of 4.2 to 15 dwelling units to the acre, and Community Commercial.

1.6 PURPOSE OF THE PRECISE DEVELOPMENT PLAN (PDP)

The purpose of the Precise Development Plan is to establish a community design concept that will be consistently implemented throughout the entire project. This comprehensive approach to implementation of specific community design elements will promote high quality standards and a unifying theme that are intended to create and maintain the character and visual quality of Oak Valley Greens.

The Precise Development Plan is not intended to be a stand-alone document, nor is it an exhaustive analysis of every possible situation. Any sketches and/or graphical representations contained in this handbook are to be used as general visual aids in understanding the basic intent of these guidelines. They do not represent any actual lot or building plan.

More specifically, the purpose of the Precise Development Plan is:

- To provide the City of Beaumont with the necessary assurance that the area will develop in accordance with the quality and character proposed herein;
- To provide criteria for use by builders, developers, planners, engineers, architects, landscape architects, and other professionals in order to maintain the desired design quality;
- To provide guidance to City staff, the Planning Commission, and the City Council in the review of subsequent development projects; and
- To provide concise development standards and design guidelines for the various Neighborhoods and individual development properties within Oak Valley Greens.

1. Introduction

1.7 ORGANIZATION OF THE PRECISE DEVELOPMENT PLAN

The Precise Development Plan is organized into five Chapters. Chapter 1, *Introduction*, describes the project overview, as well as the purpose, intent, authority, and scope of the document.

Chapter 2, *Development Plan*, discusses the development components of Oak Valley Greens including the various elements of each Planning Area which make up the fabric of the Precise Development Plan. Chapter 2 also presents the Circulation Plan for the community, the Community Facilities Plan, and a Conceptual Phasing Plan for the development of Oak Valley Greens.

Chapter 3, *Development Standards and Regulations*, establishes the planning guidelines and regulations for the entire project, as well as specific development standards for each residential, commercial, and open space area within the Precise Development Plan.

Chapter 4, *Community Design Guidelines*, describes the design theme for Oak Valley Greens. Chapter 4 identifies site planning guidelines for private and public spaces in the community, a Community Landscape Plan, and schematic landscape designs for private open space, various public spaces, parks, and recreation areas within the community. Chapter 4 also suggests the architectural theme of Oak Valley Greens, and establishes general architectural design guidelines and components which should be incorporated into the architecture of all residential, commercial, and public facility buildings.

Chapter 5, *Implementation and Administrative Procedures*, discusses the general implementation and administrative procedures for the Oak Valley Greens Precise Development Plan.

Chapter 6, *Park Calculations*, discusses the Park Calculations.



DEVELOPMENT PLAN
CHAPTER 2

2 **DEVELOPMENT PLAN**

The function of the Oak Valley Greens Development Plan is to set forth the site specific criteria and standards necessary to implement the development of the Oak Valley Greens Planned Community. Each of the individual Neighborhoods will be developed in accordance with the guidelines and objectives set forth in this Development Plan, as well as those development standards and regulations established in Chapter 3.

The Oak Valley Greens Precise Development Plan envisions a full spectrum of land uses for the planned community. As defined by the Development Plan, Exhibit 2.1-1 shown in the Illustrative Plan, Exhibit 2.1-2, and detailed in the Development Plan Statistical Table, Exhibit 2.1-3, the community will provide for a wide range of residential products, community commercial services, active and passive recreation areas, parks, and open spaces.

2.1 **DEVELOPMENT PLAN COMPONENTS**

Oak Valley Greens is designed for three Planning Areas, each comprised of smaller development areas with the following uses:

- Single-Family Residential (Planning Areas I and II);
- Active-Adult Residential (Planning Area II and III)
- Commercial (Planning Area I)
- Open Space, Parks, and Recreation (All Planning Areas).

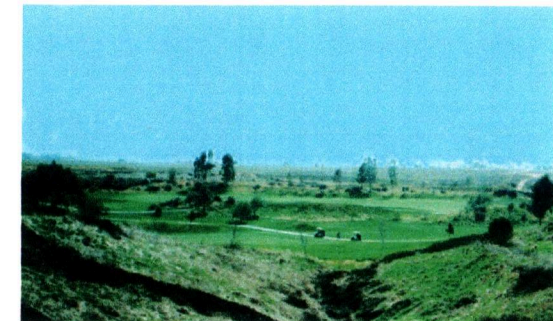


Exhibit 2.1-1 depicts the Development Plan for the Oak Valley Greens Planned Community. It delineates the Planning Area boundaries, the individual Neighborhoods, commercial areas, and open spaces within each Planning Area. It also shows the overall circulation system, and the project's orientation to the existing Oak Valley Golf Course. A statistical summary of the overall development plan is set forth in Exhibit 2.1-3.

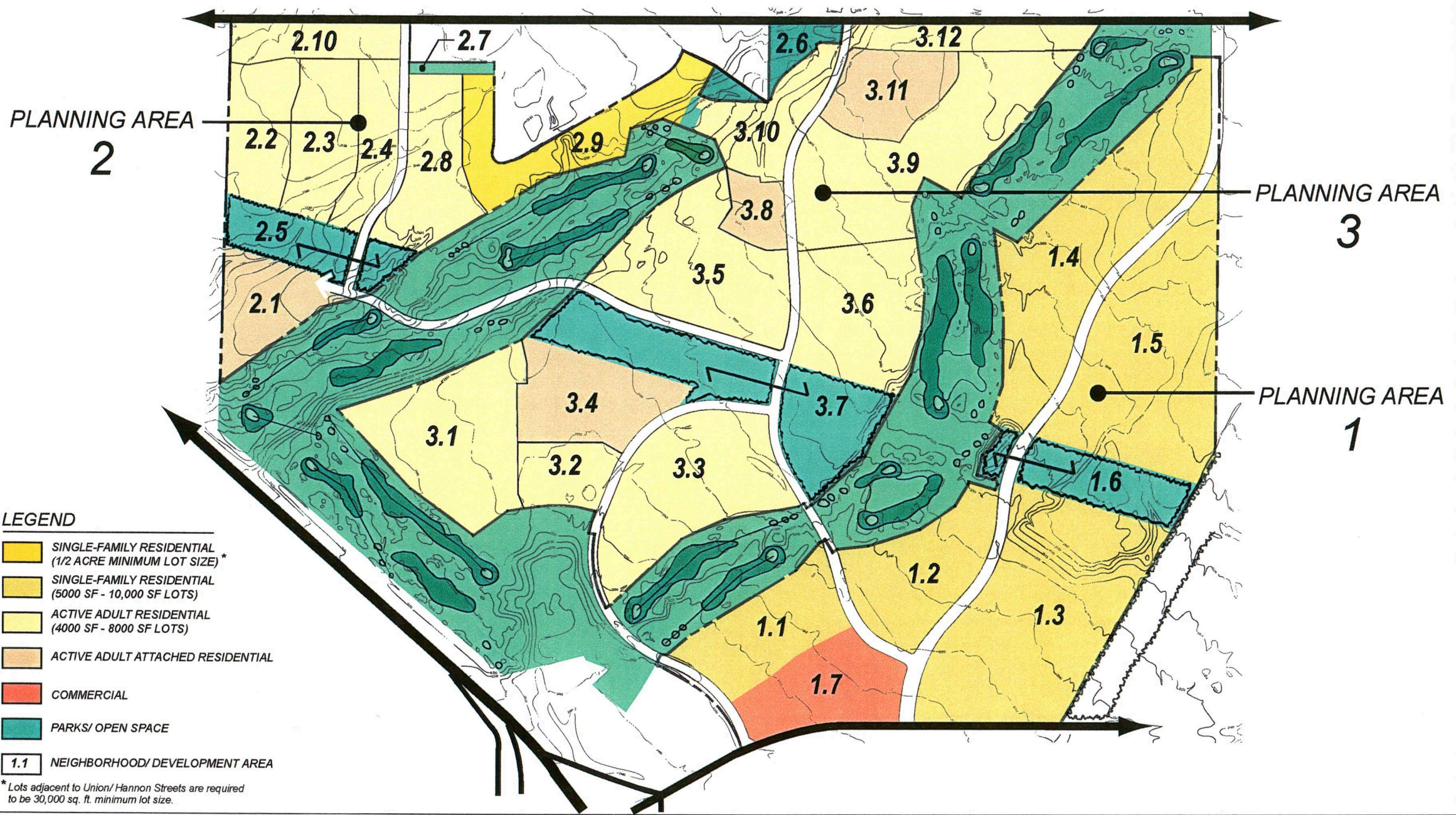




Exhibit 2.1-2
ILLUSTRATIVE PLAN

August 2002

2. Development Plan

Development Plan Statistical Summary Table, Exhibit 2.1-3

Planning Area/ Neighborhood	Land Use Designation	Zoning	Gross Acres (1)	Precise Development Plan review Process		
				Minimum Lot Size	Expected # of Units	Maximum Density
Planning Area 1						
Neighborhood 1.1	Medium Residential	PUD	15.02 ac	SFD-5,000 sf.	73	8.0 du/ac
Neighborhood 1.2	Medium Residential	PUD	18.25 ac	SFD-5,000 sf.	64	8.0 du/ac
Neighborhood 1.3	Medium Residential	PUD	42.53 ac	SFD-5,000 sf.	202	8.0 du/ac
Neighborhood 1.4	Medium Residential	PUD	38.54 ac	SFD-7,000 sf.	134	8.0 du/ac
Neighborhood 1.5	Medium Residential	PUD	37.82 ac	SFD-6,500 sf. SFD-7,000 sf.	154	8.0 du/ac
Open Space 1.6	Open Space/Recreation	PUD	16.5 ac	-	-	-
Commercial Area 1.7	Community Commercial	G-C	13.17 ac	-	-	-
TOTAL PLANNING AREA 1:			181.83ac		627	
Planning Area 2						
Neighborhood 2.1	Medium Residential	PUD	10.91 ac	SFA (3), (6)	168	15.0 du/ac
Neighborhood 2.2	Medium Residential	PUD	12.32 ac	SFD-4,000 sf.	84	8.0 du/ac
Neighborhood 2.3	Medium Residential	PUD	12.71 ac	SFD-5,000 sf.	63	8.0 du/ac
Neighborhood 2.4	Medium Residential	PUD	9.83 ac	SFD-6,000 sf. (7)	38	4.1 du/ac
Open Space 2.5	Open Space/Recreation	PUD	13.60 ac	-	-	-
Open Space 2.6	Open Space/Recreation	PUD	5.04 ac	-	-	-
Open Space 2.7	Open Space/Recreation	PUD	0.76 ac	-	-	-
Neighborhood 2.8	Medium Residential	PUD	15.86 ac	SFD- 10,000 sf	48	8.0 du/ac
Neighborhood 2.9	Medium Residential	PUD	25.71 ac	SFD - 1/2ac (7)	19	8.0 du/ac
Neighborhood 2.10	Medium Residential	PUD	7.58 ac	SFD-8,000 sf.	26	8.0 du/ac
TOTAL PLANNING AREA 2:			114.32 ac		446	
Planning Area 3						
Neighborhood 3.1	Medium Residential	PUD	24.72ac	SFD-5,000 sf.	124	8.0 du/ac
Neighborhood 3.2	Medium Residential	PUD	8.07ac	SFD-4,000 sf.	57	8.0 du/ac
Neighborhood 3.3	Medium Residential	PUD	25.69ac	SFD-6,000 sf.	109	8.0 du/ac
Neighborhood 3.4	Medium Residential	PUD	15.21ac	SFA - (3) (6)	128	15.0 du/ac
Neighborhood 3.5	Medium Residential	PUD	26.12ac	SFD-4,000 sf.	166	8.0 du/ac
Neighborhood 3.6	Medium Residential	PUD	21.13ac	SFD-6,000 sf.	91	8.0 du/ac
Open Space Area 3.7	Open Space/Recreation	PUD	29.97ac	-	-	-
Neighborhood 3.8	Medium Residential	PUD	5.01 ac	SFA - (3) (6)	88	15.0 du/ac
Neighborhood 3.9	Medium Residential	PUD	34.17 ac	SFD-5,000 sf.	172	8.0 du/ac
Neighborhood 3.10	Medium Residential	PUD	9.35 ac	SFD-4,000 sf.	46	8.0 du/ac
Neighborhood 3.11	Medium Residential	PUD	11.40 ac	SFA - (3) (6)	164	15.0 du/ac
Neighborhood 3.12	Medium Residential	PUD	6.80 ac	SFD-8,000 sf.	28	8.0 du/ac
TOTAL PLANNING AREA 3:			217.64 ac		1,173	
SUBTOTAL PA's 1, 2, 3:			513.79 ac			
Public Road/Spine Circulation (9)			18.98 ac			
PROJECT TOTAL:			532.77 ac			

(1) Gross Acreage includes streets within each Neighborhood.

(2) A maximum of 20% of the Maximum Allowable Dwelling Units may be transferred between Neighborhoods and Planning Areas provided that the total Maximum Allowable Dwelling Units shall not exceed 2,800.

(3) Maximum density as measured over the entire Neighborhood. Individual projects may have a density greater than 8.0 du/ac, provided that the Maximum Allowable Dwelling Units for any Neighborhood are not exceeded.

Maximum project density shall not exceed 15.0 du/ac

(4) Minimum lot size applies

(5) Lots adjoining Union/Hannon streets shall be 30,000 sq. ft. minimum. Average density shall be 1 du/ac.

(6) Maximum allowable density = 15.0 du/ac

(7) Acreage includes Oak View Drive, the Active-Adult Main Entry Approach Road and public portions of Golf Club Drive. All other interior public and private roadways are included as gross acres within each Neighborhood.

2. Development Plan

Oak Valley Greens provides a mix of single-family attached residential, active-adult duplexes on lots greater than 3,000 square feet; the Duplex Lots are 6,000 square feet with zero lot line, splitting the lot to 3,000 square feet each; and detached residential lots ranging from 4,000 square feet to more than 20,000 square feet. Traditional single-family detached housing comprises approximately 28% of the total residential acreage. Active-Adult residential land uses (attached and detached) comprise approximately 72% of the residential acreage.

In addition to the residential component of Oak Valley Greens, approximately 13.17 acres are designated for Neighborhood Commercial uses. Planning Area I is the only area which permits commercial uses.

The Precise Development Plan also provides an extensive open space network of active and passive recreational uses totaling approximately 62.40 acres. The individual elements of the Open Space component of the Precise Development Plan is described within the following sections.

2. Development Plan

2.2 PLANNING AREA I

Planning Area I, located in the eastern portion of Oak Valley Greens, totals approximately 181.83 acres, and is designated for traditional single-family residential development, commercial services, and open space uses. The adjacent diagram shows the boundaries of Planning Area I, as well as the individual Neighborhoods contained within.

Development within Planning Area I has been divided into five distinct Neighborhoods totaling 152.16 acres, and one 16.5-acre Open Space Area. All residential development in these Neighborhoods is consistent with the Medium Residential (4.2, 8.0 du/ac) General Plan Land Use designation. This Planning Area is developed and homes are under construction. This area is planned for up to 627 dwelling units on lots ranging from a minimum of 5,000 square feet up to a minimum of 7,000 square feet.

2.2.1 Neighborhood 1.1

Located in the southwestern portion of Planning Area I, Neighborhood 1.1 is designed for up to 73 Single-family lots, with a minimum of 5,000 square feet per unit, many of which enjoy golf course frontage. The area has two primary access points and one secondary emergency access point, from the Fairway Drive, and one in the western portion of the neighborhood leading to Golf Club Drive.

Homes will be approximately 1,300 to 2,000 square feet (and possibly larger) and are planned for two, three, and four bedrooms. The residential lots which abut Commercial Area 1.7 will be carefully buffered from noise and disturbances in accordance with Section 3.4 of the Precise Development Plan.

2.2.2 Neighborhood 1.2

Neighborhood 1.2 lies in the center of Planning Area I northeast of Neighborhood 1.1 and provides lots with a minimum of 5,000 square feet. Neighborhood 1.2 is planned for up to 64 dwelling units, with many of the lots enjoying golf course frontage and beautiful views of an existing lake within the golf course. This Neighborhood has two primary access points, one from Oak View Drive, and one from the Main Entry Approach to the Active-Adult community.

2. Development Plan

Neighborhood 1.2 will provide homes ranging from 1,300 to 2,000 square feet (and possibly larger) with two, three, and four bedrooms.

2.2.3 Neighborhood 1.3

Neighborhood 1.3, sited in the most southeastern portion of Oak Valley Greens along Noble Creek, is planned for up to 202 dwelling units. Lot sizes will range from a minimum of 5,000 to a minimum of 6,000 square feet. Neighborhood 1.3 is designed to accommodate three distinct product types, two of which are designed for 5,000 square foot lots, the third of which is designed for 6,000 square foot lots. The exact design and layout of these products will be determined at the time building plans are submitted to the City in conjunction with building permit approval. Many lots enjoy views either across Noble Creek, or of the adjacent neighborhood park. Neighborhood 1.3 homes are envisioned to be 1,500 to 2,200 square feet, and possibly larger, with two, three, and four bedrooms.

There are three primary points of entry into Neighborhood 1.3, all from Oak View Drive on the western boundary of the Neighborhood.

2.2.4 Neighborhood 1.4

Neighborhood 1.4 is located in the northwestern portion of Planning Area I, is planned for up to 134 dwelling units, and will consist of larger lots with a minimum 7,000 to 7,200 square feet. Because of the unique slope conditions along the golf course, many of these lots are significantly larger than the required minimum. Neighborhood 1.4 is designed within three primary entries from the east side of Oak View Drive. Homes will be one-story, and are expected to range from 1,900 to 3,000 square feet, and have three, four, or five bedrooms.

2.2.5 Neighborhood 1.5

Located along the easternmost boundary of Oak Valley Greens, Neighborhood 1.5 is planned for up to 154 dwelling units with larger lots at a minimum of 6,500 to 7,000 square feet. There are four primary entry points from Oak View Drive to developments in this Neighborhood. Homes in Neighborhood 1.5 will range from 1,800 to 2,900 square feet and possibly larger, with one-story, and provide three to five bedrooms.



2. Development Plan

2.2.6 Open Space Area 1.6

Open Space Area 1.6 is situated entirely within the existing Southern California Edison utility easement. This approximately 16.5-acre area, is planned for an 14.8-acre neighborhood park, and 1.7 acres of active/passive open space. This public park area is designed to be used by local residents and may contain a tot-lot, picnic areas, half-court basketball or hardcourts, and turf areas for informal games, field sports, and activities. This park area will also include a small parking lot and restroom building. *(The final design of this park area will be determined in coordination with the City, the Master Developer, and the Southern California Edison Company.*

2.2.7 Commercial Area 1.7

Commercial Area 1.7 is approximately 13.17 acres, and located at the intersection of Oak Valley Parkway and Oak View Drive. The Precise Development Plan programs this area for a maximum of 150,000 square feet of commercial space with a maximum Floor Area Ratio of 0.25:1. This commercial area will accommodate both local serving uses such as a market, drug store, cleaners, video store, and other neighborhood goods and services, as well as highway-oriented uses such as gas stations and fast food restaurants. The final mix of commercial services will be determined by market demand as Oak Valley Greens is built out. A commercial property owner's association will be established prior to the issuance of certificates of occupancy for the first building for the commercial area.

2. Development Plan

2.3 PLANNING AREA II

Planning Area II, sited in the northwestern portion of Oak Valley Greens, is approximately 114.3-acres in size, and has been designed for an age-restricted, Active Adult Community. The Active-Adult community will provide a variety of product types including single-family style dwellings, cluster-courtyard complexes and duplexes, and attached units such as townhomes and condominiums. Planning Area II, is designed for up to 446 dwelling units within seven individual Neighborhood areas.

Planning Area II is comprised of seven individual Neighborhoods and three open space/park areas. The seven residential areas occupy approximately 94.90 acres, and are planned for 446 single-family residential units on lots ranging from a minimum of 4,000 to 30,000 square feet and larger, including the single family attached product. The major open space areas within Planning Area II total approximately 19.4 acres, and are designated for both active and passive recreation uses. The individual development components of Planning Area II are discussed in the following sections.

2.3.1 Neighborhood 2.1

Neighborhood 2.1 is designed with 168 dwelling units with courtyard cluster attached products, such as condominiums at densities up to 15 units per acre. A majority of the lots in Neighborhood 2.1 enjoy frontage either along Oak Valley Golf Course, or along the adjacent Open Space Area to the north of the Neighborhood. Homes are expected to range from 800 to 1,200 square feet and possibly larger, and typically have two bedrooms or more.

2.3.2 Neighborhood 2.2

Neighborhood 2.2 is located in the northwestern sector of Oak Valley Greens, and is planned for up to 84 dwelling units on lots with a minimum of 4,000 square feet. Neighborhood 2.2 is designed with two primary access points, one from local collector road to the gated collector road. Some lots lie adjacent to open space areas in Planning Area II. The homes are anticipated to be 1,150 to 1,350 square feet, and possibly larger with two bedrooms or more.

2. Development Plan

2.3.3 Neighborhood 2.3

Neighborhood 2.3 is designed for up to 63 dwelling units on lots with a minimum of 5,000 square feet. There is one primary entry point into the area from the local collector road. The homes are anticipated to range from 1,450 to 1,700 square feet and possibly larger, the homes in Neighborhood 2.3 will provide three or more bedrooms.

2.3.4 Neighborhood 2.4

Neighborhood 2.4 is planned for up to 38 dwelling units, and offers larger-lot designs with a minimum of 6,000 square feet. Homes may range in size from 1,850 to 2,200 square feet and larger, and will be one-story. The homes will typically provide three or more bedrooms, and some may be larger designs due to the large lot sized afforded in the Neighborhood.

2.3.5 Open Space Area 2.5

Open Space Area 2.5 is a 13.6-acre area designed with park and open space area for use by residents of the community. This area is designed with large expanses of level turf areas conducive to informal games, and activities. The passive portion of this park can be used for hiking, picnicking, and other activities.

Open Space Area 2.5 is located within the Southern California Edison utility easement. *(The final design of this area will be determined in coordination with the City, the Master Developer, and Southern California Edison Company.)*



2. Development Plan

2.3.6 Open Space Area 2.6

Open Space Area 2.6 is approximately 5-acres located adjacent to Neighborhood 2.4. This park area is designed with passive recreation areas, and natural open spaces, and is designed to be used by both local residents and by those traveling along the adjacent regional trail system.

2.3.7 Open Space Area 2.7

Open Space Area 2.7 provides an open space paseo/landscape buffer area (approximately 0.8-acre) between the existing Union-Hannon Neighborhood and Neighborhood 2.3.

2.3.8 Neighborhood 2.8

Neighborhood 2.8 is planned for medium density, with 48 dwelling units on lots with a minimum of 10,000 square feet. Some of the lots in Neighborhood 2.1 enjoy frontage either along Oak Valley Golf Course, or along the adjacent Open Space Area to the north of the Neighborhood. Homes are expected to range from 1,800 to 2,800 square feet and possibly larger, and typically have three bedrooms or more.

2. Development Plan

2.3.9 Neighborhood 2.9

Neighborhood 2.9 is planned for low density, with 19 dwelling units. A majority of the lots in Neighborhood 2.9 enjoys frontage either along Oak Valley Golf Course, or along the adjacent Open Space Area to the north of the Neighborhood. Homes may range in size from 2,600 to 3,200 square feet and larger, and will be one-story and two-story. The homes will typically provide three to five bedrooms, and some may be larger designs due to the large lot sized afforded in the Neighborhood.

Lots fronting along the existing Union-Hannon neighborhood are designed with a minimum of 30,000 square feet per lot. These larger lots, in character with the existing residential neighborhood, will act as a transitional development area between the large existing properties within the Union-Hannon neighborhood, and the smaller lots planned in Oak Valley Greens.

These lots will have a distinctive design that encourages the development of larger homes taking advantage of golf course views.

2.3.10 Neighborhood 2.10

Neighborhood 2.10 is planned for up to 26 dwelling units, and offers larger-lot designs with a minimum of 8,000 square feet. Homes may range in size from 1,850 to 2,200 square feet and larger, and will be one-story. The homes will typically provide three or more bedrooms, and some may be larger designs due to the large lot sized afforded in the Neighborhood.

2. Development Plan

2.4 PLANNING AREA III

Planning Area III is located in the central portion of Oak Valley Greens, and is approximately 217.64 acres. Planning Area III is designed as a private age-restricted, Active-Adult community. The Active-Adult community will provide a variety of product types including single-family style dwellings, cluster-courtyard complexes and duplexes, and attached units such as townhomes and condominiums. Planning Area III, is designed for up to 1,173 dwelling units within ten individual Neighborhood areas. In addition, this Planning Area will provide a Community Recreation Center, and active/passive open space areas totaling 29.97 acres. The following sections describe the individual development components of Planning Area III.

2.4.1 Neighborhood 3.1

Neighborhood 3.1 is located in the southwest portion of Planning Area III and is planned for up to 124 dwelling units. Neighborhood 3.1 provides for single-family units with a minimum of 5,000 square feet of land per unit. Neighborhood 3.1 is accessed at two major entries through Neighborhoods 3.4 and 3.2 from Golf Club Drive. The products planned for this Neighborhood will be both one-story. The homes may range in size from 1,450 to 1,700 square feet and larger, and have up to three bedrooms.

Neighborhood 3.1 is surrounded on three sides by Oak Valley Golf Course.

2.4.2 Neighborhood 3.2

Located in the southern portion of Planning Area III, Neighborhood 3.2 is planned for up to 57 single-family detached homes on 4,000 square-foot minimum lots. The homes in Neighborhood 3.2 may range from 1,150 to 1,350 square feet and possibly larger, and will have two bedrooms or more. Neighborhood 3.2 is accessible from Golf Club Drive. The area is bounded by the Oak Valley Golf Course to the south, Main Entry, and Golf Club Drive to the west.

2. Development Plan

2.4.3 Neighborhood 3.3

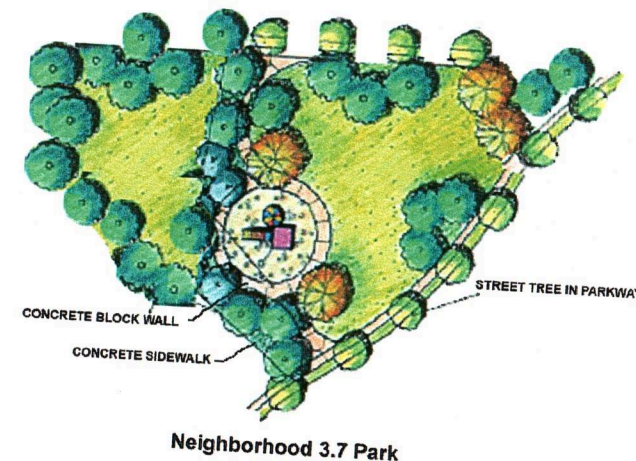
Neighborhood 3.3 is planned for up to 109 single family detached homes on 6,000 square feet minimum lots. The products planned for this Neighborhood will be one-story. The homes may range in size from 1,850 to 2,230 square feet and larger, and have three bedrooms or larger.

2.4.4 Neighborhood 3.4

Neighborhood 3.4 is planned for 128 dwelling units. These units may range in size from 1,000 to 1,200 square feet and larger, and all have a minimum land area per unit of 3,000 square feet. The units are expected to have one and two bedrooms. Each lot is 6,000 square feet with zero lot line, splitting the lot to 3,000 square feet each.

2.4.5 Neighborhood 3.5

Neighborhood 3.5 is located in the northwest portion of Planning Area III and is planned for up to 166 dwelling units. This Neighborhood is bordered by the Oak Valley Golf Course on its eastern boundary. The area has two primary points of entry from the collector road. Homes in Neighborhood 3.5 may range in size from 1,150 to 1,350 square feet and possibly larger on 4,000 square foot minimum lots. The units will have one, two, and three bedrooms.



2. Development Plan

2.4.6 Neighborhood 3.6

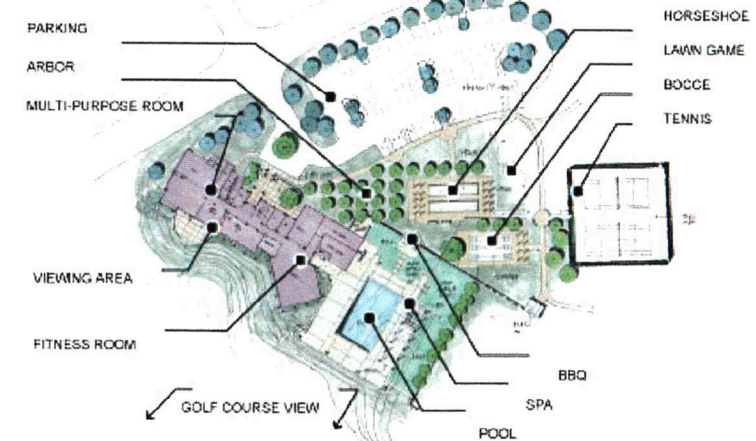
Neighborhood 3.6 occupies the most southerly portion of Planning Area III, North, this area will accommodate up to 91 single-family detached units on 6,000 square foot minimum lots. This area will provide homes ranging in size from 1,870 to 2,230 square feet and possibly larger, and will be three bedrooms or more.

There is one primary point of entry into Neighborhood 3.6: from the collector road.

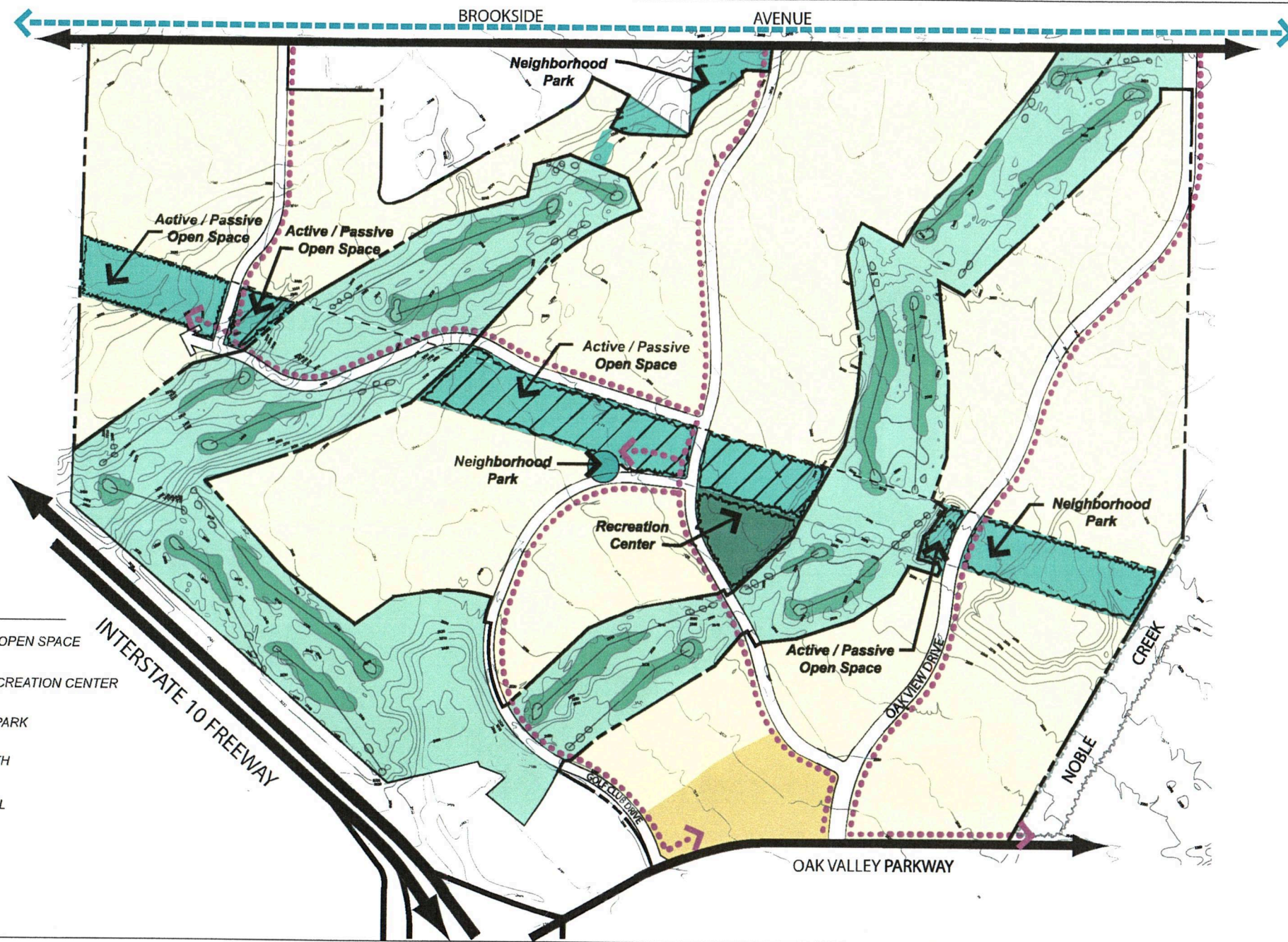
2.4.7 Open Space Area 3.7

Planning Area III contains approximately 29.97 acres of organized recreation space and active/passive open spaces at the heart of the Active-Adult Community. The components of this area are described below.

The proposed amenities will reside on 6.1 acres and include a 17,000 to 18,000 square foot recreation Center with 2 wet/dry multi-purpose craft rooms, a fitness/aerobics room, community theatre. A ballroom/dance floor, a resident catering kitchen, 2 billiard tables, a six lane outdoor lap pool, spa, tennis courts, BBQ area, facilities maintenance area, administrative office space and walking trails. The property will be gated and transponder access capable. Programmed activities, socials and clubs will be an important element of the amenity development and use.

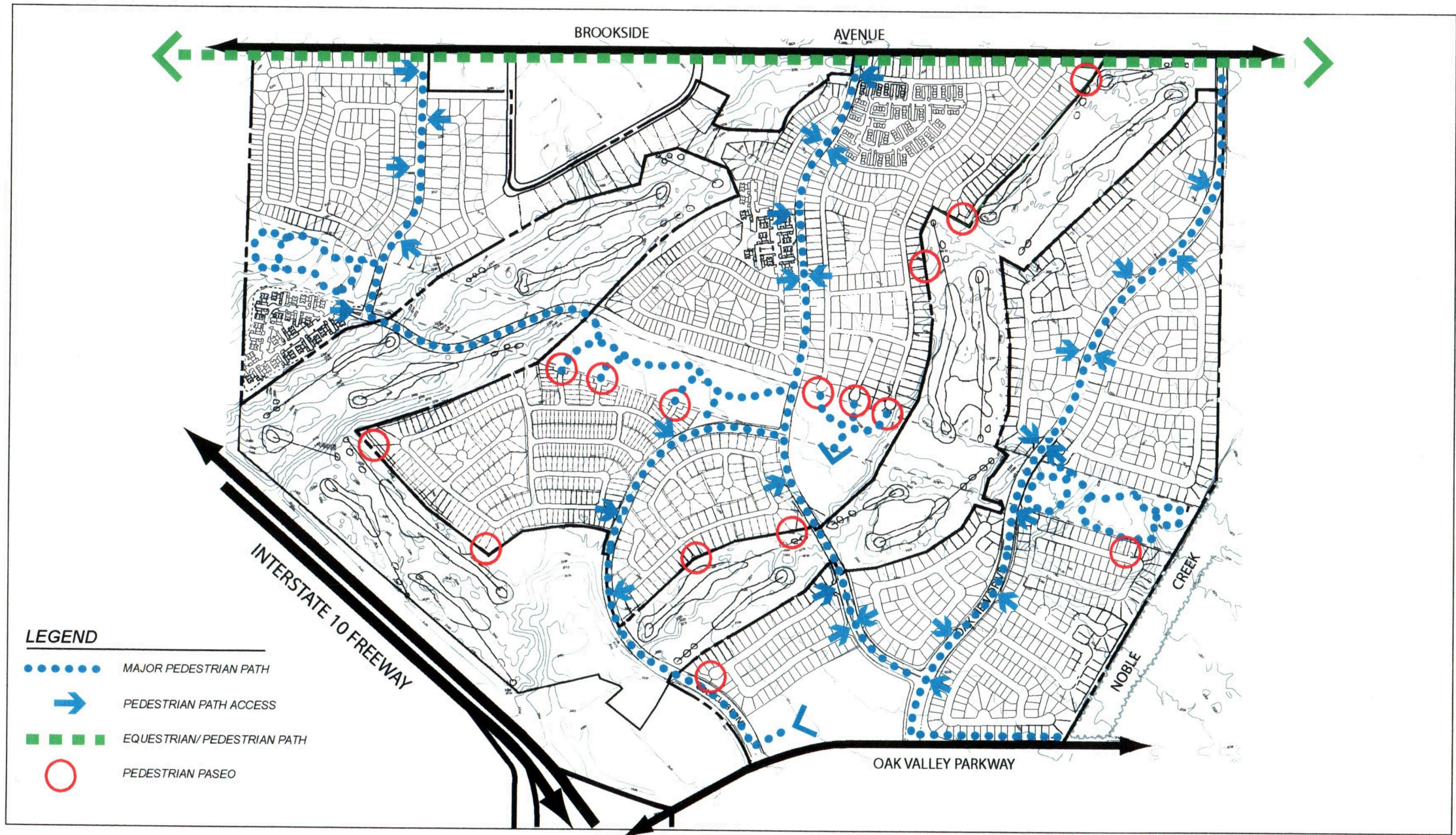


ACTIVE ADULT RECREATION CENTER - CONCEPT DESIGN



LEGEND

-  ACTIVE / PASSIVE OPEN SPACE
-  ACTIVE ADULT RECREATION CENTER
-  NEIGHBORHOOD PARK
-  PEDESRTIAN PATH
-  EQUESTRIAN TRAIL



2. Development Plan

2.4.8 Neighborhood 3.8

Neighborhood 3.8 is designed up to 88 dwelling units, such as condominiums or apartments at densities up to 15 units per acre. Homes are expected to range from 800 to 1,200 square feet and possibly larger, and typically have one and two bedrooms or more. The units will be up to two-story with garden and courtyard concept in design.

2.4.9 Neighborhood 3.9

Neighborhood 3.9 is planned for medium density, with 172 dwelling units with a minimum lot sizes of 5,000 square feet. Some of the lots in Neighborhood 3.9 enjoy frontage along Oak Valley Golf Course. Homes are expected to range from 1,450 to 1,700 square feet and possibly larger, and typically have three bedrooms or more.

2.4.10 Neighborhood 3.10

Neighborhood 3.10 is planned for medium density, with 46 dwelling units with a minimum lot sizes of 4,000 square feet. Some of the lots in Neighborhood 3.10 enjoy frontage either along Oak Valley Golf Course, or along the adjacent Open Space Area to the north of the Neighborhood. Homes are expected to range from 1,150 to 1,350 square feet and possibly larger, and typically have two bedrooms or more.

2.4.11 Neighborhood 3.11

Neighborhood 3.11 is designed with 164 dwelling units with courtyards cluster attached products, such as condominiums at densities up to 15 units per acre. Homes are expected to range from 800 to 1,200 square feet and possibly larger, and typically have one, two bedrooms and larger. The units will be up to two-story with garden and courtyard concept in design. Any two story building shall be set back a minimum of 80' from Brookside Ave.

2.4.12 Neighborhood 3.12

Neighborhood 3.12 is planned for up to 28 dwelling units, and offers larger-lot designs with a minimum of 8,000 square feet. Homes may range in size from 1,850 to 2,200 square feet and larger, and will be one-story. The homes will typically provide three or more bedrooms, and some may be larger designs due to the large lot sized afforded in the Neighborhood.

2. Development Plan

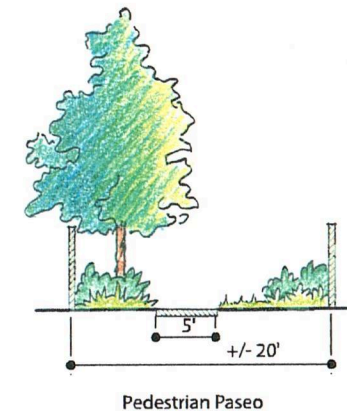
2.5 OPEN SPACE PLAN

The location and relationship of the 62.40 acres of parks and open spaces described in the previous sections are shown in the Open Space Plan for Oak Valley Greens, Exhibit 2.5-1.

The City of Beaumont has a General Plan directive that all proposed subdivisions must provide a minimum amount of common open space to be developed into usable community open and recreation areas. For residential single-family subdivisions, this policy requires a minimum of 5 acres of parkland per each 1,000 persons. Development of Oak Valley Greens shall be accompanied by the provision of not less than 35.03 acres of improved usable park area.

Neighborhoods within Oak Valley Greens are linked to common open spaces via a system of pedestrian paths and paseos. These paths also connect Oak Valley Greens with existing and planned regional parks, trails and open spaces. The following hierarchy of parks and trails, shown in Exhibit 2.5-2, will be implemented at Oak Valley Greens.

- Major Pedestrian Path - Major pedestrian path areas are provided along the major spine circulation roads of the planned community. Major pedestrian paths will meander, and are separated from the roadways by variable main landscaped parkways.
- Minor Pedestrian Path - Minor pedestrian paths are provided within each of the interior Neighborhoods of Oak Valley Greens.
- Equestrian/Pedestrian Path - An equestrian/pedestrian path is provided along the project side of Brookside Avenue as an unimproved, rural pathway for equestrian and pedestrian activities by residents of Oak Valley Greens and the surrounding residential community.
- Pedestrian Paseo - Pedestrian paseos are designed throughout the community as landscaped pathways connecting the interior Neighborhoods with each of the various Open Space Areas in Oak Valley Greens.



2. Development Plan

2.6 CIRCULATION PLAN

The Circulation Plan for Oak Valley Greens includes a hierarchy of arterials, local connectors, and local residential streets, all reinforced by landscape treatments (described further detail in Section 4.3, Landscape Architecture Guidelines). The backbone system is depicted in the Conceptual Circulation Plan, Exhibit 2.6-1, and as detailed in the street sections contained in Exhibits 2.6-2 through 2.6-4.

The Circulation Plan for Oak Valley Greens features a traditional parkway design for all of the interior streets as the major residential feature. The actual design of these parkway areas is described further in Section 4.3.3, *Streetscape Guidelines*.

Oak Valley Greens is accessed by three existing major streets: Oak Valley Parkway (14th Street) — a general planned Augmented Urban/Urban Highway, Oak View Drive (formerly called Nancy Avenue) — a General Planned Secondary Highway, and Brookside Avenue — a General Planned Collector.

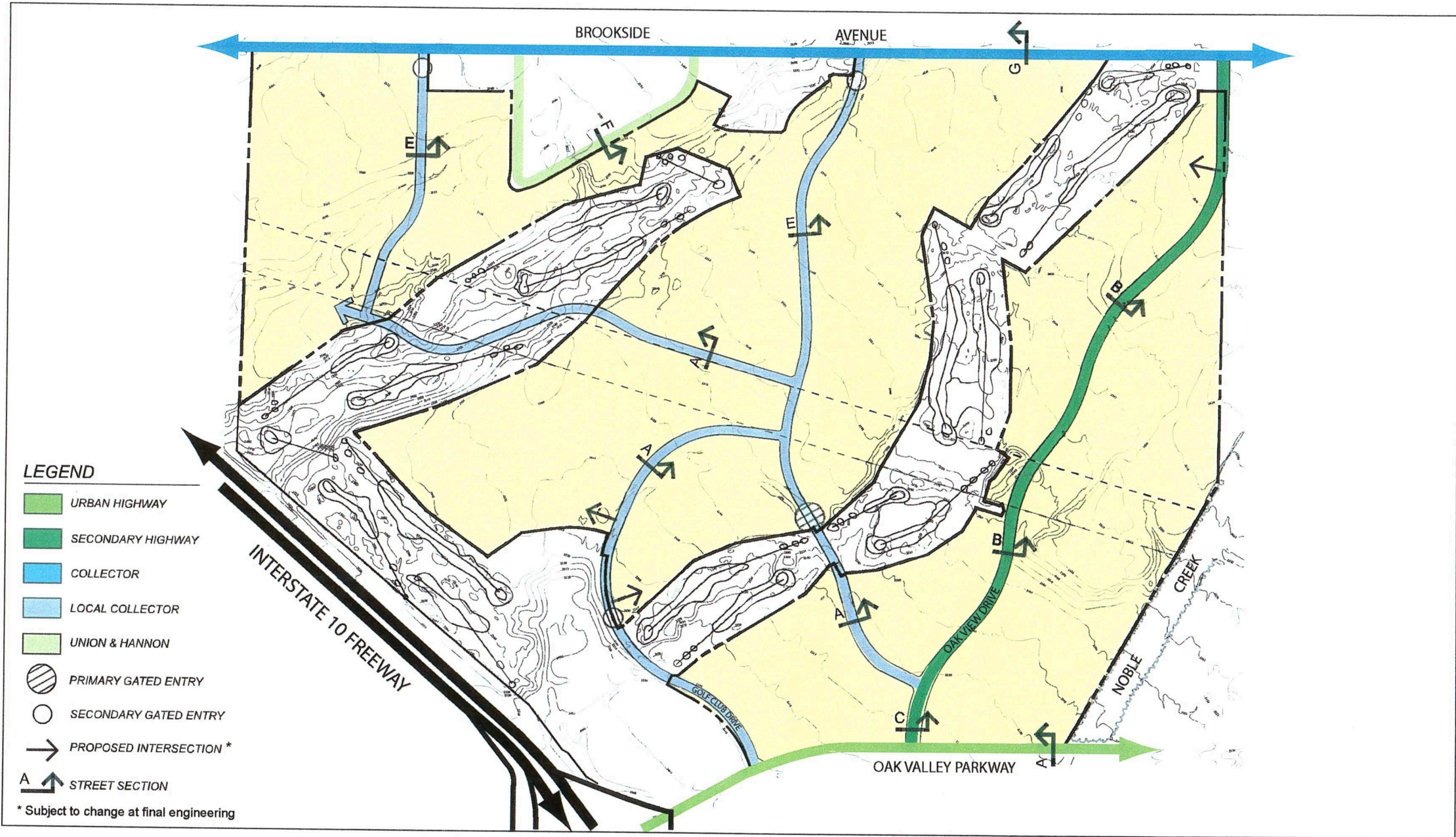
Oak View Drive connects Oak Valley Parkway with Brookside Avenue, and provide primary access to developments in Planning Area I. Oak View Drive is a modified secondary highway with an 88-foot right-of-way and a 52-foot paved street section. The parkways have been fully landscaped as shown in Exhibit 2.6-2.

The southernmost segment of Oak View Drive, from Oak Valley Parkway to the Main Entry Approach of the Active-Adult Community is planned to be an Enhanced Primary Highway, and will be improved to include left-turn lanes, a landscaped center median and enhanced landscaped parkways. There will also be a broad landscape zone, which incorporates the community's main entry monumentation. This roadway is shown in Exhibit 2.6.2, and is described further in Section 4.3.3 of this Precise Development Plan.

2. Development Plan

**Exhibit 2.5-3
Recreation/Open Space Provisions**

RECREATION AREA LOCATION	ACRES	AMENITIES	
		QUANTITY	FACILITY
Open Space Area 1.6	13.10 Acres	1 2 1 30 1	Informal playfield 180 x 300 informal playfields (can accommodate youth soccer) 1,200 Square foot tot-lot area Parking spaces (±) Restroom building (men and women) Path/trail system Informal turf/green area
Open Space Area 2.5	13.60 Acres	1 1 20	180 x 300 informal playfield 1,200 square foot informal tot-lot area Path/trail system Parking spaces (±)
Open Space Area 2.6	5.04 Acres		Barbeque/benches Park/trail system Open, informal turf/green area
Open Space Area 2.7	.76 Acres		Pedestrian paseo
Open Space Area 3.7 (Active-Adult Recreation Center)	30.33 Acres	1 50 1 2 10 to 12	Two wet/dry multi-purpose craft rooms Fitness/Aerobic room Community Theatre Ballroom/Dance Floor Resident Catering Kitchen Two Billard Tables Six lane Outdoor Lap Pool/Spa Tennis Courts Barbeque Area Administrative office space Walking Trails
Neighborhood 3.4 Park	0.37 Acres		Open turf area Other uses as determined by Active-Adult developer
TOTAL OPEN SPACE PROVISION:	62.52 ACRES		



2. Development Plan

Access to the Active-Adult community, Planning Area II and III, will be provided through a system of local connectors and a central road. The main entrance to the Active-Adult Community is planned via Fairway Drive, a broad boulevard with four travel lanes, a lush landscaped median and landscaped parkways (see Exhibit 2.6-3). This roadway which connects Oak View Drive with the primary Active-Adult Entry, includes individual entry monumentation and gatehouse. This Main Entry Approach and gatehouse concept are shown in Section 4.3.3 of the Precise Development Plan.

Three other local connectors provide secondary access to the Active-Adult Neighborhoods, both gated with cardkey access control. One connector, an extension of the proposed Golf Club Drive, links Oak Valley Parkway with the central collector road. The second connector links Brookside Avenue with the central collector road. These connectors are each designed with two vehicular travel lanes plus two combination golf cart/parking lanes as depicted on Exhibit 2.6-3. Golf carts are envisioned as a secondary means of transportation throughout the Active-Adult Community.

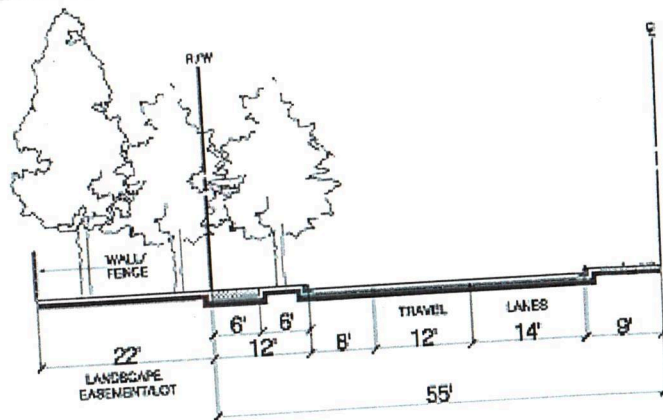
The collector road is the central organizing element of the Active-Adult community. It is designed to encourage a pedestrian-friendly environment that promotes neighborly interaction among the residents. The intentional dispersion of vehicular traffic, low traffic volume, low speeds (25 mph), and a golf-cart/parking lane all contribute to this unique promenade design (see Exhibit 2.6-3).

Brookside Avenue abutting the northern edge of the property, will be improved to its ultimate half-section, including an equestrian/pedestrian trail and tree windrow as depicted in Exhibit 2.6-3, Section G.

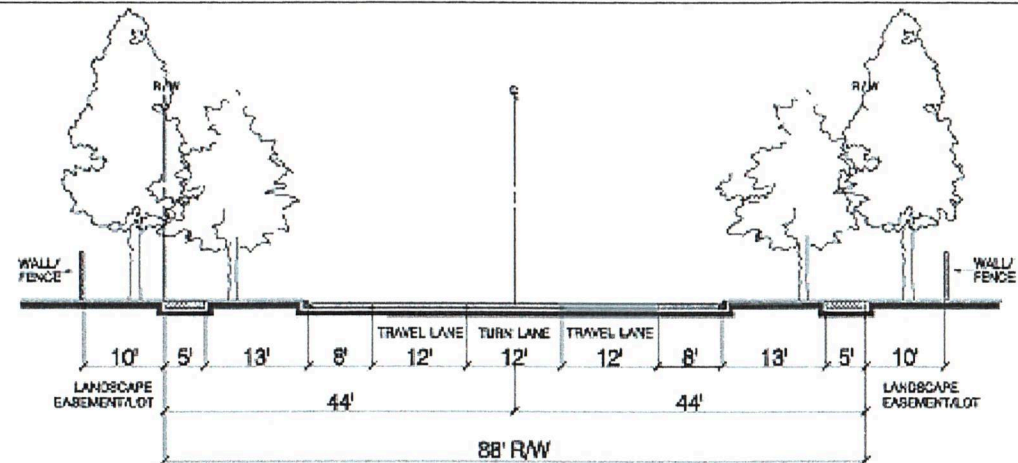
The final element of the backbone circulation system within Oak Valley Greens is the Neighborhood Spine Road which provides access into Planning Area II from Brookside Avenue. This street transitions into a local residential street south of Open Space Area 2.4, with a 40-foot pavement width within the 60-foot right of way, similar to all other local residential public streets in Planning Areas 1 (see Exhibit 2.6-4, Section E).

Neighborhood 2.4 will be served by Union-Hannon Streets on the northern border. This roadway will be minimally improved in order to maintain the rural character of the existing residential neighborhood. The eastern portion of the Neighborhood will be served by public street which connects to Union Street (see Exhibit 2.6-4).

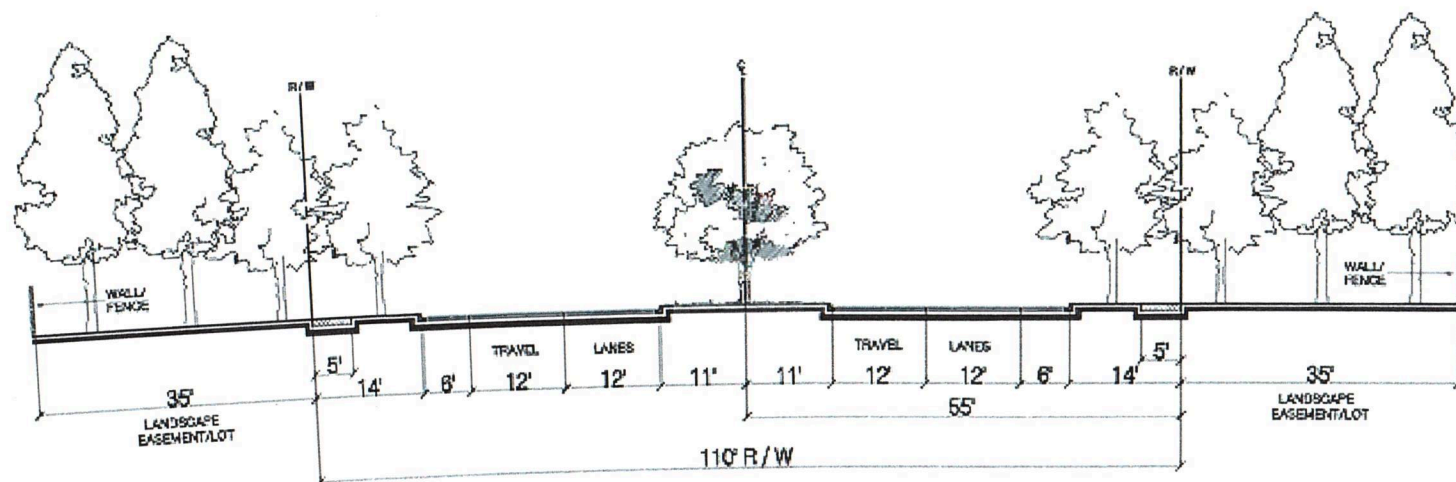
Local residential streets within the Active-Adult community will be private with a paved width of 32-feet within a 40-feet wide right-of-way, as depicted in Exhibit 2.6-4.



Oak Valley Parkway (14th Street) - Section A

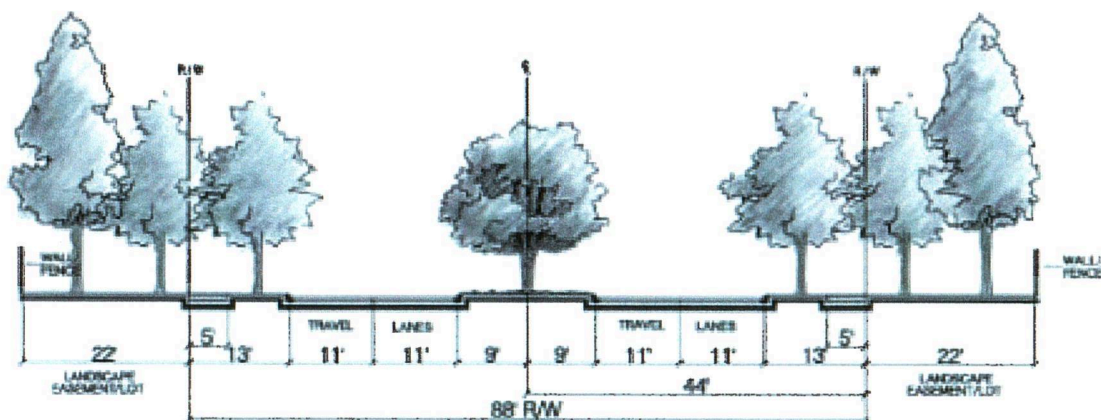


Oak View Drive (Modified Secondary Highway) - Section B

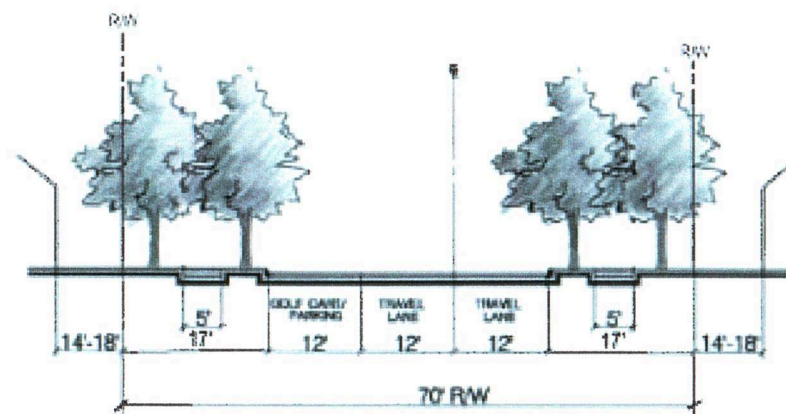


Oak View Drive (Enhanced) - Section C

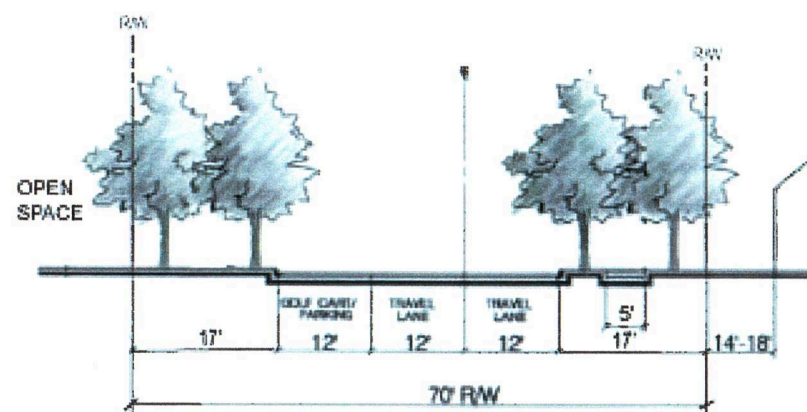
Exhibit 2.6-2
STREET SECTIONS A, B, and C



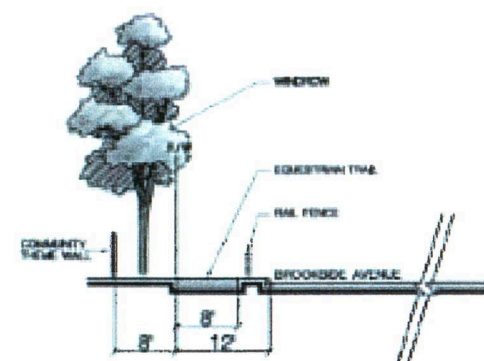
Main Entry Approach - Section D



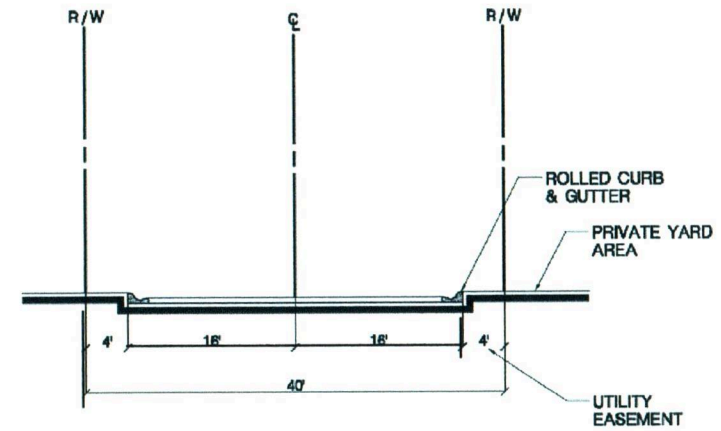
Active Adult Local Collector - Section E



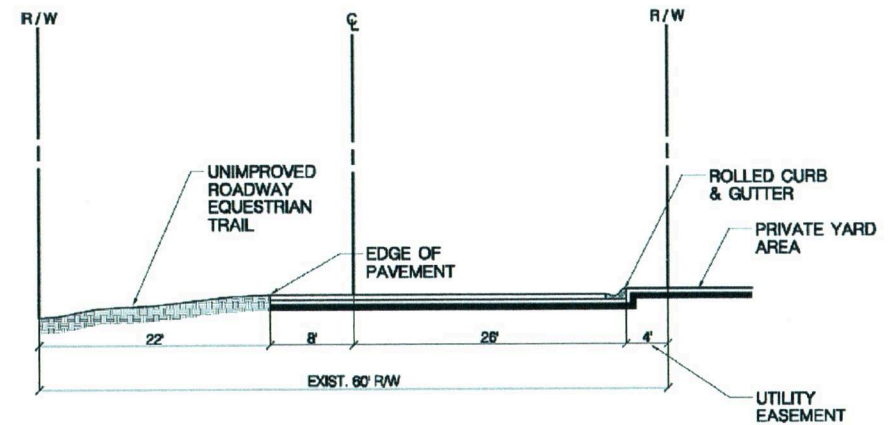
Active Adult Local Collector - Section F



Brookside Avenue - Section G



Local Street - ACTIVE ADULT
Typical Section



Union & Hannon Street - Section F

Exhibit 2.6-4

STREET SECTIONS F, and TYPICAL LOCAL STREET SECTION

2.7 COMMUNITY FACILITIES PLAN

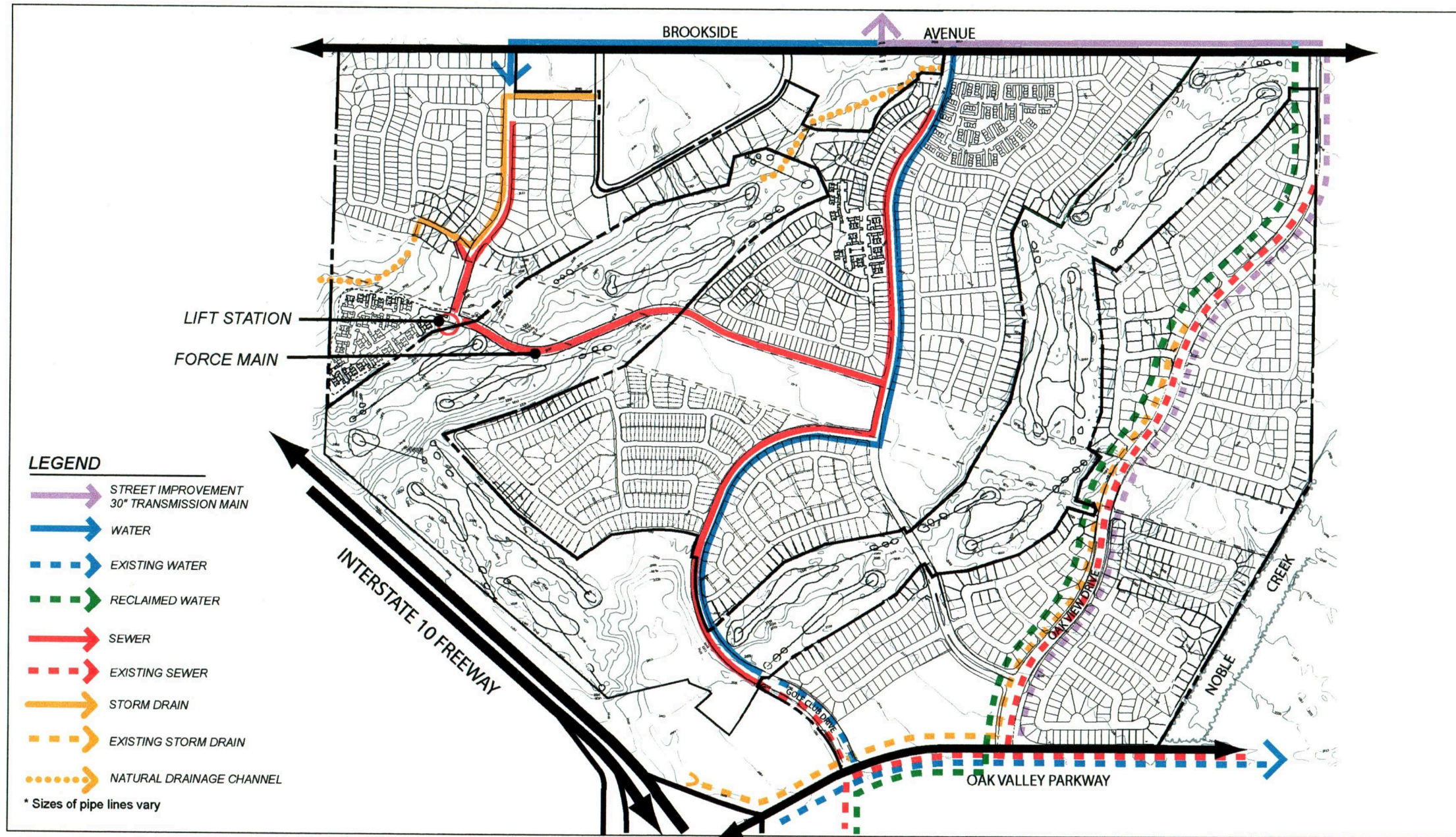
The Community Facilities Plan for Oak Valley Greens is depicted in Exhibit 2.7-1. This backbone infrastructure system includes the following components:

- All potable water line systems both in the collector roadways and individual neighborhoods;
- All street improvements;
- A reclaimed water main for the irrigation of parkways, parks, common landscape areas, open space, and golf course;
- Wastewater main, force main, and sewage lift station;
- Storm drains; and
- Gas, electricity, telephone, and cable TV.

The final location, design and sizing of these systems will be determined with the appropriate agency during the Tentative Tract Map stage.

2.8 CONCEPTUAL PHASING PLAN

The timing, sequence, and pace of development and construction of the Oak Valley Greens Planned Community will be determined by a number of factors beyond the control of the developer and/or builders. National and local economic conditions, market demand, access to capital, financial markets, and other outside influences can and likely will influence the phasing of development.



2. Development Plan

A general description of the phasing program as currently envisioned is outlined below, and is depicted in Exhibit 2.8-1. It is not intended to be prescriptive, but rather to provide one of several possible overviews of the general trend of the development process.

2.8.1 Development Area Phasing Plan

The initial phase(s) of development and construction may commence within Planning Area I Neighborhoods 1.1, 1.2 and 1.3, all consisting of single-family products on lots ranging in size from 5,000 to 7,000 square feet. Commercial Area 1.7 may be developed in the latter phase(s) of the Oak Valley Greens Planned Community.

The next phase of development may involve some portion or all of Planning Area III, the Active-Adult community. Due to market absorption rates, this portion of the community may be developed at a slower pace than the more traditional single-family product areas.

The third phase involves the development of Planning Area II.

Alterations of the above-described sequencing are possible and quite likely to occur. Development and construction of any area of the planned community out of sequence is permitted under this Precise Development Plan as long as the necessary infrastructure and service requirements are constructed prior to, or concurrently, with the development of each Neighborhood.

2.8.2 Park Phasing Plan

The construction of park improvements will proceed concurrently with the build-out of the adjacent residential neighborhoods. More specifically, the following milestones are identified for the timing of the individual respective park, recreation area, and open space elements.

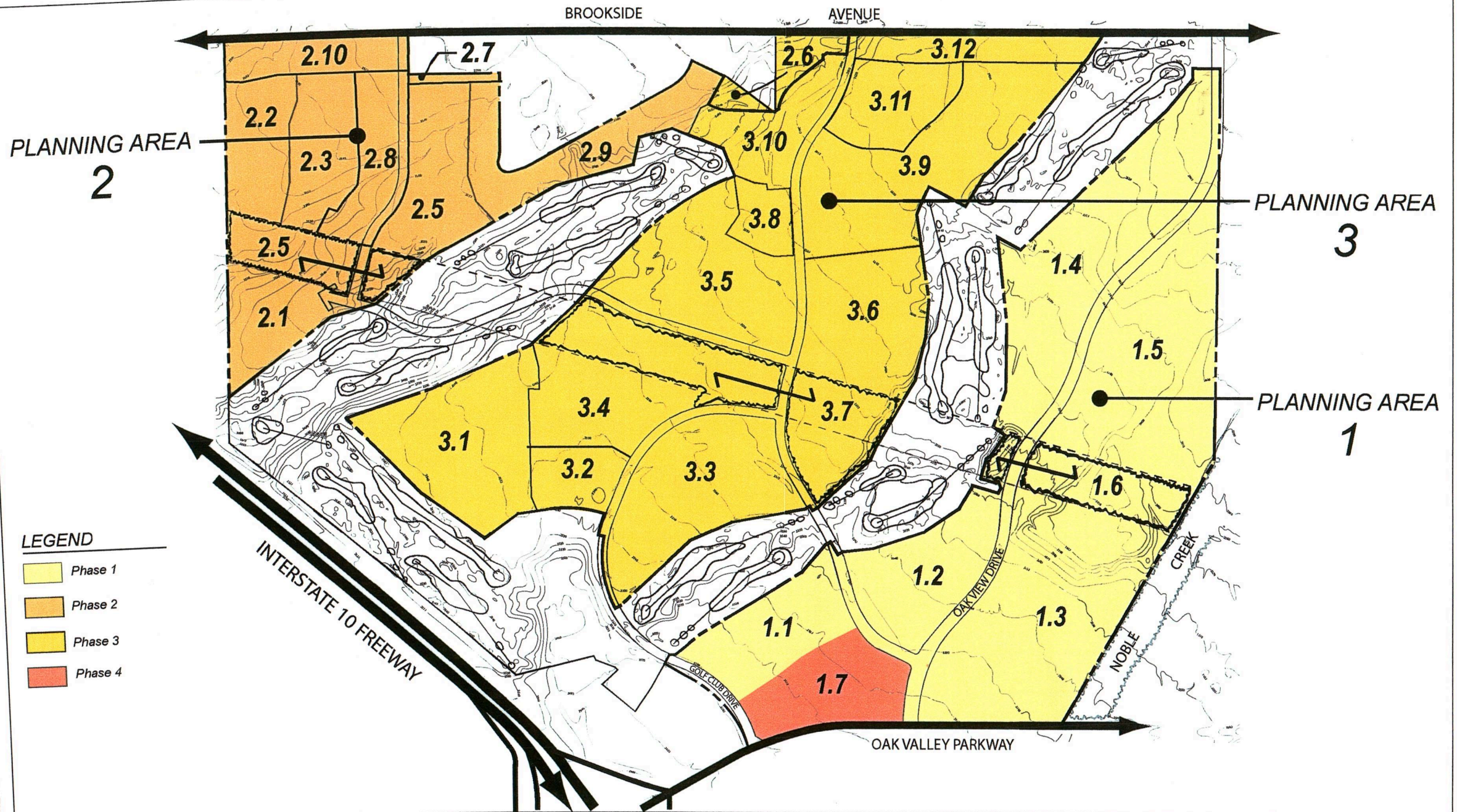


Exhibit 2.8-1
PHASING PLAN

2. Development Plan

1. Neighborhood 1.6 Park - Construction (i.e., fine grading) of this 16.0-acre neighborhood park will commence no later than the issuance of the 210th building permit (cumulative) for any residential tracts in Neighborhoods 1.1, 1.2 and 1.3. This represents the build-out for approximately 50% of these Neighborhoods. Full park improvements will be substantially completed prior to either of the following scenarios, whichever event occurs first:

- a. the issuance of the 320th building permit for any residential tracts in Neighborhoods 1.1, 1.2 and 1.3; or,
- b. the issuance of the 80th building permit (cumulative) for any residential tracts in Neighborhoods 1.4 and 1.5 (*this represents 25% build-out for these two Neighborhoods*).

2. Neighborhood 2.6 Park - Construction (i.e., fine grading) of this neighborhood park will commence no later than the issuance of the 210th building permit (cumulative) for any residential tracts in Neighborhood 2.1, 2.2, 2.3 and 2.4. This represents 50% build-out of these Neighborhood. Full park improvements will be substantially completed prior to the issuance of the 320th building permit (cumulative) for any residential tracts in these Neighborhoods.

3. Neighborhood 2.5 Park - Construction (i.e., fine grading) of this neighborhood park will commence no later than the issuance of the 17th building permit (cumulative) for any residential tracts in Neighborhoods 2.9. This represents 50% build-out for these Neighborhoods. Full Park improvements will be substantially completed prior to the issuance of the 26th building permit (cumulative) for any residential tracts in these Neighborhoods.

4. Open Space Area 3.7 - Construction (i.e., fine grading) of this 26.1-acre park area will commence no later than the issuance of the 250th building permit (cumulative) for any residential tracts in Neighborhoods 3.1, 3.2, 3.3, 3.4, and 3.5, which represents 50% build-out for these Neighborhoods. Full improvements will be substantially completed prior to the issuance of the 410th building permit (cumulative) for any residential tracts in any Active-Adult Neighborhoods, which represents 50% of total build-out for all of Planning Area III.



DEVELOPMENT STANDARDS AND REGULATIONS
CHAPTER 3

3 DEVELOPMENT STANDARDS AND REGULATIONS

3.1 INTRODUCTION

The following provisions establish development standards for each Planning Area in the Oak Valley Greens Precise Development Plan. The Development Standards and Regulations are intended to provide direction for property owners and designers involved in the design and construction of site improvements. Chapter 4, Community Design Guidelines, provides site planning and design guidelines for residential units, the recreation areas, parks, trails, and open space.

3.1.1 Applicability

These Development Standards and Regulations shall be applicable to all property within the Oak Valley Greens Precise Development Plan area. Permits for land development shall be issued only when it has been determined by the City (all departments, officials, or public employees vested with the authority to issue permits or licenses), that the proposed land uses are in conformance with the provisions of the Precise Development Plan.

3.1.2 Interpretation

The provisions of this Precise Development Plan shall be held to be minimum requirements in their application and interpretation. The City of Beaumont Planning Director shall interpret the Oak Valley Greens Precise Development Plan. If there is disagreement in the interpretation of the provisions of the Precise Development Plan between the City of Beaumont Planning Director and the project proponent, then the Planning Director shall interpret the intent by review of the proposal, or by procedures set forth in Section 5 of this Precise Development Plan.

3. DEVELOPMENT STANDARDS AND REGULATIONS

3.2 GENERAL RESIDENTIAL PROVISIONS

3.2.1 Purpose and Intent

The purpose of the residential land classification is to provide areas for residential development, as well as permissible public or private parks and open space areas.

3.2.2 Applicability

The standards in this section apply to all residential Neighborhoods in Oak Valley Greens.

3.2.3 Principal Permitted Uses

1. Single-family residential dwelling units.
2. Duplexes, multi-family.
3. Single-family attached residential dwelling units.

3.2.4 Accessory Building Uses

Accessory buildings and structures, including detached private garages and storage structures (sheds), shall be developed under the following site development standards:

1. Accessory buildings greater than one (1) story (fourteen feet in height) shall not occupy any part of a required yard and no accessory building shall occupy more than twenty (20) percent of a required rear yard. All accessory structures shall maintain a minimum five- (5) foot setback from any property lines.

3. DEVELOPMENT STANDARDS AND REGULATIONS

2. Accessory buildings shall not be located closer than ten (10) feet to the nearest part of a main building in order to maintain sufficient lighting and ventilation.
3. No accessory building shall occupy a portion of a required front or side yard, except casitas.
4. In the case of a reversed corner lot, no accessory structure shall be erected upon such lot closer than five (5) feet to the property line of any abutting lot to the rear.

3.2.5 Temporary Permitted Uses

The following uses are permitted subject to the approval of a Temporary Use Permit by the Planning Director:

1. Temporary real estate tract office and/or mobile homes located within a subdivision, to be used only for and during the original sale and/or construction of the subdivision, but not to exceed a period of five years in any event, unless an extension is approved by the Planning Commission.
2. Nurseries, or other horticultural facilities areas used during development of the Oak Valley Greens site to facilitate project development.
3. Model complexes.
4. Temporary construction offices, yards, and facilities.
5. Other temporary uses as approved by the Planning Director limited to uses necessary for the orderly development of the project as set forth herein.

3. DEVELOPMENT STANDARDS AND REGULATIONS

3.3.1 Attached Single-Family ⁽¹⁾

This land use category typically includes courtyard homes, duplexes, triplex homes, townhomes, and condominiums. Site planning guidelines for all attached residential developments are set forth in Section 4.2.3. The development standards for attached dwellings are described below, and are applicable to residential development in Neighborhoods 3.3 and 3.4 of Oak Valley Greens.

RESIDENTIAL DEVELOPMENT TYPE	MINIMUM LAND AREA/UNIT (SQ. Ft.)	DEVELOPMENT STANDARDS REQUIRED SETBACKS			MAXIMUM BUILDING HEIGHTS
		FRONT YARD (MAIN STRUCTURE)	SIDE YARD (EACH SIDE)	REAR YARD	
ATTACHED	N/A	12 MIN (1)	5 MIN (2), (3), (4), (5)	10 MIN	35

(1) Front entry garage: 5' minimum, 7' maximum, or 18' or greater; Side entry garage: 12' minimum
 (2) 10' minimum building to building separation.
 (3) 10' minimum adjacent to public street.
 (4) 0' minimum for clustered single-family detached and attached buildings, when one side of two adjacent buildings has no windows or 0' set back with min. 10' opposite side. 10' minimum for clustered single-family detached and attached buildings when, kitchen/family area faces toward zero lot line building with no windows.

- **Parking:** Parking shall be in conformance with Chapter 17.55 of the Beaumont Municipal Code.
- **Trash:** All trash collection areas shall be enclosed with a solid fence or wall, and solid gates, no less than 6 feet high.
- **Landscaping:** Landscaping shall be required per Section 4.3 of the Oak Valley Greens Precise Development Plan, and Chapter 17.65 of the Beaumont Municipal Code.
- **Maximum Building Height:** 35 feet.

(1) Flag lots are permitted in all neighborhoods.

3. DEVELOPMENT STANDARDS AND REGULATIONS

3.2.6 Conditional Permit Uses

The following uses are permitted subject to the approval of a Conditional Use Permit by the Planning Commission. The approval may include conditions requiring fencing and landscaping of the parcel to further enhance compatibility with the surrounding area.

1. Zero-lot line or cluster residential development alternatives to traditional residential street layouts in areas not concurrently designated for cluster development by the Precise Development Plan, will be permitted through Conditional Use Permit review in accordance with Section 17.70 of the Beaumont Municipal Code. Densities may not exceed total Planning Area allowances described in Exhibit 2.1-3. All residential site development standards shall apply except that one interior yard setback requirement may be reduced to zero (0) feet.
2. Temporary Homefinder / Sales and Design Center.
3. Condominiums.

3.2.7 Public Uses

The following uses are permitted in all residential Neighborhoods subject to the approval of a Public Use Permit by the Planning Commission pursuant to Section 17.70.100 of the Beaumont Municipal Code.

1. Private schools, utilities, and educational institutions and churches.

3.3 RESIDENTIAL DEVELOPMENT STANDARDS

The Development Standards contained herein apply to all residential areas within Oak Valley Greens. Exhibit 3.3-1 details the development products permitted within each residential Neighborhood. All development shall comply with the standards contained in this Precise Development Plan.

3. DEVELOPMENT STANDARDS AND REGULATIONS

3.3.2 Detached Single-Family

Lot configurations shall conform to the neighborhood applicability standards set forth in the Residential Zone Categories Matrix in Exhibit 3.3-1. Development standards for each lot size and type are set forth in the following sections of the Development Standards. Site planning guidelines for single-family detached dwellings are described in Section 4.2.2 of this Precise Development Plan.

3. DEVELOPMENT STANDARDS AND REGULATIONS

**Table 3.3-1
Residential Development Matrix**

Planning Area/ Neighborhood	Maximum Number of Dwelling Units	Residential							Attached H
		A	B	C	Product Detached D	Type E	F	G	
Planning Area I									
Neighborhood 1.1	73	.	.	.	.	.	.	.
Neighborhood 1.2	64	.	.	.	.	.	.	.
Neighborhood 1.3	202	.	.	.	.	.	.	.
Neighborhood 1.4	134	.	.	.	.	.	.	.
Neighborhood 1.5	154	.	.	.	.	.	.	.
Planning Area II									
Neighborhood 2.1	168								
Neighborhood 2.2	84	.	.	.	.	.	.	.
Neighborhood 2.3	63	.	.	.	.	.	.	.
Neighborhood 2.4	38	.	.	.	.	.	.	.
Neighborhood 2.8	48	.	.	.	.	.	.	.
Neighborhood 2.9	19	.	.	.	.	.	.	.
Neighborhood 2.10	26	.	.	.	.	.	.	.
Planning Area III									
Neighborhood 3.1	124	.	.	.	.	.	.	.
Neighborhood 3.2	57	.	.	.	.	.	.	.
Neighborhood 3.3	109	.	.	.	.	.	.	.
Neighborhood 3.4	128	.	.	.	.	.	.	.
Neighborhood 3.5	166	.	.	.	.	.	.	.
Neighborhood 3.6	91	.	.	.	.	.	.	.
Neighborhood 3.8	88	.	.	.	.	.	.	.
Neighborhood 3.9	172	.	.	.	.	.	.	.
Neighborhood 3.10	46	.	.	.	.	.	.	.
Neighborhood 3.11	164	.	.	.	.	.	.	.
Neighborhood 3.12	28	.	.	.	.	.	.	.
Total	2,281								

- Permitted
- X Permitted, subject to approval by the Planning Director

RESIDENTIAL PRODUCT TYPE

Single Family Detached

A SFD	30,000 sq. ft. Lot Minimum
B SFD	10,000 sq. ft. Lot Minimum
C SFD	8,000 sq. ft. Lot Minimum
D SFD	7,000 sq. ft. Lot/Pad Minimum
E SFD	6,000 sq. ft. Lot/Pad Minimum
F SFD	5,000 sq. ft. Lot/Pad Minimum
G SFD	4,000 sq. ft. Lot/Pad Minimum (per unit)
H SFA	Courtyard product/Duplex

Single Family Attached

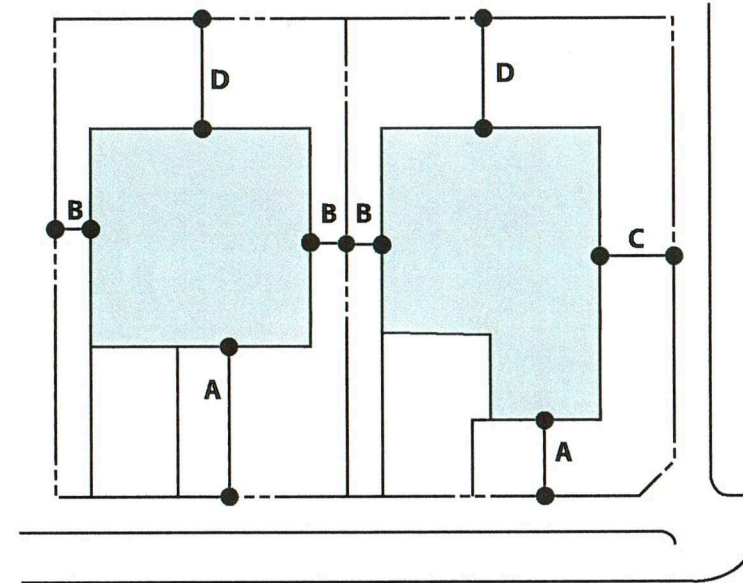
3. DEVELOPMENT STANDARDS AND REGULATIONS

20,000 S.F. MINIMUM LOTS (1)

Product Type:	Single-Family Home/Detached
Minimum Lot Size:	20,000 square feet
Minimum Pad Size:	8,000 square feet
Minimum Lot Width:	80 feet (25 ft on cul-de-sac lots)(2)
Minimum Lot Depth:	100 feet
Maximum Permitted Lot Coverage: (3)	40 %
Maximum Building Height:	35 feet
Parking:	Minimum two (2) car garage required
Building Setbacks:(4)	
A. Front Yard:	20 feet; 12 feet if side entry garage or covered porch
B. Interior Side Yard:	7 feet minimum
C. Corner Lot Street Side Yard:	12 feet
D. Rear Yard: 20 feet;	20 feet; 10 feet for accessory structures

10,000 S.F. MINIMUM LOTS

Product Type:	Single-Family Home/Detached
Minimum Lot Size:	10,000 square feet
Minimum Pad Size:	7,000 square feet
Minimum Lot Width:	70 feet (25 ft on cul-de-sac lots) ₁
Minimum Lot Depth:	100 feet
Maximum Permitted Lot Coverage:(2)	40 %
Maximum Building Height:	35 feet
Parking:	Minimum two (2) car garage required
Building Setbacks:(3)	
A. Front Yard: 20 feet;	12 feet if side entry garage or covered porch
B. Interior Side Yard:	7 feet minimum
C. Corner Lot Street Side Yard:	12 feet
D. Rear Yard: 20 feet;	10 feet for accessory structures



(1) Minimum lot size 30,000 on lots fronting on the Union and Hannon Streets.

(2) Lot width measured at right-of way line of the lot.

(3) Lot coverage refers to the amount of buildable pad area that can be covered by a structure.

(4) Architectural features such as fireplaces, chimneys, niches, bay windows, eaves, cornices, columns, buttresses, wing walls, etc., which do not create additional floor area may project into the required setback a maximum of 2 feet.

3. DEVELOPMENT STANDARDS AND REGULATIONS

8,000 S.F. MINIMUM LOTS

Product Type:

Single-Family Home/Detached

Minimum Lot Size:

8,000 square feet

Minimum Pad Size:

8,000 square feet

Minimum Lot Width:

60 feet (25 ft on cul-de-sac lots)⁽¹⁾

Minimum Lot Depth:

90 feet

Maximum Permitted Lot Coverage:⁽²⁾

50 %

Maximum Building Height:

35 feet

Parking:

Minimum two (2) car garage required

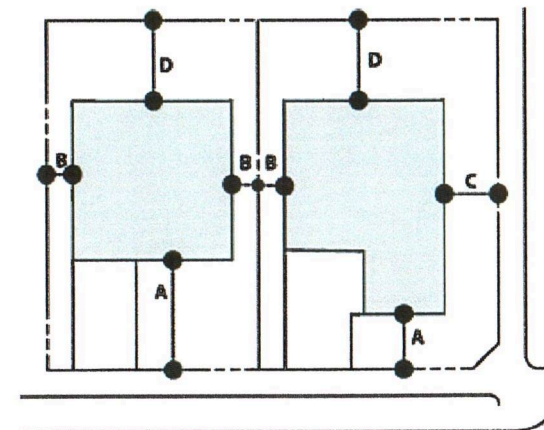
Building Setbacks:⁽³⁾

A. Front Yard: 20 feet; 12 feet if side entry garage or covered porch

B. Interior Side Yard: 5 feet minimum

C. Corner Lot Street Side Yard: 10 feet

D. Rear Yard: 20 feet; 10 feet for accessory structures



7,000 S.F. MINIMUM LOTS

Product Type:

Single-Family Home/Detached

Minimum Lot Size:

7,000 square feet

Minimum Pad Size:

7,000 square feet

Minimum Lot Width:

60 feet (25 ft on cul-de-sac lots)⁽¹⁾

Minimum Lot Depth:

90 feet

Maximum Permitted Lot Coverage:⁽²⁾

50 %

Maximum Building Height:

35 feet

Parking:

Minimum two (2) car garage required

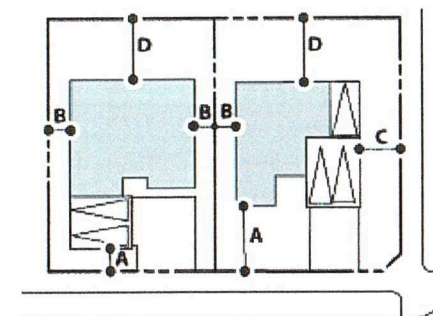
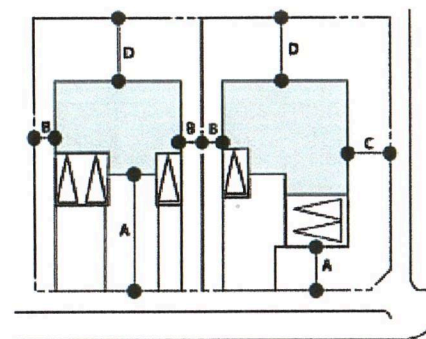
Building Setbacks:⁽³⁾

A. Front Yard: 20 feet; 12 feet if side entry garage or covered porch

B. Interior Side Yard: 5 feet minimum

C. Corner Lot Street Side Yard: 10 feet

D. Rear Yard: 20 feet; 5 feet for accessory structures



⁽¹⁾ Lot width measured at right-of-way line of the lot.

⁽²⁾ Lot coverage refers to the amount of buildable pad area that can be covered by a structure.

⁽³⁾ Architectural features such as fireplaces, chimneys, niches, bay windows, eaves, cornices, columns, buttresses, wing walls, etc., which do not create additional floor area may project into the required setback a maximum of 2 feet.

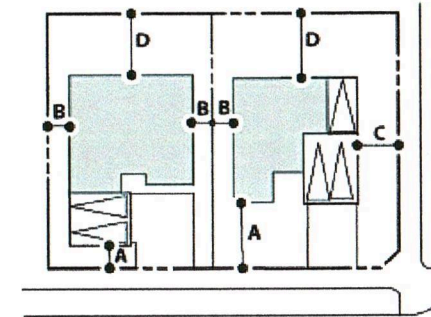
3. DEVELOPMENT STANDARDS AND REGULATIONS

6,000 S.F. MINIMUM LOTS ⁽¹⁾

Product Type:	Single-Family Home/Detached
Minimum Lot Size:	6,000 square feet
Minimum Pad Size:	6,000 square feet
Minimum Lot Width:	55 feet (25 ft on cul-de-sac lots) ⁽²⁾
Minimum Lot Depth:	90 feet
Maximum Permitted Lot Coverage: ⁽³⁾	50 %
Maximum Building Height:	35 feet
Parking:	Minimum two (2) car garage required

Building Setbacks:⁽⁴⁾

- A. Front Yard: 20 feet; 12 feet if side entry garage or covered porch
- B. Interior Side Yard: 5 feet minimum
- C. Corner Lot Street Side Yard: 10 feet
- D. Rear Yard: 15 feet; 5 feet for accessory structures

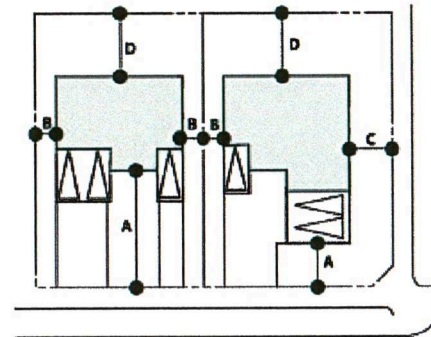


5,000 S.F. MINIMUM LOTS ⁽¹⁾

Product Type:	Single-Family Home/Detached
Minimum Lot Size:	5,000 square feet
Minimum Pad Size:	5,000 square feet
Minimum Lot Width:	45 feet (20 ft on cul-de-sac lots) ⁽¹⁾
Minimum Lot Depth:	80 feet
Maximum Permitted Lot Coverage: ⁽²⁾	50 %
Maximum Building Height:	35 feet
Parking:	Minimum two (2) car garage required

Building Setbacks:⁽³⁾

- A. Front Yard: 20 feet; 12 feet if side entry garage or covered porch
- B. Interior Side Yard: 5 feet minimum
- C. Corner Lot Street Side Yard: 10 feet
- D. Rear Yard: 15 feet; 5 feet for accessory structures
- E. 25' minimum lot frontage around cul-de-sac and knuckles



⁽¹⁾ Lot width measured at right-of-way line of the lot.

⁽²⁾ Lot coverage refers to the amount of buildable pad area that can be covered by a structure.

⁽³⁾ Architectural features such as fireplaces, chimneys, niches, bay windows, eaves, cornices, columns, buttresses, wing walls, etc., which do not create additional floor area may project into the required setback a maximum of 2 feet.

3. DEVELOPMENT STANDARDS AND REGULATIONS

3,000 S.F. MINIMUM DUPLEX LOTS

Product Type:	Single-Family Home Duplex
Minimum Lot Size:	3,000 square feet
Minimum Pad Size:	2,500 square feet (land area per unit)
Minimum Lot Width:	30 feet (20 ft on cul-de-sac lot ⁽¹⁾)
Minimum Lot Depth:	90 feet
Maximum Permitted Lot Coverage:⁽²⁾	60 %
Maximum Building Height:	35 feet
Parking:	Minimum one (1) car garage required

Building Setbacks:⁽³⁾

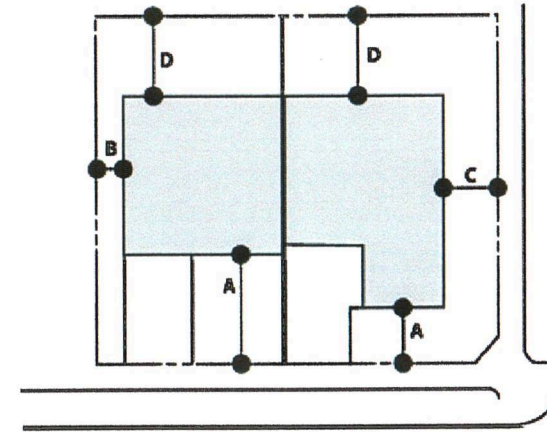
- A. Front Yard: 20 feet; 10 feet if side entry garage or covered porch
- B. Interior Side Yard: 0 feet if common wall; 5 feet if no common wall
- C. Corner Lot Street Side Yard: 10 feet
- D. Rear Yard: 15 feet; 5 feet for accessory structures

4,000 S.F. MINIMUM LOT

Product Type:	Single-Family Home Duplex
Minimum Lot Size:	4,000 square feet
Minimum Pad Size:	3,500 square feet (land area per unit)
Minimum Lot Width:	35 feet (20 ft on cul-de-sac lot ⁽¹⁾)
Minimum Lot Depth:	90 feet
Maximum Permitted Lot Coverage:⁽²⁾	60 %
Maximum Building Height:	35 feet
Parking:	Minimum one (1) car garage required

Building Setbacks:⁽³⁾

- A. Front Yard: 20 feet; 10 feet if side entry garage or covered porch
- B. Interior Side Yard: 0 feet if common wall; 5 feet if no common wall
- C. Corner Lot Street Side Yard: 10 feet
- D. Rear Yard: 15 feet; 5 feet for accessory structures
- E. Minimum 20' frontage on cul-de-sacs and knuckles



(1) Lot width measured at right-of-way line of the lot.

(2) Lot coverage refers to the amount of buildable pad area that can be covered by a structure.

(3) Architectural features such as fireplaces, chimneys, niches, bay windows, eaves, cornices, columns, buttresses, wing walls, etc., which do not create additional floor area may project into the required setback a maximum of 2 feet.

(4) Minimum lot frontage at cul-de-sacs and knuckles 20' for duplex lots.

3. DEVELOPMENT STANDARDS AND REGULATIONS

3.4 COMMERCIAL DEVELOPMENT STANDARDS

These standards apply to all commercial development within Oak Valley Greens. The standards contained herein, and those in Beaumont Municipal Code Section 17.40.300 apply to only Neighborhood 1.7 of the Oak Valley Greens Precise Development Plan. All commercial uses within Oak Valley Greens are subject to Plot Plan approval by the Planning Commission. Commercial site planning guidelines are described further in Section 4.2.4 of this Precise Development Plan.

3.4.1 Permitted Uses

1. Commercial Uses:

Commercial uses in this zone include all uses which can be characterized as:

- a. Providing any variety of goods and services to the surrounding community as set forth in Section 17.40.300 of the Beaumont Municipal Code;
- b. Providing adequate traffic circulation improvements and parking facilities for the customers of these commercial uses; and
- c. Having operating hours which maximize — to the extent possible — the use by the residences in the area to these commercial uses.

3.4.2 Accessory Permitted Uses

All manufacturing, processing, or compounding of products, other than those activities found by the Planning Director to be customarily incidental or essential to the primary commercial use, shall not be permitted.

3. DEVELOPMENT STANDARDS AND REGULATIONS

3.4.3 Temporary Permitted Uses

The following uses are permitted subject to the approval of a Temporary Use Permit by the Planning Director:

1. Temporary real estate tract office and/or mobile homes to be used only for and during the original sale and/or construction of the subdivision, but not to exceed a period of five years in any event, unless an extension is approved by the Planning Commission.
2. Nurseries or other horticultural facilities used during development of the Oak Valley Greens site to facilitate project development.
3. Temporary construction offices.
4. Other temporary uses as approved by the Planning Director limited to uses necessary for the orderly development of the project as set forth herein.

3.4.4 Conditionally Permitted Uses

The following uses are permitted subject to the approval of a Conditional Use Permit pursuant to Chapter 17.10 of the Beaumont Municipal Code.

1. Bars, cocktail lounges, and entertainment facilities (including but not limited to: dancing clubs, roller skating rinks, ice skating rinks, live performing theaters and movie theaters).
2. Any retail establishment which sells alcoholic beverages for off-site consumption.
(Ord. 756 §2, 1995)

3. DEVELOPMENT STANDARDS AND REGULATIONS

3.4.5 Site Development Standards

1. Lot Area: Lot size shall not be less than 10,000 square feet, with a minimum average lot width of 100 feet, and a minimum average lot depth of 100 feet, unless larger minimum lot area and dimensions are specified for a particular area or use.

2. Street Setbacks:

- Oak Valley Parkway (14th Street): 25 feet minimum, fully landscaped.
- Golf Club Drive: 25 feet minimum, fully landscaped.
- Oak View Drive: 25 feet minimum, fully landscaped.

3. Building Setbacks:

- Front: 50 feet if parking is provided in front of a business; 25 feet if parking is provided in an alternate location and the setback is fully landscaped.
- Rear: 10 feet; 25 feet minimum where property abuts a residential development.⁽¹⁾
- Side: 10 feet; 25 feet minimum where property abuts a residential development.⁽¹⁾
- Corner Side: 25 feet (fully landscaped).

4. Parking: Parking spaces shall be in conformance with Chapter 17.55 of the Beaumont Municipal Code.

5. Trash: Precise design of all trash collection areas shall be approved by the Planning Director.

6. Signs: Signs shall be permitted and regulated by the provisions of Chapter 17.60 of the Beaumont Municipal Code.

7. Landscaping: Landscaping shall be required per Chapter 17.65 of the Beaumont Municipal Code. Landscaping shall be strategically located to provide shade and aesthetic quality to development in this Neighborhood. There shall be a minimum 25-foot landscaped setback from all property lines.

(1) Setback must be fully landscaped and enclosed by a sound/screen wall to buffer residential development.

3. DEVELOPMENT STANDARDS AND REGULATIONS

8. Maximum Building Height: 35 feet.
9. Off-Street Improvements: Off-street improvements shall be in conformance with Section 17.75 of the Beaumont Municipal Code.
10. A minimum 6-foot high solid decorative block wall shall be placed on all property lines which abut residential Neighborhoods.

3.5 GENERAL OPEN SPACE DEVELOPMENT STANDARDS

The purpose of the open space, parks, and recreation land use classification is to permit the development of park and open space uses in appropriate locations within Oak Valley Greens. These Standards apply to parks and open spaces located within all of the Neighborhoods of the Precise Development Plan. Site planning standards for open space, park, and recreation areas are described further in Section 4.2.5 of this Precise Development Plan.

Oak Valley Greens will provide for 66.21 acres of neighborhood parks and open space areas, as specified by the Precise Development Plan, shown in Exhibit 2.5-1. The design of all open space areas located within the Southern California Edison Utility Easement will be approved by Southern California Edison. All open space areas will be maintained by a Community Facilities District, Landscape and Lighting Maintenance District, or Property Owners' Association.

The following uses are permitted in open space, park, and recreation areas:

- Picnic areas
- Barbeque areas with grills
- Basketball court (half or full)
- Volleyball court
- Tennis courts
- Community swimming pool
- Tot-lot
- Adventure play
- Shuffleboard courses
- Restrooms
- Equipment or storage building
- Parking lot
- Bicycle racks/storage
- Shade arbor
- Pedestrian trails
- Community recreation center/association building
- Additional recreation uses that are determined to be "substantially similar" to the listed examples and in complete accord with the purpose and intent of the open space, parks and recreation areas.

3. DEVELOPMENT STANDARDS AND REGULATIONS

3.5.1 Development Standards

1. Lot Area: There is no minimum lot area requirement for open space, park, and recreation areas.
2. Parking: On-site parking shall be provided in accordance with Chapter 17.55 of the Beaumont Municipal Code or as deemed appropriate by City Staff to satisfy demand.
3. Trash: All trash collection areas shall be enclosed with a solid fence or wall. The Planning Director will have final approval of the precise design of these areas.
4. Landscaping: Landscaping shall be provided in accordance with Section 17.65.205 of the Beaumont Municipal Code. Landscaping areas should be used to buffer parks from adjacent residential areas while allowing for framed views from residential areas.
5. Signage: The provisions of Section 17.60.100 of the Beaumont Municipal Code shall apply.



COMMUNITY DESIGN GUIDELINES
CHAPTER 4

4 COMMUNITY DESIGN GUIDELINES

Oak Valley Greens is designed as a safe, livable, residential, and recreation-based community. These guidelines are intended to set a direction for distinctive, high-quality residential, commercial, and open space developments. These guidelines give specific direction as to styles and themes of development, yet are general enough to allow the individual developer and/or builder flexibility to interpret changes in consumer tastes and market conditions. Although individual interpretation and character are encouraged, builders and designers should review the following design guidelines and standards to examine the relationship which their particular site has to the entire Oak Valley Greens community, and to incorporate all applicable provisions of these guidelines into their projects.

More specifically, the purpose of these Community Design Guidelines is:

- To provide community design criteria for use by builders, planners, architects, landscape architects, civil engineers, and other project area builders/developers;
- To provide specific design criteria that encourages the development of a desirable living environment which will help to maintain and enhance the community's value over time;
- To create a "country club" character as an overall community theme in Oak Valley Greens; and
- To allow each Neighborhood in Oak Valley Greens to establish its own individual identity, yet blend with the overall community theme.

This chapter of the Precise Development Plan is divided into the following sections:

- Community Design Concept, Section 4.1;
- Site Planning Guidelines, Section 4.2;
- Landscape Architecture Guidelines, Section 4.3; and
- Architectural Guidelines, Section 4.4.

4. COMMUNITY DESIGN GUIDELINES

4.1 COMMUNITY DESIGN CONCEPT

Careful planning has been given to integrate the structural and aesthetic elements of an active community. A central theme has been devised to ensure that this carefully considered plan is implemented in a manner that will bring Oak Valley Greens a sense of its own character and ambiance. It is further intended that this theme be expressed in coordination with the project setting, which serves as a basis around which key elements of the community can be developed.

The Precise Development Plan establishes the planned unit development with a traditional country club theme, the intent of which is to create an environment that responds to the increasing demand for well planned residential communities oriented to the active, recreation-rich Southern California lifestyle. This community theme establishes a harmonious blend of traditional architectural styles, landscape concepts, entry monumentation, and theme walls and fences, which are designed to integrate with the active recreational advantages provided by the golf and the park programs. The overall atmosphere at Oak Valley Greens will be the cumulative effect of quality design and construction, and a controlled landscape hierarchy that includes multiple golf course references and images as the predominant theme. This will allow the community to develop its own sense of identity, while preserving the "traditionalist look" of the classic golf-related neighborhoods of California.

It is the purpose of the Community Design Guidelines to ensure that the overall design theme is implemented in a clear, concise, and aesthetically consistent manner. Care and consideration have been given in developing these guidelines to ensure the creation and enhancement of a new aesthetically pleasing community with an emphasis on outdoor lifestyle and recreational opportunities in the City of Beaumont.

4.2 SITE PLANNING GUIDELINES

The Site Planning Guidelines of the Precise Development Plan are intended to promote a community that will have a clear identity and sense of place, and that will meet the needs of residents by providing a harmonious and pleasing environment for all uses and activities. These guidelines will provide direction to planners, architects, and landscape architects for key design components of the Oak Valley Greens community. The guidelines are formulated to provide quantitative criteria on appropriate aspects of physical development, as well as qualitative guidance on aspects of how buildings, landscaping, hardscape, and signage may positively affect the land, residents, and visitors.



4. COMMUNITY DESIGN GUIDELINES

4.2.1 General Guidelines

The following site planning guidelines are applicable for every Planning Area within Oak Valley Greens, and should be applied wherever feasible throughout the community. Generally, the plan will contain residential, commercial, open space, and recreational land uses which follow the guidelines set forth below.

1. Residential streets should be designed to direct traffic to the arterial and/or collector street system as safely as possible.
2. Design solutions for residential street layouts should consider land form, grades, and circulation hierarchy and employ appropriate street configurations.
3. Creative siting, design element configuration, and landscaping solutions which attempt to blend structures into the terrain should be utilized to the extent possible.
4. Entries to residential developments should be visually reinforced through techniques such as landscape treatments, monument signage, and/or pavement details.
5. Encourage projects adjacent to the golf course to be integrated and blended using treatments such as undulating edges, varied rear yard setbacks, and landscape treatments to tie the golf course with the residential edge.

4.2.2 Single-Family Detached Residential

The following site planning guidelines apply generally to all single-family detached residential development within Oak Valley Greens. Lot configurations should conform to the Development Standards and Guidelines set forth in Section 3.3 of this Precise Development Plan.

1. Residential development should be sited to respect the natural landforms through sensitive grading design.

4. COMMUNITY DESIGN GUIDELINES

2. Low retaining walls are acceptable when they result in either a reduction in manufactured slope area and/or increase in the usable site area, provided that they are adequately screened or landscaped.
3. Curvilinear streets and cul-de-sacs should be utilized whenever possible for visual interest and safety. These cul-de-sacs should be designed to promote interaction and child recreation within the individual Neighborhoods.
4. Varying lot widths and configurations, as well as cul-de-sacs and corners should be utilized to promote a varied residential character.
5. Homes should be arranged, whenever possible, in a staggered and variable setback fashion to provide visual interest and avoid repetitive appearance and facades and yards.
6. Sidewalks in conventional housing should be separated from the curb by a parkway of sufficient width to accommodate appropriate landscaping, and to promote activity and interaction among residents of and between the Neighborhoods.
7. Varied driveway locations are encouraged to break up repetitive curb cuts and yard patterns.
8. Combinations of one-story units are encouraged to create yard variation and visual interest.
9. Safe and convenient circulation connections should be provided between housing areas and parks.
10. Common area fencing, walls, gates, and other security features should be designed to facilitate access to the pedestrian areas and parks/open space.
11. Rear or side elevations of residential units should be enhanced where visible from public open spaces.



Typical Single Family Detached

4. COMMUNITY DESIGN GUIDELINES

4.2.3 Single-Family Attached Residential

The following site planning guidelines apply generally to all attached residential development within Oak Valley Greens. Lot configurations should conform to the Development Standards and Guidelines set forth in Section 3.3 of this Precise Development Plan.

1. Each structure, or composite of units, should have a varied facade material or color than the immediately adjacent structure/composite, to replicate a diverse single-family style neighborhood and promote individuality.
2. The architectural design character should be consistently implemented in structural features and details including signs and lighting.
3. Single-family attached products should be architecturally articulated.
4. Adjacent units need to suitably vary, using complimentary forms, colors, textures, and materials.
5. Walls or other features should be used to lengthen the horizontal elements of elevations and reduce the visual impact of garage doors.
6. Preferred configurations include architectural treatment either as single-family character /scale or as traditionally classic townhomes.
7. Residential relationships to open spaces should be consistent with Section 4.3-5, Landscape Buffers/Interfaces.



Typical Single-Family Attached

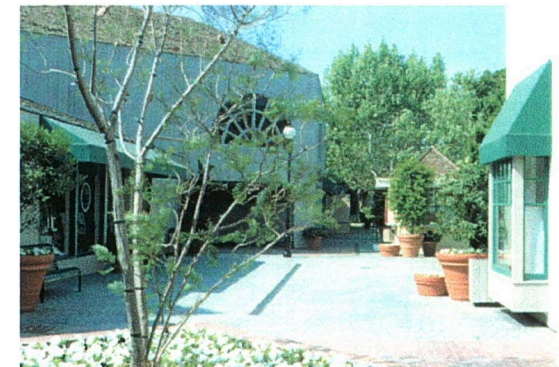
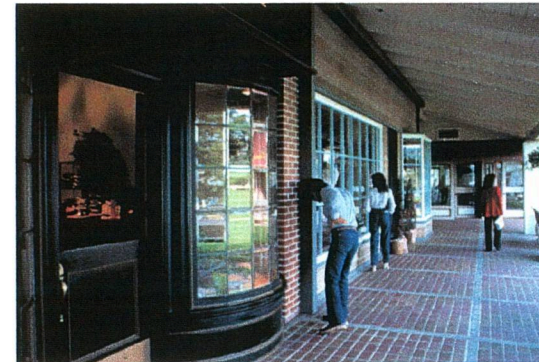


4. COMMUNITY DESIGN GUIDELINES

4.2.4 Commercial

The following site planning guidelines apply to all commercial development within Oak Valley Greens. Commercial Development Standards and Guidelines are presented further in detail in Section 3.4 of this Precise Development Plan.

1. Parking should be oriented to permit pedestrian flow into shops without having to cross numerous traffic aisles.
2. Paved and landscaped pedestrian walks are encouraged.
3. Bumpers or other tire stops should be provided for all parking spaces abutting a sidewalk, planting area, street, or alley.
4. All parking spaces should be clearly striped. Double striping is preferred.
5. Entry identification through enriched paving of driveways should predominate.
6. The use of landscaped medians at major entries is encouraged.
7. Customer access and circulation should be separated from service/truck areas.
8. Service areas should be screened from streets, residences, open spaces, or adjoining land uses through location, elevation, landscape, and/or architectural means.
9. The use of landscaped areas to separate vehicular traffic from structures is encouraged.
10. Parking should be screened from streets through berming, low walls, and landscape.
11. Significant landscape/median separations between major parking areas should predominate.



4. COMMUNITY DESIGN GUIDELINES

4.2.5 Open Space, Parks and Recreation

The Oak Valley Greens Precise Development Plan will provide 66.21 acres of open space areas for neighborhood parks, as specified by the Open Space Plan, Exhibit 2.5-1. Several public and private neighborhood parks, one community recreation center (for the Active Adult Community) and active/passive open spaces are conveniently placed throughout Oak Valley Greens.

Within the community, a series of pedestrian paths link the individual neighborhood parks with the Active Recreation Center, and with regional recreation facilities including Noble Creek Park. The location of these paths is also shown in the Pedestrian Circulation Plan, Exhibit 2.5-2.

All open space, parks, recreation areas, and trails within Oak Valley Greens should incorporate the following site planning guidelines. Open space, parks, and recreation development standards and guidelines are detailed further in Section 3.5 of this Precise Development Plan.

Parks

1. Open space, parks, and recreation areas located within the community and placed in highly visible locations.
2. Parks should be visible from streets for safety and surveillance purposes.
3. Plant materials should be used to define activity/use areas, and to frame and reinforce views.
4. Existing natural features should be enhanced with native vegetation when possible.
5. Landscape areas should be used to buffer parks from adjacent residential areas, while allowing for framed views from residential areas.



4. COMMUNITY DESIGN GUIDELINES

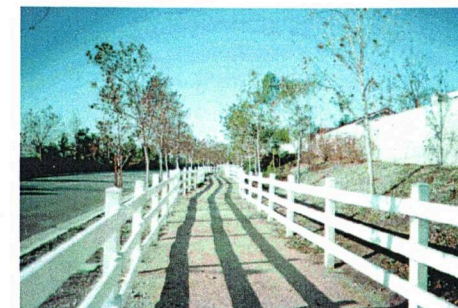
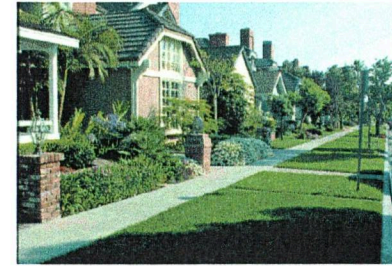
6. Placement of parks and open space areas should maximize access and exposure to common facilities from residential areas.

Pedestrian Paths

7. The path system should provide access to open space and recreational opportunities.
8. The pedestrian paths should connect to the regional recreational facilities at Noble Creek Park Open Space
9. Major open spaces should be accessible to the community by a network of streets, sidewalks, and pedestrian paths.
10. Parks and open space should be appropriately landscaped.

4.3 LANDSCAPE ARCHITECTURE GUIDELINES

Landscape plays an important role in establishing the visual identity and character of Oak Valley Greens as a “traditional” residential community. Consistency in theming and the application of major community-level design elements such as entries, arterial and collector street parkways, walls and fences, interface/edge conditions, and plant material palettes must be maintained throughout the Planning Areas and Neighborhoods of Oak Valley Greens. Implementation of the following guidelines will ensure a recognizable and cohesive community image, while allowing for individual expression of landscape treatment at the Neighborhood or project level.



4. COMMUNITY DESIGN GUIDELINES

4.3.1 Community Landscape Concept

The creation of a “traditional” single-family neighborhood character is the fundamental concept for the Oak Valley Greens landscape. The following design principles are embodied in this concept:

1. Community and project entries designed as simple, low-key elements with similar vocabulary of materials, shapes, and forms;
2. Sidewalks which, in all instances, should be separated from streets by a landscaped parkway in conventional housing;
3. Consistent street tree themes should be related to the hierarchy of the street system;
4. A unified community theme wall and fence design, and the extensive use of vines and shrubs to soften wall and fence features;
5. Recommended plant palettes for specific applications, (i.e., entries, Oak View Drive, etc.) and the Oak Valley Greens community as a whole;
6. Recognition of existing natural conditions and situations (e.g., the golf course edge);
7. Use of both “formal” and “informal” planting arrangements, depending upon the particular condition;
8. Use of both evergreen and deciduous plant material; and,
9. “Layering” of the shrub understory to create depth, variety, and interest.



LEGEND

-  OAK VALLEY PARKWAY
-  NANCY AVENUE PARKWAY
-  OAKVIEW DRIVE ENHANCED PARKWAY
-  MAIN ENTRY APPROACH
-  LOCAL COLLECTOR PARKWAY
-  RURAL STREETScape
-  BROOKSIDE AVENUE WINDROW
-  PASEO BUFFER
-  GOLF COURSE EDGE
-  SOUTHERN CALIFORNIA EDISON EASEMNET EDGE
-  COMMERCIAL/RESIDENTIAL INTERFACE
-  PRIMARY COMMUNITY ENTRY
-  SECONDARY COMMUNITY ENTRY
-  ACTIVE ADULT ENTRY
-  ACTIVE ADULT SECONDARY ENTRY
-  ENHANCED PAVING



4. COMMUNITY DESIGN GUIDELINES

4.3.2 Entry Treatments

Oak Valley Greens is designed with a hierarchy of entry treatments. The first tier consists of two levels of community entries: primary and secondary, which employ similar monumentation to identify and announce arrival at Oak Valley Greens. The second tier provides entry into the gated Active-Adult portion of the planned community also designed on two levels Active-Adult Main Entry and Active-Adult Secondary Entry. The third tier of entries occur at the Neighborhood or individual project level. Exhibit 4.3-2, Typical Entry Area Diagram, gives a diagrammatic depiction of the entry and street locations and classifications.

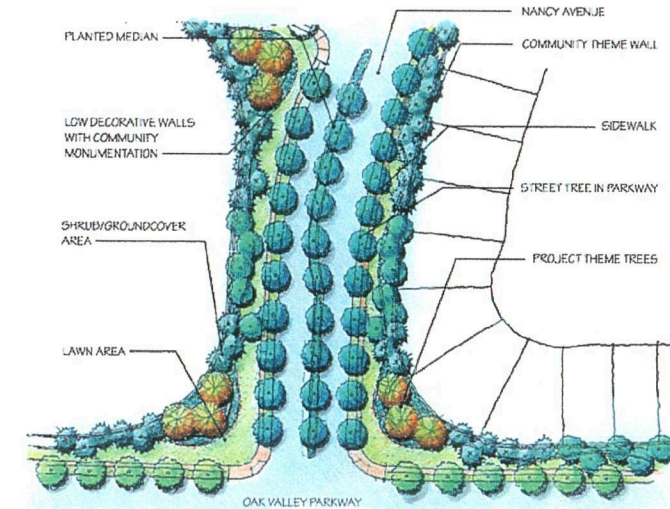
1. Primary Community Entries

The primary residential community entry for Oak Valley Greens occurs at the intersection of Oak View Drive and Oak Valley Parkway. This entry features a symmetrical design with specimen accent trees anchoring both sides of the entry. Specimen accent trees are placed behind low semicircular thematic planter walls which carry the community signage. Informal groups of evergreens act as a backdrop to this entry monumentation. The design is reinforced with limited turf areas linking the entry with the parkways along the adjacent streets. Layered flowering shrub masses strengthen the entry concept, while seasonal color planting along the base of the planter walls highlight the community signage.

The second primary community entry is located at the intersection of Oak Valley Parkway and Golf Club Drive, and is flanked by regional and neighborhood commercial uses on both sides. This entry design will be identical to the primary community entry described above.

2. Secondary Community Entries

Secondary entries are proposed at three locations along Brookside Avenue. The secondary community entry design will be a scaled down and simplified version of the primary entry with a symmetrical design and specimen accent trees anchoring both sides of the entry. These entries will be gated and secured, and are designed with a small monument.



4. COMMUNITY DESIGN GUIDELINES

3. Active-Adult Main Entry

The Main Entry into the Active-Adult Community of Oak Valley Greens is accessed from Oak View Drive. This entry features a formally landscaped median and parkways which lead to a formal motor court. The motor court is anchored by a gatehouse framed with symmetrically placed specimen accent trees. Enhanced paving and thematic courtyard walls with pilasters will help give the illusion of an outdoor "room". Decorative vehicular and pedestrian gates are also an element of in the main entry design.

4. Active-Adult Secondary Entry

Two Secondary Entries also provide access to the Active-Adult community in Oak Valley Greens. These entries will differ from the Main Entry, without a gatehouse, and feature only card key access for residents and a directory kiosk for guests. While the spaces, design elements and materials will be simplified, decorative vehicular and pedestrian gates will be included.

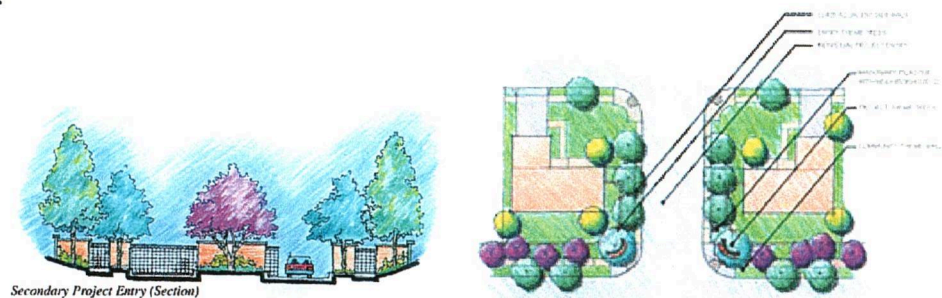
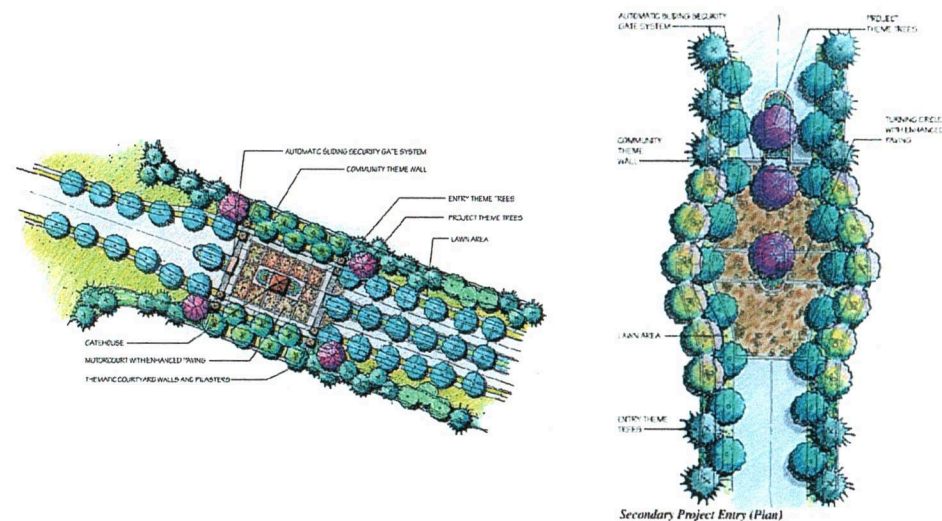
5. Individual Project Entries

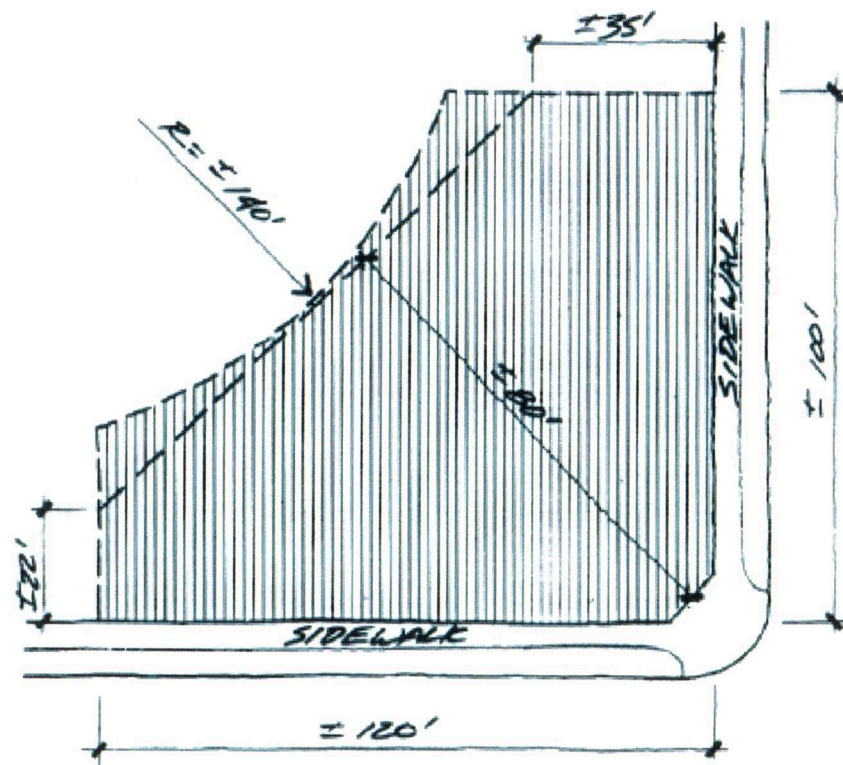
Entries into individual projects or builder parcel neighborhoods will be enhanced with specimen accent trees, flowering shrubs and vines, and low monummentation, keeping the theme and character of the Oak Valley Greens community.

4.3.3 Streetscape Guidelines

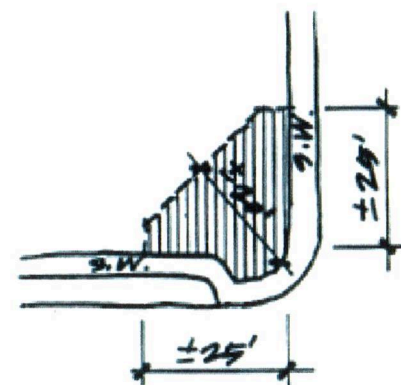
A hierarchy of landscaped parkways and entry treatments has been established for Oak Valley Greens. This hierarchy of streets and entries has been developed to:

- Provide direction as to the sense of place to motorists within Oak Valley Greens;
- Systematically reinforce the understanding of circulation hierarchy and different land uses;
- Help identify entry into various Neighborhoods of the community;
- Provide thematic continuity throughout Oak Valley Greens; and

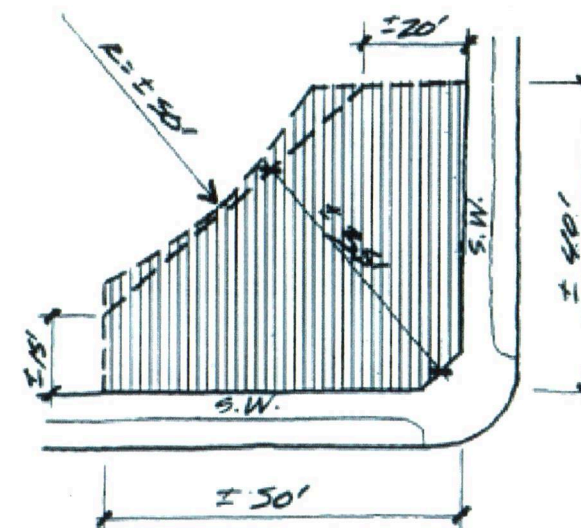




PRIMARY COMMUNITY ENTRY



NEIGHBORHOOD ENTRY



SECONDARY COMMUNITY ENTRY

RENAISSANCE

By Pacific Century Homes

Exhibit 4.3-2
TYPICAL ENTRY AREA DIAGRAM

4. COMMUNITY DESIGN GUIDELINES

- Complement a variety of architectural styles and themes.

1. Oak Valley Parkway (14th Street) — Section A

Oak Valley Parkway forms the southern boundary of Oak Valley Greens. This road has a parkway of equally spaced project theme trees that help identify the Oak Valley Greens community. The landscape lot is an informal grouping or massings of approximately 70 percent evergreen and 30 percent deciduous trees, as well as shrub and groundcover areas. Exhibit 4.3-3 shows the landscape street section for Oak Valley Parkway. A plant palette for the Oak Valley Parkway streetscape is included in Section 4.3.7, *Suggested Plant Palettes*.

2. Oak View Drive — Sections B and C

Oak View Drive will be landscaped with a parkway of equally spaced, drought-tolerant, project theme street trees which identify the roadway as the major project arterial. The landscape lot adjacent to the parkway features informal groupings/massings of project theme trees and shrubs and groundcovers in informal groupings. This landscape lot will contain approximately 70 percent evergreen trees and 30 percent deciduous trees. Detail of this street section is shown in Exhibit 4.3-3. A plant palette for the Oak View Drive streetscape is included in Section 4.3.7, *Suggested Plant Palettes*.

3. Secondary Entry Approach — Section D

The Secondary Entry Approach into the Active-Adult community is accessed off of Oak View Drive. This entry consists of formally landscaped median and parkways leading to a formal walled motor court. The motor court includes a gatehouse framed with accent trees and symmetrically placed specimen accent trees, as well as decorative vehicular and pedestrian gates. This streetscape is shown in Exhibit 4.3-4. A plant palette for the Main Entry Approach streetscape is included in Section 4.3.7, *Suggested Plant Palettes*.



4. COMMUNITY DESIGN GUIDELINES

4. Active-Adult Local Connector — Section E

The Active-Adult Local Connector streets, shown in Exhibit 4.3-4 are envisioned to have a similar parkway design to that of Oak View Drive, with equally-spaced street trees linking the Main Entry Approach Road to the collector road. The parkway is primarily turf area with some shrub, and groundcover within areas adjoining the golf course. The landscape lot will be an informal grouping of project theme trees (70 percent evergreen, 30 percent deciduous), with shrubs and ground covers in large scale informal groupings. A plant palette for the Local Collector streetscapes is included in Section 4.3.7, *Suggested Plant Palettes*.

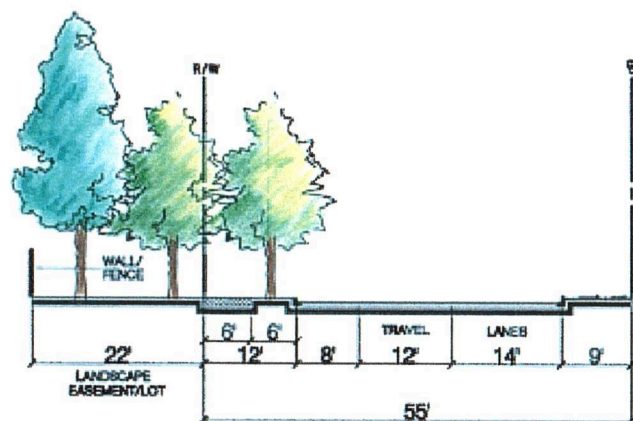
5. Brookside Avenue Section G

The landscape theme for Brookside Avenue is reminiscent of the agricultural windrows that are a common occurrence in agricultural areas. Brookside Avenue will be planned with a uniform treatment of eucalyptus species within the landscape lot, as a window into the project area. An equestrian trail is also planned to help ease the transition from rural to residential uses. The Brookside Avenue Streetscape is shown in Exhibit 4.3-5. A plant palette for the Brookside Avenue streetscape is included in Section 4.3.7, *Suggested Plant Palettes*.

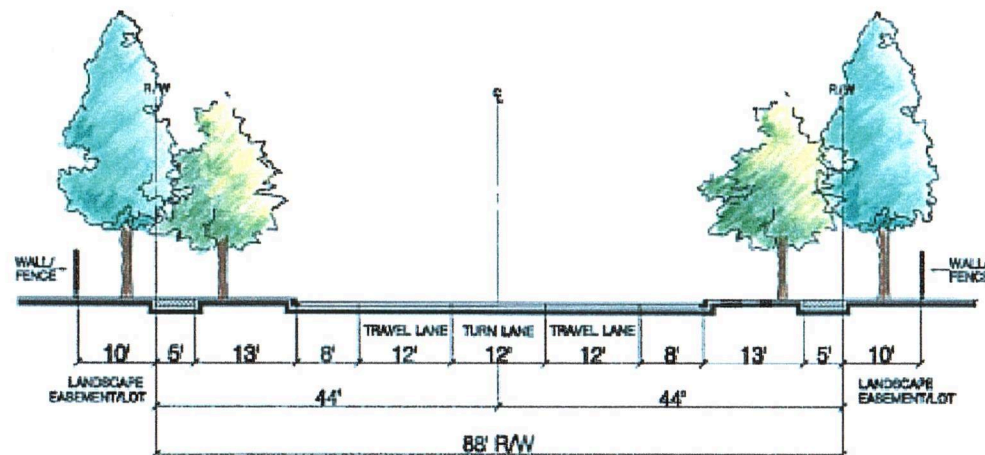
6. Local Spine Road/Local Streets (Conventional)Section H

The Local Spine Road within Planning Area II and local public streets within Planning Areas 1 and 2 will be designed with similar streetscapes. Each interior street will be planted continuously with street trees consistent with the overall community theme. Local streets will be planted in conformance with trees required by Section 17.65.205 of the Beaumont Municipal Code. These local streets are shown in Exhibit 4.3-5. A plant palette for the streetscape of the local streets within Oak Valley Greens is included in Section 4.3.7, *Suggested Plant Palettes*.

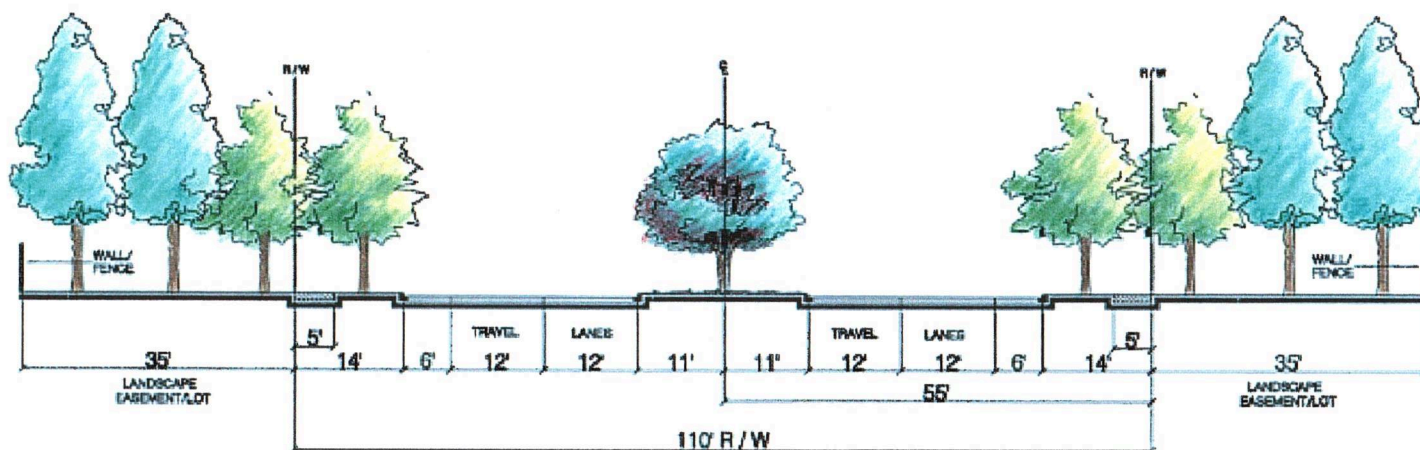




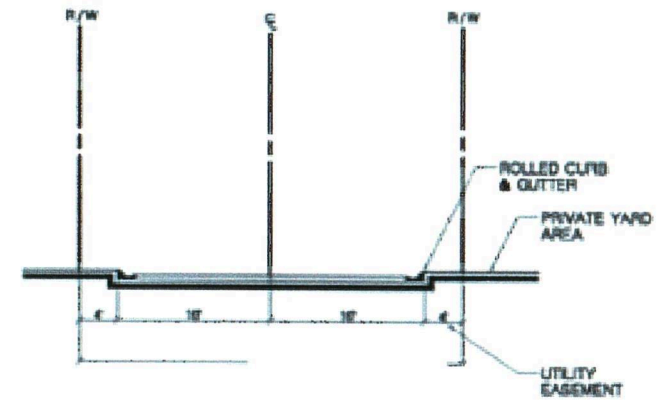
Oak Valley Parkway (14th Street) - Section A



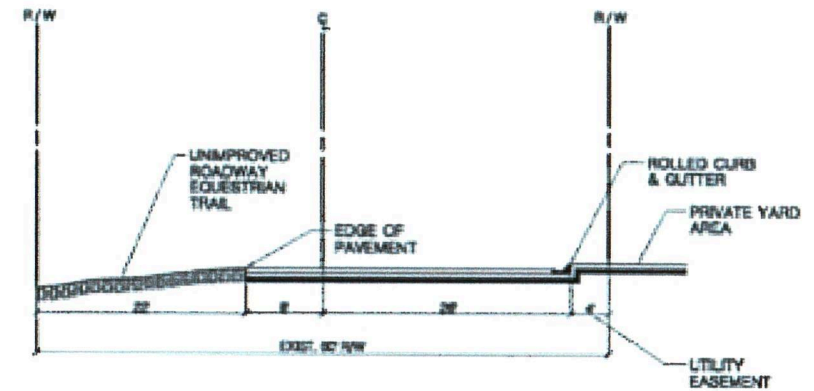
Oak View Drive (Modified Secondary Highway) - Section B



Oak View Drive (Enhanced) - Section C



Local Street -
Typical Section



Union & Hannon Street

Exhibit 4.3-5

STREETSCAPE SECTION F and TYPICAL LOCAL STREETSCAPES

4. COMMUNITY DESIGN GUIDELINES

7. Neighborhood 2.4 Private Streets

Union and Hannon Streets and the local interior road within Neighborhood 2.4 will be minimally improved in order to maintain the rural streetscene that currently exists. The road will be improved only with a rolled curb and gutter, as shown in Exhibit 4.3-5. No sidewalks or public landscaped areas are planned for street improvements within Neighborhood 2.4. All landscaping along the streets will be within private yards and maintained by the individual property owners.

4.3.4 Slope Treatments

In order to create a contemporary, well-planned community, a series of landscape buffers have been designed for Oak Valley Greens. These buffers will provide orderly transitions between the various land uses, and attempt to establish techniques for linking natural and manufactured conditions, such as between natural slopes and edges of residential pads, or where appropriate, to separate and buffer dissimilar uses. A brief description of these generalized conditions is provided below.

The slope treatments are drawn from the surrounding landscape character of the native environment adjacent to the site. Plant material should be selected to coordinate in color and texture. The major slope areas should be planted with material of varying heights and character in order to provide a layering effect. Side yard slopes should be planted with a less extensive plant palette. Important views are framed with trees, while less attractive views are screened.

Slope stabilization and erosion control are the primary concerns of manufactured slope areas. The following are design requirements that should be addressed during detailed design development:

- All graded and compacted slopes over 4 feet in height with slopes 4:1 or steeper, shall be planted prior to final inspection;
- Groundcovers shall be provided through either hydroseed or plantings from cuttings; and
- Water conserving plants shall be utilized where feasible.



4. COMMUNITY DESIGN GUIDELINES

4.3.5 Landscape Buffers/Interfaces

The following sections identify the typical land use interface conditions, and the proposed design solutions for these interfaces. The Landscape Buffers/Interfaces described in this section are identified on the Community Landscape Plan, Exhibit 4.3-1. Plant Palettes for the various Landscape Buffer/Interfaces are described below, and are included in Section 4.3.7, *Suggested Plant Palettes*.

1. Residential/Golf Course Interface

The common edge between the existing Oak Valley Golf Course and the proposed residential lots, is a critical interface condition. The elements of grading, setbacks, walls, fences, and landscaping must all be aesthetically designed to enhance this relationship. Houses should be sited and landscaped to take advantage of view opportunities, respect the golf ambiance, and afford safe setbacks from the play of the course. View fences consisting of either wrought iron or glass/plexiglass panels above a low masonry base are recommended where privacy and/or separation are appropriate.

In most instances houses should be sited on pads elevated from the adjacent golf course. Any disturbance of the golf course edge landscaping will be mitigated or replaced with the development of the adjoining tract. The plant palette should replicate the existing character of the golf course to the extent possible, while affording golf course views from the homes. Site specific solutions and implementation plans will be devised at the Tentative Tract Map stage to address grading, landscaping, wall/fence location, irrigation, and maintenance considerations.

Suggested Landscape Buffer



4. COMMUNITY DESIGN GUIDELINES

2. Residential/Open Space Interface

The interface between residential uses and active/passive open space should emphasize visual relationships, and include view fencing and appropriate landscaping where the anticipated activity level does not pose a nuisance to the residential lot. High activity areas of public parks or private recreation areas may be best buffered from adjacent residential lots with a masonry wall.

3. Residential/Commercial Interface

Common boundaries between residential and commercial uses must be treated with special care. Any development of a commercial area must buffer adjacent existing and planned residential uses through careful site design, as well as effective screening. In addition to a minimum 25-foot building setback, the commercial site must provide a minimum 6-foot high decorative masonry wall at any common residential property line, with a minimum 25-foot wide heavily landscaped area. The landscaping should include closely spaced vertical evergreen trees to provide a living screen of the commercial building.



4.3.6 Community Walls and Fences

Walls and fencing are prominent visual elements of any community. They are one of the most easily recognizable design elements of a community, and warrant special attention to ensure continuity of design character.

Community walls and fences consist of elements which are readily visible from arterial and collector streets, or from adjacent or nearby areas outside of the neighborhoods. Generally, community theme walls should be consistent in scale, materials, and type. Some variation in design details, such as color, finish, caps, and pilasters express a certain individuality may be employed at entries to express a certain individuality. The design concept for the community walls and fencing at Oak Valley Greens is shown in Exhibits 4.3-6 and 4.3-7, and is summarized below.

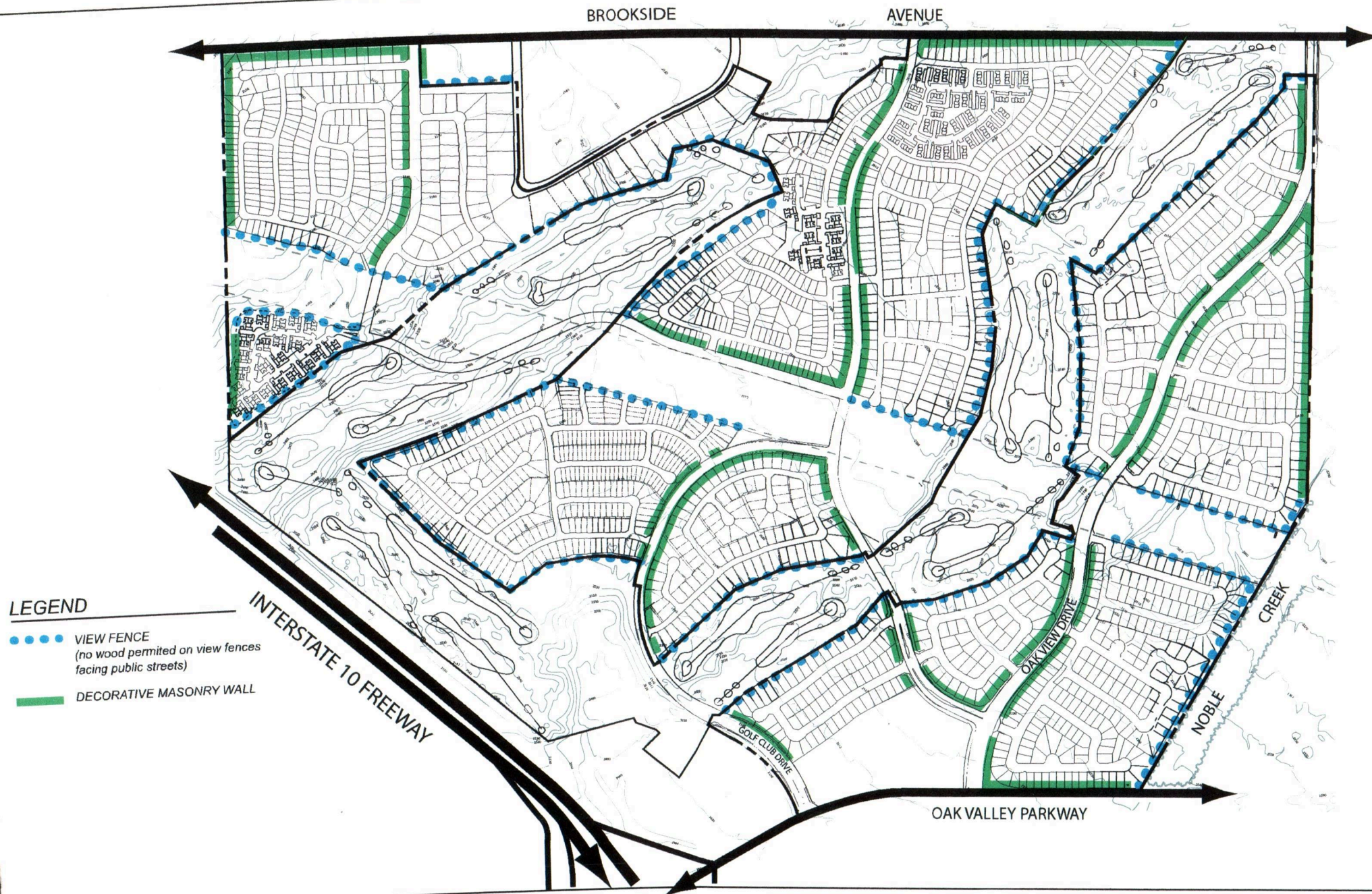


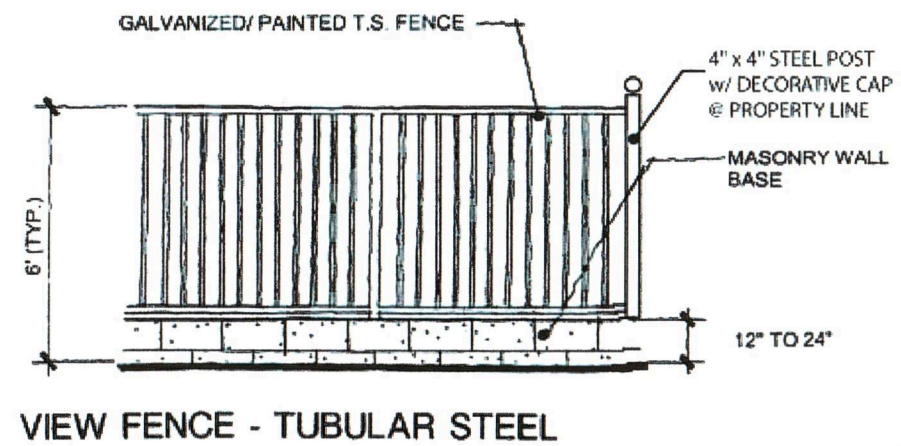
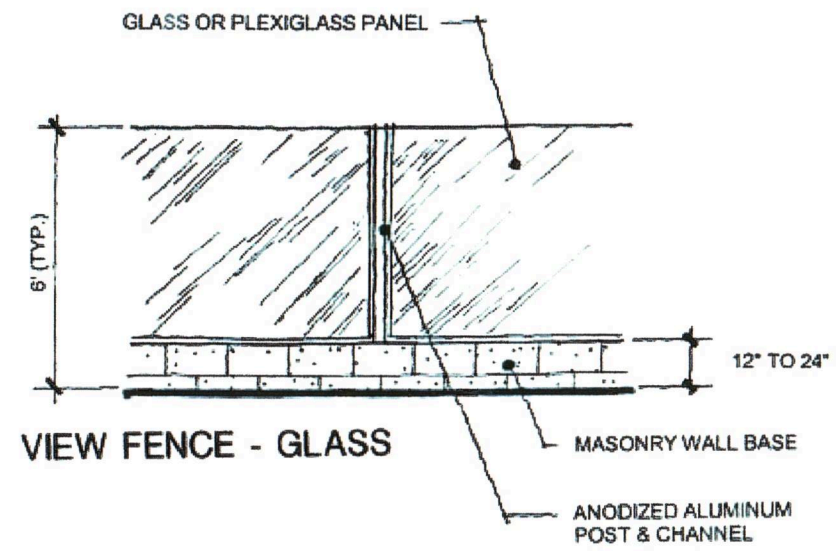
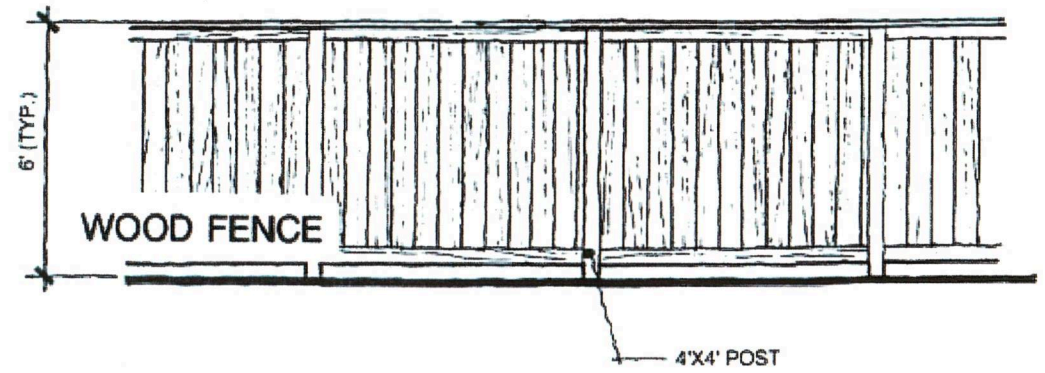
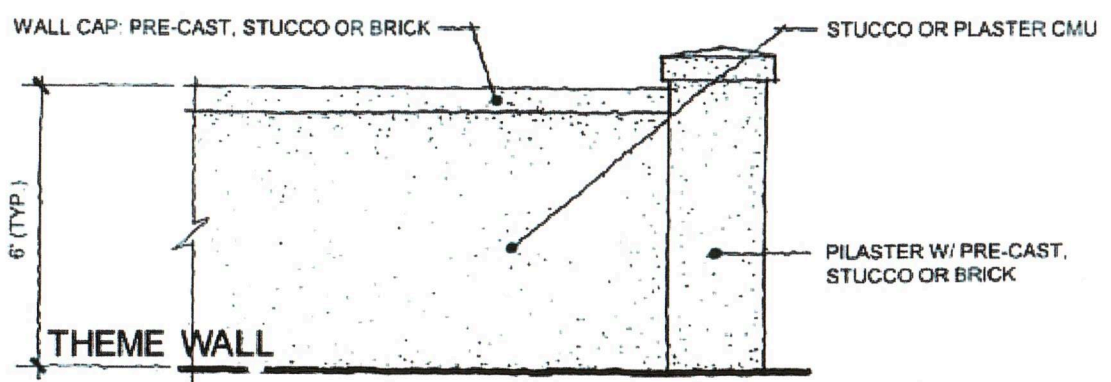
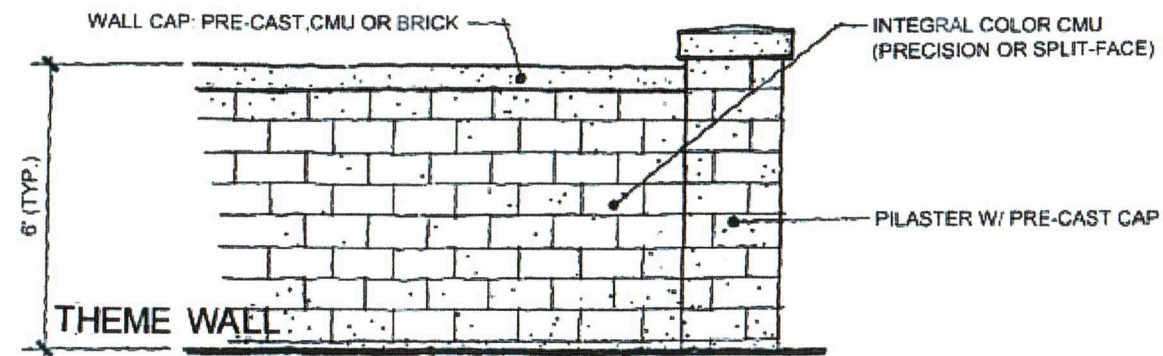
4. COMMUNITY DESIGN GUIDELINES

Fences and walls include any type of fence, retaining wall, sound attenuation wall, or screen. Fences and walls shall be in compliance with Beaumont Municipal Code Section 17.65.210. For the purposes of this section, exterior side means that fence wall facing away from the property and toward adjoining properties, streets and interior side means that fence wall facing inwards toward the property, where applicable. A detailed fencing plan shall be provided for each community.

Community Theme Wall and Fencing Guidelines

1. All community theme walls and fences shall be consistent in design.
2. Any fence/wall adjoins a public street or any fence/wall visible from the side or rear shall be the community theme wall.
3. View fencing should have a low masonry wall with cap and pool code height tubular fencing, or glass for sound attenuation. Alternative view fencing of full height tubular steel may be used, and pilasters incorporated into steel fencing.
4. Each rear property corner, and in cases where property lot lines turn there should be a 4" x 4" metal with decorative top at a minimum.
5. Vines and/or shrubs should be planted along community walls and fences to soften the visual character. An extensive use of vines is encouraged.
6. The maximum wall or fence height shall be six (6) feet within any required rear, or side setback area. Fence/wall heights are measured from the base of the fence/wall to the top of the interior or exterior side, whichever is greater. However, within any side or rear yard setback area not adjoining a public street, where the elevation of an adjoining building site to the side or rear is higher than the base of the fence or wall in the side or rear setback area, the height of the fence or wall may be measured from the elevation of the adjoining building site to the top of the fence or wall, except in no case should the maximum height of the wall exceed nine (9) feet (unless in combination with a retaining wall).
7. Wood fencing is prohibited along any street frontages.
8. Other materials are permissible as approved by the Planning Director.





* WALL HEIGHTS MAY VARY
(5'-6" MIN., 8'-0" MAX. @COMMERCIAL/ RESIDENTIAL P.L.)

NOTE: OTHER MATERIALS MAY BE APPROVED BY THE PLANNING DIRECTOR.

4. COMMUNITY DESIGN GUIDELINES

4.3.7 Suggested Tree Palettes

The following suggested plant palettes describe possible schemes for the various community elements, streetscapes and landscape buffers/interfaces described in Sections 4.3.3 and 4.3.5, respectively, of the Community Landscape Concept of this Precise Development Plan.

1. Oak Valley Parkway (14th Street)

Botanical Name	Common Name
Trees	
<i>Cinnamomum camphora</i>	Camphor Tree
<i>Cupaniopsis anacardioides</i>	Carrotwood
<i>Ficus rubiginosa</i>	Rusty Leaf Fig
<i>Jacaranda mimosifolia</i>	Jacaranda
<i>Koelreuteria bipinnata</i>	Chinese Flame Tree
<i>Lagerstroemia indicia</i>	Crape Myrtle
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Platanus acerifolia</i>	London Plane Tree
<i>Pinus spp.</i>	Pine
<i>Prunus cerasifera</i>	Cherry Plum
<i>Pyrus calleryana</i> 'Aristocrat'	Ornamental Pear
<i>Pyrus calleryana</i> 'Bradford'	Ornamental Pear
<i>Quercus spp.</i>	Oak
<i>Schinus molle</i>	California Pepper
<i>Tipuana</i>	Tipu Tree

2. Oak View Drive

Botanical Name	Common Name
Street Trees — Deciduous	
<i>Alnus rhombifolia</i>	White Alder
<i>Jacaranda mimosifolia</i>	Jacaranda
<i>Lagerstroemia indicia</i>	Crape Myrtle
<i>Liquidambar styraciflua</i>	American Sweet Gum
<i>Pistacia chinensis</i>	Chinese Pistache
<i>Platanus acerifolia</i> 'Bloodgood'	London Plane Tree
<i>Prunus cerasifera</i>	Cherry Plum
<i>Pyrus calleryana</i> 'Aristocrat'	Ornamental Pear
<i>Pyrus calleryana</i> 'Bradford'	Ornamental Pear
<i>Robinia ambigua</i> 'idahoensis'	Idaho Locust
Street Trees — Evergreen	
<i>Cinnamomum camphora</i>	Camphor Tree
<i>Cupaniopsis anacardioides</i>	Carrotwood
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Quercus agrifolia</i>	Coast Live Oak
<i>Tipuana</i> Tipu	Tree
<i>Tristania conferta</i>	Brisbane Box
Landscape Lot — Major Evergreen Theme Tree (70%)	
<i>Chorisia speciosa</i>	Floss Silk Tree
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Pinus spp.</i>	Pine
<i>Schinus molle</i>	California Pepper
Landscape Lot — Deciduous Accents (30%)	
<i>Cercis occidentalis</i>	Western Redbud
<i>Jacaranda mimosifolia</i>	Jacaranda
<i>Koelreuteria bipinnata</i>	Chinese Flame Tree
<i>Lagerstroemia indicia</i>	Crape Myrtle
<i>Prunus cerasifera</i>	Cherry Plum

4. COMMUNITY DESIGN GUIDELINES

3. Main Entry Approach

Botanical Name	Common Name
Trees— Evergreen	
<i>Cedrus deodara</i>	Deodar Cedar
<i>Ceratonia siliqua</i>	Carob Tree
<i>Cinnamomum camphora</i>	Camphor Tree
<i>Ficus rubiginosa</i>	Rusty Leaf Fig
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Olea europaea</i>	Olive
<i>Quercus spp.</i>	Oak
<i>Schinus molle</i>	California Pepper
<i>Schinus spp.</i>	Pepper

4. Active-Adult Local Connector

Botanical Name	Common Name
Trees — Evergreen	
<i>Cinnamomum camphora</i>	Camphor Tree
<i>Cupaniopsis anacardioides</i>	Carrotwood
<i>Eucalyptus ficifolia</i>	Red-Flowering Gum
<i>Eucalyptus maculata</i>	Spotted Gum
<i>Eucalyptus rudis</i>	Flooded Gum
<i>Geijera parviflora</i>	Australian Willow
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Pinus spp.</i>	Pine
<i>Podocarpus spp.</i>	Podocarpus
<i>Quercus agrifolia</i>	Coast Live Oak
<i>Schinus molle</i>	California Pepper
<i>Tipuana</i>	Tipu Tree
<i>Tristania conferta</i>	Brisbane Box
Trees — Deciduous	
<i>Alnus rhombifolia</i>	White Alder
<i>Jacaranda mimosifolia</i>	Jacaranda
<i>Liquidambar styraciflua</i>	American Sweet Gum
<i>Platanus acerifolia</i> 'Bloodgood'	London Plane Tree
<i>Pyrus calleryana</i> 'Aristocrat'	Ornamental Pear
<i>Robina ambigua</i> 'idahoensis'	Idaho Locust

5. Collector Roads

Botanical Name	Common Name
LANDSCAPE LOT	
Trees — Evergreen	
<i>Eucalyptus ficifolia</i>	Red-Flowering Gum
<i>Eucalyptus maculata</i>	Spotted Gum
<i>Eucalyptus rudis</i>	Flooded Gum
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Pinus spp.</i>	Pine
<i>Quercus spp.</i>	Oak
<i>Tipuana</i>	Tree
<i>Tristania conferta</i>	Brisbane Box

Trees — Deciduous	
<i>Jacaranda mimosifolia</i>	Jacaranda
<i>Liquidambar styraciflua</i>	American Sweet Gum
<i>Platanus acerifolia</i> 'Bloodgood'	London Plane Tree
<i>Platanus racemosa</i>	California Sycamore
<i>Prunus cerasifera</i>	Cherry Plum
<i>Pyrus calleryana</i> 'Aristocrat'	Ornamental Pear

PARKWAY AND LANDSCAPE

Trees — Evergreen	
<i>Cinnamomum camphora</i>	Camphor Tree
<i>Cupaniopsis anacardioides</i>	Carrotwood
<i>Eucalyptus ficifolia</i>	Red-Flowering Gum
<i>Eucalyptus maculata</i>	Spotted Gum
<i>Eucalyptus rudis</i>	Flooded Gum
<i>Geijera parviflora</i>	Australian Willow
<i>Jacaranda mimosifolia</i>	Jacaranda
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Podocarpus spp.</i>	Podocarpus
<i>Tipuana</i>	Tipu Tree
<i>Tristania conferta</i>	Brisbane Box

Trees — Deciduous	
<i>Jacaranda mimosifolia</i>	Jacaranda
<i>Liquidambar styraciflua</i>	American Sweet Gum
<i>Platanus acerifolia</i> 'Bloodgood'	London Plane Tree
<i>Prunus cerasifera</i>	Cherry Plum
<i>Pyrus calleryana</i> 'Aristocrat'	Ornamental Pear

4. COMMUNITY DESIGN GUIDELINES

6. Brookside Avenue

<u>Botanical Name</u>	<u>Common Name</u>
<u>Trees</u>	
<i>Eucalyptus maculata</i>	Spotted Gum
<i>Eucalyptus rudis</i>	Flooded Gum
<i>Pinus spp.</i>	Pine
<i>Rhus lancea</i>	African Sumac
<i>Schinus molle</i>	California Pepper

7. Local Streets

<u>Botanical Name</u>	<u>Common Name</u>
<u>Trees — Evergreen</u>	
<i>Agonis flexuosa</i> willow	Strawberry
<i>Arbutus unedo</i>	Strawberry Tree
<i>Cercis occidentalis</i>	Western Redbud
<i>Cupaniopsis anacardioides</i>	Carrotwood
<i>Eriobotrya spp.</i>	Loquat
<i>Geijera parviflora</i>	Australian Willow
<i>Jacaranda mimosifolia</i>	Jacaranda
<i>Koelreuteria bipinnata</i>	Chinese Flame Tree
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Liriodendron tulipifera</i>	Tulip Tree
<i>Liquidambar styraciflua</i>	American Sweet Gum
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Pistacia chinensis</i>	Chinese Pistache
<i>Platanus acerifolia</i> 'Bloodgood'	London Plane Tree
<i>Podocarpus spp.</i>	Podocarpus
<i>Quercus agrifolia</i>	Coast Live Oak <i>Cerci</i>
<i>Rhus lancea</i>	African Sumac
<i>Tipuana</i>	Tipu Tree
<i>Tristania conferta</i>	Brisbane Box

8. Golf Course Interface

<u>Botanical Name</u>	<u>Common Name</u>
<u>Trees — Evergreen</u>	
<i>Arbutus unedo</i>	Strawberry Tree
<i>Eucalyptus ficifolia</i>	Red-Flowering Gum
<i>Eucalyptus maculata</i>	Spotted Gum
<i>Eucalyptus rudis</i>	Flooded Gum
<i>Heteromeles</i>	NCN
<i>Pinus spp</i>	Pine
<i>Quercus spp.</i>	Oak
<i>Rhus lancea</i>	African Sumac
<i>Tipuana Tipu</i>	Tree

<u>Trees — Deciduous</u>	
<i>Cercis occidentalis</i>	Western Redbud

9. Open Space Interface

<u>Botanical Name</u>	<u>Common Name</u>
<u>Trees — Evergreen</u>	
<i>Arbutus unedo</i>	Strawberry Tree
<i>Heteromeles</i>	NCN
<i>Rhus lancea</i>	African Sumac
<i>Tipuana</i>	Tipu Tree

<u>Trees — Deciduous</u>	
<i>Cercis occidentalis</i>	Western Redbud

4. COMMUNITY DESIGN GUIDELINES

4.3.8 Community Landscape Plant Palette

The following Community Plant palette is provided for use by the individual Neighborhood developers and the Master Developer for guidance in landscaping areas not previously discussed in this Precise Development Plan. All Planning within Oak Valley Greens should be landscaped with trees and shrubs from the plant palette shown on the following pages (substitutions may be allowed provided the overall theme and character is maintained, subject to the approval of the Planning Director):

TREES

Acacia spp.
Agonis flexuosa willow
Alnus rhombifolia
Arbutus unedo
Callistemon spp.
Cedrus deodara
Ceratonia siliqua
Cercis occidentalis
Cinnamomum camphora
Chorisia speciosa
Cupaniopsis anacardioides
Eriobotrya deflexa
Eucalyptus rudis
Ficus rubiginosa
Geijera parviflora
Jacaranda mimosifolia
Koelreuteria bipinnata
Lagerstroemia indicia
Laurus nobilis
Liriodendron tulipifera
Liquidambar styraciflua
Magnolia grandiflora
Olea europaea
Pinus spp.
Pistacia chinensis
Platanus acerifolia 'Bloodgood'
Platanus racemosa
Podocarpus spp.
Populus nigra 'Italica'
Prunus cerasifera
Pyrus calleryana 'Aristocrat'
Pyrus calleryana 'Bradford'

Acacia
 Strawberry
 White Alder
 Strawberry Tree
 Bottlebrush
 Deodar Cedar
 Carob Tree
 Western Redbud
 Camphor Tree
 Floss Silk Tree
 Carrotwood
 Bronze Loquat
 Swamp Gum
 Rusty Leaf Fig
 Australian Willow
 Jacaranda
 Chinese Flame Tree
 Crape Myrtle
 Grecian Laurel
 Tulip Tree
 American Sweet Gum
 Southern Magnolia
 Olive
 Pine
 Chinese Pistache
 London Plane Tree
 California Sycamore
 Podocarpus
 Lombardy Poplar
 Cherry Plum
 Ornamental Pear
 Ornamental Pear

SHRUBS

Abelia grandiflora
Acacia spp.
Agapanthus africanus
Baccharis 'Centennial'
Ceanothus spp.
Cistus ladanifer
Cistus purpureus
Cistus 'Doris Hibberson'
Cotoneaster (most species)
Dietes spp.
Elaeagnus pungens
Helictotrichon sempervirens
Hemerocallis hybrid
Heteromeles arbutifolia
Jasminum mesnyi
Lantana spp.
Leptospermum laevigatum
Ligustrum japonicum
Mahonia aquifolium
Mahonia repens
Miscanthus sinensis
Muhlenbergia rigens
Nandina domestica
Nerium oleander
Nerium oleander 'Petite Salmon'
Phormium spp.
Photinia fraseri
Pittosporum tobira
Plumbago auriculata
Pyracantha spp.
Raphiolepis indica
Salvia spp.

Abelia
 Acacia
 Lily of the Nile
 NCN
 Ceanothus
 Crimson-spot Rockrose
 Orchid Rockrose
 Doris Hibberson Rockrose
 Red Clusterberry
 Fortnight Lily
 Silverberry
 Blue Oak Grass
 Evergreen Daylily
 Toyon
 Primrose Jasmine
 Lantana
 Australian Tea Tree
 Privet
 Oregon Grape
 Creeping Mahonia
 Eulalia Grass
 Deer Grass
 Heavenly Bamboo
 Oleander
 Oleander (mid-range)
 New Zealand Flax
 Photinia
 Mock-Orange
 Cape Plumbago
 Firethorn
 Hawthorne
 Sage

GROUNDCOVER

Acacia redolens
Cotoneaster horizontalis
Festuca elatior
Gazania (most species)
Hedera helix
Juniper spp.
Lonicera japonica 'Halliana'
Rosmarinus officinalis 'Prostratus'
Trachelospermum jasminoides
Turf spp.
Vinca major

Rock Cotoneaster
 Alta
 Gazania
 English Ivy
 Juniper
 Hall's Honeysuckle
 Rosemary
 Star Jasmine
 Turf
 Periwinkle

VINES

Cissus antarctica
Clematis Armandii
Clytostom callistegioides
Distictis buccinatoria
Gelsemium sempervirens
Macfadyena unguis cati

Parthenocissus tricuspidata
Rosa banksiae spp.
Trachelospermum jasminoides

Kangaroo Ivy
 Evergreen Clematis
 Violet Trumpet Vine
 Blood-Red Trumpet Vine
 Carolina Jasmine
 Cat's-Claw Vine

 Boston Ivy
 Lady Bank's Rose
 Star Jasmine

4. COMMUNITY DESIGN GUIDELINES

TREES

<i>Quercus agrifolia</i>	Coast Live Oak
<i>Quercus ilex</i>	Holly Oak
<i>Quercus suber</i>	Cork Oak
<i>Rhus lancea</i>	African Sumac
<i>Robinia ambigua 'idahensis'</i>	Locust
<i>Salix babylonica</i>	Weeping Willow
<i>Schinus molle</i>	California Pepper
<i>Schinus terebinthifolius</i>	Brazilian Pepper
<i>Tipuana</i>	Tipu Tree
<i>Tristania conferta</i>	Brisbane Box
<i>Ulmus parvifolia</i>	Chinese Elm
<i>Washingtonia spp</i>	Fan Plans

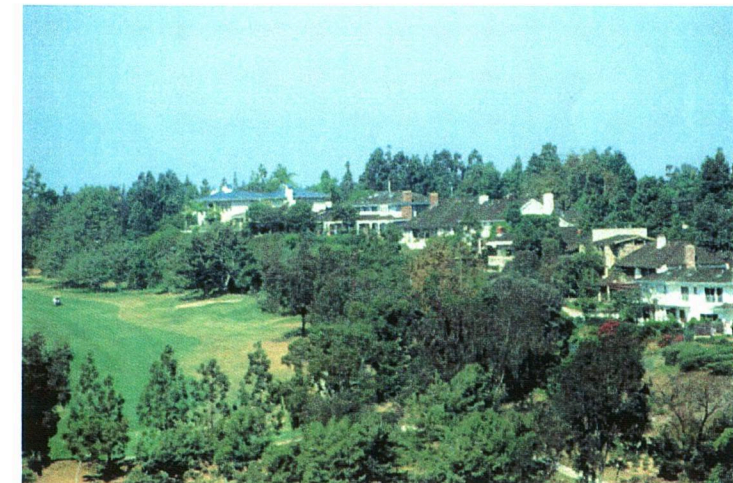
SHRUBS

<i>Tecomaria capensis</i>	Cape Honeysuckle
<i>Viburnum tinus 'Spring Bouquet'</i>	Laurustinus
<i>Xylosma congestum</i>	Xylosma

4.4 ARCHITECTURAL GUIDELINES

The purpose of the Architectural Guidelines is to create a community identity through the implementation of a consistent architectural design program. The intent is to allow the Neighborhoods to establish individual identities, yet blend strongly with overall community themes. These guidelines should be addressed during final project review, unless it is demonstrated that certain guidelines are not applicable, appropriate, or feasible under the circumstances. The goal of this component of the Architectural Guidelines is to promote product quality and community diversity by encouraging builders to explore and expand their range of architectural styles. The guidelines in this section seek to continue the legacy of diversity within the City of Beaumont without sacrificing quality control over design details.

An assemblage of architectural styles consistent with a "traditional residential" theme is intended to aid designers in developing a classic architectural image compatible with the historical nature of Beaumont. Three broad categories of Architectural styles have been chosen for Oak Valley Greens. These architectural styles have evolved nationally and in Southern California since the turn of the century. Their inherent simplicity and sense of elegance has enabled these styles to remain popular over long periods of time and are applicable in building the traditional golf course oriented community character desired.



4. COMMUNITY DESIGN GUIDELINES

4.4.1 Architectural Character

The architectural themes for the residential Neighborhoods of Oak Valley Greens are modeled on three principal architectural traditions:

- American Traditional;
- European Revivalist; and
- American Modern.

Each of these three broad architectural categories are comprised of more specific individual styles, all of which chronicle the evolution of American architectural fashion and provide a framework for identifying and understanding quality American houses.

As introduced, this section is intended to inspire architectural designers to employ historical precedents in creating a distinctive architecture for Oak Valley Greens. Direct reproductions of these styles is not necessarily the desired intent. The architecture should develop from these sources, creating a synergistic, diverse, and memorable identity. Ultimately, the goal is to create an architecture rich and varied, derived from the heritage of California which when viewed as a whole, produces an equally outstanding residential community. Other architectural styles may be added to the Community Design Guidelines through the application of the minor amendment process described in Chapter 5.



4.4.2 Architectural Design Guidelines

The purpose of this section is to provide specific architectural design guidelines for product development. Criteria are provided to ensure the use of recurring design elements which will reinforce the visual and spacial expression of the community and its themes. It will concurrently allow for individual design solutions appropriate to each planning area.

1. Height and Building Mass

Height shall be determined by the residential development standards of this document. However, the underlying theme of the massing should be to maintain a human scale and low profile. Proper design considerations for building mass and form will create a visually attractive community that is sensitive to the surrounding environment.



4. COMMUNITY DESIGN GUIDELINES

Materials employed should be reflective of the architectural elements as described in the following sections. It should also be noted that the style of architecture in the photographs is not necessarily the appropriate solution to the design of the projects. Designers should refer to the previous this section for architectural guidance and inspiration. All architectural designs within Oak Valley Greens shall conform to the following guidelines:

- a. Building lines should emphasize horizontal elements and roof lines.
- b. Second story elements should be set back from internal streets to help create human scale.
- c. Single-story garage elements should be encouraged, where possible.
- d. The use of reverse building plans to add articulation is encouraged..
- e. Building forms shall be designed to create and define a visually attractive and functional exterior.
- f. Combination of one-story units to create yard variation and visual interest are encouraged.
- g. Large expanses of flat wall planes vertically or horizontally are discouraged.
- h. Buildings should incorporate strong simple massing with broken and varied elements.
- i. Building masses should be predominantly asymmetrical, unless the particular style calls for a more formal or symmetrical design.
- j. Use of staggered garage setbacks and side-on garages to enhance the street scene appearance is encouraged.
- k. To enhance variety and interest, long, unbroken facades must be avoided and offsets and building projections made an integral part of the design. Providing individual and identifiable entries to units, particularly in higher density planning areas, will add interest when arranging building masses.

4. COMMUNITY DESIGN GUIDELINES

- l. Three story structures are prohibited.
 - m. Varying the depths of floor plans provide opportunities to create interesting massing without adding superficial design elements..
 - n. Architectural elements, landscape treatments, and residential massing and setbacks of homes located around the golf course shall be varied to create visual interest.
2. Elevation and Plan Treatments
- a. Visual Cohesion – A successful project design achieves a proper visual balance and sense of cohesion. The differences between the plans and elevations must be readily discernible and create variety. Yet at the same time the design elements, styles, and materials should not adversely contrast resulting in visual chaos.
 - b. Recesses and Shadow – The manner in which light strikes or frames a building is instrumental in how that structure is perceived. The effect of sunlight is a strong design consideration since shadow and shade gives the building a sense of both depth and substance. Projections, offsets, overhangs, and recesses are all tools in the creation of shadow.
 - c. Architectural Projections – A projection not only creates shadow but also provides a strong visual focal point. It can be used to emphasize some aspect of the design such as an entry or a major window. It can also distract the observer's attention away from other elements such as the garage or a large wall plane.
 - d. Stepping Forms – Elevations may be “stepped” both horizontally and vertically. Desired changes in material best occur at a step.
 - e. Entry Statement – The entry should be designed to serve as a focal point of the elevation and be readily discernible. The approaching observer should be drawn into it by its visual impact.



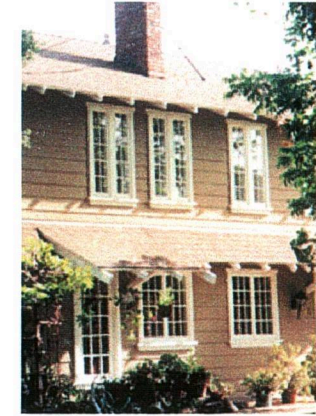
4. COMMUNITY DESIGN GUIDELINES

- f. Corner Lots – The sides of homes located on corner lots must be articulated in a similar manner to the front elevation.
- g. Architectural Detailing – Front elevations should incorporate enhanced detailing, which may include articulations, projections, elements, and varied siding materials. Enhanced detailing should be carried to corners on side elevations.
- h. Rear Elevations – These guidelines apply to rear elevations located adjacent to arterial and collector streets: color variations can soften massing, and window definition may be enhanced.

3. Window and Door Treatments

By varying the spacing, sizes, shapes, and locations of door and window openings in building facades, structures may be made more visually interesting and attractive. However, care must be taken to avoid too much variety or the end result will be a chaotic, cluttered, building facade.

- a. Windows and doors may be recessed into or projected out of structures to emphasize important areas of the building..
- b. Pot shelves, window boxes, greenhouses, and built-in planters may be utilized to further enhance the individual identity of each structure. However, all such containers must be easily accessible for plant maintenance.
- c. Window frames, mullions, awnings, and door frames shall be encouraged and shall be color coordinated with the rest of the building.
- d. Multi-lite windows and clerestories, as well as paned and side-lite doors shall be encouraged. Shutters as accent treatment should also be included.
- e. Decorative wrought-iron grills on windows are discouraged.
- f. Doors may be somewhat ornate and include inset panels, carvings, and window panes. Pediments should not be used above windows or doors.



4. COMMUNITY DESIGN GUIDELINES

4. Balconies, Porches, and Overhangs

Balconies, porches, and overhangs are desirable elements of a building that provide architectural interest and protection against the sun and inclement weather. Balconies are encouraged for inclusion in medium and high density residential areas since they provide residents with necessary outdoor areas and spaces. Balconies, porches, and overhangs add visually to structures by breaking up wall masses, offsetting floors, and creating a sense of human scale.

- a. Most balconies on residential structures within Oak Valley Greens should have open railings of wrought iron or wood, solid railings of wood, masonry, or stucco. Accent tile may be used in moderate amounts.
- b. Pipe railings are discouraged in residential areas, but are acceptable in all commercial, public, and institutional structures.
- c. In all cases, balconies and overhangs shall be designed such that the detailing, form, color, and materials are similar and/or compatible to the main structure.
- d. In high density residential areas, balconies shall be designed to allow light to reach dwelling units on lower stories whenever possible. No balcony shall protrude more than ten (10) feet from any primary wall of a residential structure.
- e. There is no maximum protrusion for commercial, industrial, or public structures.
- f. In residential areas of Oak Valley Greens, broad porches should be maximized to promote more horizontal elements, and provide transitions from interiors to exteriors.
- g. Breezeways and covered walks/trellis should also be encouraged to contribute to the horizontal element of planing and add to the exterior space transitions. Vertical planing is discouraged.



4. COMMUNITY DESIGN GUIDELINES

5. Building Materials and Colors

Building materials and colors shall complement the natural, climatic, and built environment of Oak Valley Greens. Whenever possible, materials should be durable and require minimal

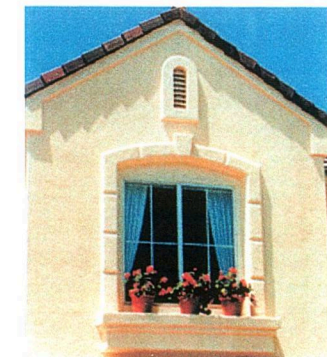
- a. Large expanses of flat, windowless wall planes that are not articulated by materials or colors are discouraged, particularly where exposed to public view.
- b. Use of widely varying and contrasting materials should be limited to select areas.
- c. Contrasting materials may be employed in areas in which special emphasis is desired such as building entrances and patios.
- d. Masonry and brick may be used to provide vertical and horizontal accents (e.g., chimneys, architectural banding) on buildings.
- e. Stucco is permitted.
- f. Paints, stains, and stucco should, in general, be subdued and limited primarily to soft pastels, neutral colors, grays, and light-to-medium earth tones. Select contemporary accent colors and pure hues may be used on moldings, doors, window frames, fascias, awnings, window boxes, shutters, cornices, and accent trim. Wood may be treated with transparent stains or paints if desired.
- g. Acceptable building materials include, but are not limited to, the following:
 - 1) Wood and dimensioned timber;
 - 2) Board on board;
 - 3) Stucco and plaster;



Preferred Color scheme: Soft earth tones with complementary building materials.



A tasteful blend of material, color and architectural detail creates interest without excessive articulation



Stucco need not be a plain material.

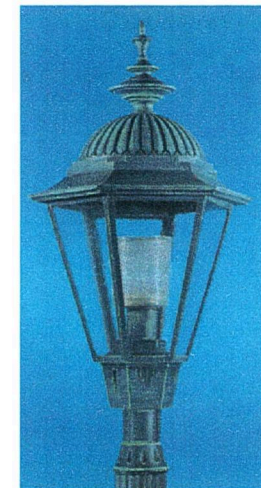
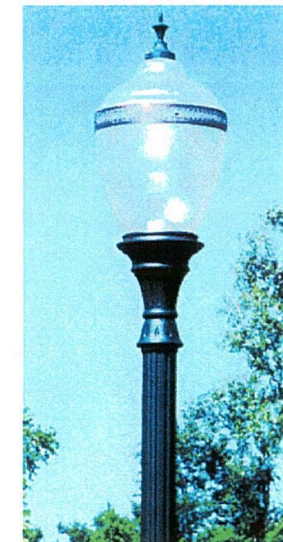
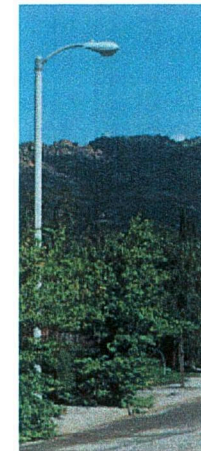
4. COMMUNITY DESIGN GUIDELINES

- 4) Field stone;
- 5) Painted building awnings;
- 6) Terra cotta or concrete roof tiles;
- 7) Cultured (manufactured stone);
- 8) Slate;
- 9) Clear, beveled, frosted and/or etched glass;
- 10) Brick, including used brick;
- 11) Composition siding;
- 12) Heavy-textured composition roofing (in keeping with the proposed architectural style) is permitted subject to Planning Director approval; and
- 13) Textured siding..



6. Lighting

- a. Light rays shall be confined on-site through orientation, the use of shading/directional controls, and/or landscape treatment.
- b. Lighting fixtures shall complement fixtures in adjacent development and shall enhance community character.
- c. Lighting shall be sufficient to provide reasonable safety for persons and property, allow sufficient illumination to identify hazards to pedestrian and vehicular circulation, and permit routine surveillance by security personnel.





IMPLEMENTATION AND ADMINISTRATIVE PROCEDURES
CHAPTER 5

5 IMPLEMENTATION AND ADMINISTRATIVE PROCEDURES

5.1 INTRODUCTION

The Precise Development Plan serves both a planning function and regulatory function. It is the vehicle by which the City of Beaumont General Plan is implemented for the Oak Valley Greens property. In addition, general administration rules are specified to properly relate the Precise Development Plan to the provisions within the Beaumont Municipal Code. If there is a conflict found between this Precise Development Plan and the City's Municipal Codes, the contents of this Precise Development Plan shall prevail. Where the Beaumont Municipal Code is silent, the Precise Development Plan shall prevail, and visa versa.

Should future economic or development conditions make it desirable to amend this Precise Development Plan, the procedures described in Section 5.2 shall govern such amendments. This Precise Development Plan may be amended at any time in the same process by which it was originally adopted.

5.2 PRECISE DEVELOPMENT PLAN AMENDMENTS

It is anticipated that certain modifications to the Community Design Guidelines and Neighborhood plans, text, and exhibits may be necessary during the life of the community. Any modifications to this document shall occur in accordance with the amendment process described in this Section. These amendments, should they occur, are divided into three categories. Minor Modifications allow for administrative changes and may be approved by the Planning Director or Director's designee. All other proposed changes are considered Additional Amendments or Alternative Development Standards and shall be reviewed for approval by the Planning Commission. All amendments shall be consistent with the Beaumont General Plan and the purpose and intent of the Oak Valley Greens Precise Development Plan.

5.2.1 Minor Modifications

Minor Modifications are those changes to the text and/or graphics which are consistent with the overall purpose and intent of the Oak Valley Greens Precise Development Plan. These minor modifications shall be interpreted by the Planning Director or the Director's designee. Changes may be made administratively by the Planning Director and are subject to appeal to the Planning Commission and subsequently, the City Council. Such modifications do not require revisions to the Pre-Annexation Development Agreement, and do not require additional environmental review.

5. IMPLEMENTATION AND ADMINISTRATIVE PROCEDURES

These changes include but are not limited to:

- The addition of new information to the Precise Development Plan maps or text that does not change the effect of any concepts or regulations;
- Changes to the community infrastructure, such as drainage, streets, water, and wastewater systems which do not have the effect of increasing or decreasing development capacity in the Precise Development Plan area, nor change the concepts of the Precise Development Plan;
- Boundary adjustments, easement locations, and minor design feature changes;
- Transfer of dwelling units either internally from one Neighborhood to another, or from one Planning Area to another, provided that the maximum total number of dwelling units for the respective Planning Area within Oak Valley Greens established by the Precise Development Plan is not exceeded;
- Minor land use district boundary adjustments (less than ten (10) percent of the total acreage of the affected areas);
- Land use area acreage adjustments for acreages shown in Exhibit 2.2-1;
- Minor revisions to the Community Design Guidelines, Chapter 4;
- Requests for new architectural styles; and
- Other items determined to be appropriate by the Planning Director.

5.2.2 Additional Amendments

Amendments to the Precise Development Plan which the Planning Director determines to be more substantial than an administrative change, and/or does not qualify as a Minor Modification, must be approved by the Planning Commission, subject to appeal to the City Council.

5. IMPLEMENTATION AND ADMINISTRATIVE PROCEDURES

5.2.3 Alternative Development Standards

With approval of a Tentative Tract Map, Alternative Development Standards may be established without a Precise Development Plan amendment where the standards pertain to the following:

- Setbacks to interior streets;
- Local residential street widths;
- Rear and side yard setbacks;
- Walls and fences;
- Residential lot sizes;
- Landscaping;
- Signage;
- Lighting;
- Sidewalks;
- Loading;
- Trash and storage areas;
- Vehicular driveways; and
- Outdoor storage areas.

Alternative Development Standards other than those specified above will require a Precise Development Plan amendment.

5. IMPLEMENTATION AND ADMINISTRATIVE PROCEDURES

A Tentative Tract Map application proposing to establish Alternative Development Standards shall be submitted with site plans, and will require a public hearing before the Planning Commission. The approval of Alternative Development Standards through the Precise Development Plan shall require findings that the Alternative Development Standards will not change the type, intensity, or use of the underlying land use.

5.3 GENERAL ADMINISTRATION PROCEDURES

5.3.1 Applicability

When any issue or condition occurs that is not provided for by these regulations, those provisions provided for by the Beaumont Municipal Code that are most applicable for the most similar issue, or condition, and which do not conflict with the policies and provisions of this plan as determined by the Planning Director or Director's designee shall apply, and visa versa.

5.3.2 Effective Date

All decisions of the Planning Commission concerning the merits of the applications shall be final unless appealed within fifteen (15) calendar days, or unless the City Council initiates a review thereof.

5.3.3 Expiration of Approval

In any case where a Minor Modification, Additional Amendment, or Alternative Development Standards approval has been granted and a building permit not issued within 24-months after the date of granting thereof, the time shall be automatically extended in accordance with the remaining time on the accompanying Tentative Tract Map.

5.3.4 Extensions

Extensions of time for a Minor Modification, Additional Amendments, or Alternative Development Standards approval shall be determined by the Planning Commission. Extensions of time for any Tentative Tract Map shall be determined by the City Council.
Extensions shall not be considered unless a letter specifying the following information is received by the Planning Director before the date on which the approval expires:

5. IMPLEMENTATION AND ADMINISTRATIVE PROCEDURES

- A description and documentation of good faith efforts to effectuate the plan;
- A description and documentation of acts, conditions or events beyond the permittee's control which precluded project implementation; and
- An estimate of what must occur in order to proceed, along with an estimated time and requested extension period, accordingly.

5.3.5 Administration and Enforcement

The Oak Valley Greens Precise Development Plan shall be administered and enforced according to Chapter 17.100 of the Beaumont Municipal Code.

5.3.6 Alternative Development Standards.

When a Tentative Tract Map Application proposes to establish Alternative Development Standards, the project proponent must demonstrate how these alternative site development standards will better serve the public interest and produce a higher quality development. If the Alternative Development Standards are determined not to meet this criteria, the proposed Alternative Development Standards shall be denied and the permit application shall be revised accordingly.

5.3.7 Building Permit Submittals

Submittal packets for the issuance of building permits shall include, among other plans, architectural plans, fence/wall plans, landscape and slope treatment plans, and/or irrigation systems where required.



PARK CALCULATIONS

PRECISE DEVELOPMENT PLAN

APPENDIX

RESOLUTION

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BEAUMONT,
CALIFORNIA, ADOPTING MITIGATED NEGATIVE DECLARATION NO.
AND APPROVING THE OAK VALLEY GREENS PLANNED UNIT DEVELOPMENT
Oak Valley Greens**

WHEREAS, an application was duly filed by PACIFIC CENTURY HOMES, for a Planned Unit Development approval for a 532.72 acre site located surrounding the existing Oak Valley Golf Club, south of Brookside Avenue, north of 14th Street and east of Interstate 10; and

WHEREAS, a public hearing was held before the Beaumont Planning Commission on July 6, 1999, and after a thorough evaluation the Planning Commission has found the proposed Mitigated Negative Declaration has been prepared in accordance with the California Environmental Quality Act; and on recommendation that the City Council adopt Negative Declaration No. 99-ND-6 and approve the Oak Valley Greens Planned Unit Development; and

WHEREAS, a Public Hearing before the City Council was called for August 24, 1999 at 6:00 p.m., and notice for such hearing was given to all affected property owners, as shown on the last equalized assessment roll, in the manner and for time required by law; and

WHEREAS, said Public Hearing was duly held at said time and the proposed Mitigated Negative Declaration and Planned Unit Development were reviewed by the Beaumont City Council.

NOW THEREFORE, IT IS HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF BEAUMONT, CALIFORNIA, AS FOLLOWS:

SECTION 1: The Mitigated Negative Declaration, 99-ND-6, is hereby adopted and is found to comply with the requirements of the California Environmental Quality Act and the City of Beaumont Guidelines for its implementation.

6. APPENDIX

SECTION 2: The Oak Valley Greens Planned Unit Development is consistent with the provisions and required findings of the Planned Unit Development Zone of the Beaumont Municipal Code, Chapter 17.35. The Oak Valley Greens Planned Unit Development will establish the precise land use and zoning standards for site development in accordance with the provisions of the Planned Unit Development Zone.

SECTION 3: The Oak Valley Greens Planned Unit Development is consistent with the Land Use Element of the City of Beaumont and other applicable General Plan policies and elements.

SECTION 4: The City Council hereby approves the Oak Valley Greens Planned Unit Development subject to the Conditions contained in Exhibit "A" attached hereto.

RESOLUTION NO.

MOVED, PASSED AND ADOPTED, upon the following vote:

AYES:

NOES:

ABSTAIN:

ABSTAIN:

**Oak Valley Planned Unit Development
Conditions of Approval**

EXHIBIT "A"

**OAK VALLEY GREENS
PLANNED UNIT DEVELOPMENT
CONDITIONS OF APPROVAL**

1. The following conditions of approval are for the **OAK VALLEY GREENS PLANNED UNIT DEVELOPMENT**
2. The Oak Valley Greens Planned Unit Development shall consist of the following, components as approved through City of Beaumont City Council Resolution No. 1999-29, adopted on August 24, 1999.
 - a. Approved Oak Valley Greens Planned Unit Development Plan Text (final document incorporating all changes made through public hearing process).
 - b. Exhibit "A": Conditions of Approval

All mitigation measures as contained in the Mitigated Negative Declaration, 99-ND-6, shall be conditions of approval for the project. Subsequent to the completion of the public hearing process, the Applicant shall finalize the Planned Unit Development Plan to incorporate all changes and modifications, and provide the Director of Planning with 25 bound and one reproducible copies of the Planned Unit Development Plan text and exhibits.
3. If any of the following conditions of approval differ from the Planned Unit Development Plan text or exhibits, the conditions enumerated herein shall take precedence.
4. Mitigation measures for impacts to the Beaumont Unified School District and any other districts which may ultimately serve the project shall be identified prior to the approval of implementing tentative subdivision maps and plot plans in accordance with the State laws and City Council policies in effect at the time of application submittal.

6. APPENDIX

5. The development standards contained in the approved Planned Unit Development Plan shall become the prevailing land use regulations for the areas contained within the area of the project. These regulations will have full force of the Zoning Ordinance of the Beaumont Municipal Code through application of the PUD (Planned Unit Development) Zone. Where conflicts exist between approved Planned Unit Development Plan and the Beaumont Zoning Ordinance, the Planned Unit Development Plan regulations shall prevail. Subject to the vesting effect of the Development Agreement, where conflicts existing between the Planned Unit Development Plan and the provisions of the Municipal Code, other than the Zoning Ordinance, the provisions of the Municipal Code shall prevail.
6. Development applications for development portions of the Planned Unit Development Plan area which incorporate common areas shall be accompanied by design plans for the common area. Such plans shall specify the location and extent of landscaping and irrigation systems. Additionally, all circulation components (vehicular, pedestrian and/or equestrian) shall be indicated, and the approximate locations of structures or groups of structures shall be indicated.
7. A parcel map filed for the purposes of phasing or financing shall not be considered a development application for the purpose of these conditions.
8. The Planning Director may require special studies or reports in connection with implementing development applications for each planning area, if and to the extent reasonably necessary for appropriate review of a development application or as required under applicable law (subject to the vesting effect of the accompanying Development Agreement). Such reports may include, where appropriate:
 - a. Preliminary Soils and Geotechnical Report
 - b. Erosion and Sedimentation Control Plan
 - c. Streetscape, parkway and median landscape plan
 - d. Fencing and wall plan

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- e. Traffic and circulation assessment to document adequacy/function of proposed improvements.
 - f. Fuel modification plan
 - g. Acoustical Study
9. Common areas identified in the Planned Unit Development Plan shall be owned and maintained as follows:
 - a. One or more permanent master maintenance organization(s) shall be established for all common areas, to assume ownership and maintenance responsibility for all common recreation, open space, circulation systems and landscaped areas. Such organizations may be public or private. Assumption of such responsibilities by existing local, area-wide or regional organizations shall satisfy this condition provided that such organizations are legally and financially capable of assuming such responsibilities. Private neighborhood associations may be established for residential developments containing common areas.
 - b. Unless otherwise provided for in these conditions of approval, or permitted by the Planning Director, the relevant maintenance organization shall be established and common areas shall be conveyed to the maintenance organization not later than thirty days after completion of construction of common area improvements.
10. If any of the permanent master maintenance organizations referenced in Condition of Approval No. 9 is a public organization, the Developer shall comply with the following conditions:
 - a. Not later than thirty days after completion of construction of the relevant common area improvements, the Applicant shall convey to such organization or the City, as appropriate, fee simple title to all common or common open space areas, free and clear of all liens, due but unpaid taxes, assessments, leases (recorded and unrecorded) and easements, except those easements which in the reasonable judgment of the City would not interfere with the intended use of such area. As a condition precedent to the City accepting title to such areas, the subdivider shall submit the following documents to the Planning Director and City Attorney:

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- 1) A declaration of covenants, conditions and restrictions; and
 - 2) A sample form of document for conveying title to the purchaser of an individual lot or unit which provides that the declaration of covenants, conditions and restrictions is incorporated therein by reference.
- b. The declaration of covenants, conditions and restrictions submitted for review shall (i) provide for a term of not less than 60 years, (ii) provide for the establishment of a property owners' association comprised of the collective owners of any applicable common areas and (iii) contain provisions substantially in the following form:
- 1) *The property owners' association conditionally required herein shall, if not then formed or in good standing, be activated, by incorporation or otherwise, at the request of the City of Beaumont, and thereafter the property owners' association shall unconditionally accept from the City, upon demand, title to all or any part of the 'common area,' more particularly described on Exhibit '___' attached hereto, provided that such common area is in substantially the same physical condition and state of title as it was when conveyed by the Applicant to the City of Beaumont. The decision to require activation of the property owners' association and the decision to require that the association unconditionally accept title to the 'common area' shall be at the sole discretion of the City of Beaumont.*
 - 2) *In the event that the common area, or any part thereof, is conveyed to the property owners' association, the association thereafter shall own such 'common area,' shall manage and continuously maintain such 'common area' and shall not sell or transfer such 'common area,' or any part thereof, absent the prior written consent of the Planning Director. The property owners' association shall have the right to assess the owners who default in the payment of a maintenance assessment and upon the recordation of a notice of default assessment, the property owners' association shall have a lien securing payment of such assessment, which lien shall be forecloseable by the property owners' association by power of sale in the same manner as a deed of trust may be foreclosed. Such a default assessment lien, once notice is recorded, shall be prior to all other liens recorded subsequent to recordation of the notice.*

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- 3) *This Declaration shall not be terminated, substantially amended or property deannexed therefrom absent the prior written consent of the Planning Director. A proposed amendment shall be considered 'substantial' if it materially affects the extent, usage or maintenance of the 'common area.'*
 - 4) *In the event of any conflict between this Declaration and the Articles of Incorporation, the Bylaws, or the property owners' association Rules and Regulations, if any, this Declaration shall control."*
 - c. Once approved, the declaration of covenants, conditions and restrictions shall be recorded at the same time that the final map is recorded.
11. If the permanent master maintenance organization referenced in Condition of Approval No. 9.a is a private organization, the Developer shall comply with the following condition:
- a. Prior to recordation of any final subdivision map or issuance of building permits in the case of use permits and plot plans, the subdivider shall submit the following documents to Planning Department for review, which documents shall be subject to the approval of that Department and the City Attorney:
 - 1) A declaration of covenants, conditions and restrictions; and
 - 2) A sample form of document for conveying title to the purchaser of any individual lot or unit which provides that the declaration of covenants, conditions and restrictions is incorporated therein by reference.
 - b. The declaration of covenants, conditions and restrictions submitted for review shall (i) provide for a term of not less than 60 years, (ii) provide for the establishment of a property owners' association comprised of the owners of each individual lot or unit and (iii) provide for ownership of the common area by either the property owners' association of the owners of each individual lot or unit as tenants in common and (iv) contain provisions substantially in the following form:

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- 1) *The property owners' association established herein shall manage and continuously maintain the 'common area,' more particularly described on Exhibit '____' attached hereto, and shall not sell or transfer the 'common area' or any part thereof, absent the prior written consent of the Planning Director.*
- 2) *The property owners' association shall have the right to assess the owners of each individual lot or unit for the reasonable cost of maintaining such 'common area.' The property owners' association shall have the right to assess the owners who default in the payment of a maintenance assessment and upon the recordation of a notice of default assessment, the property owners' association shall have a lien securing payment of such assessment, which lien shall be forecloseable by the property owners' association by power of sale in the same manner as a deed off trust may be foreclosed. Such a default assessment lien, once notice is recorded, shall be prior to all other liens recorded subsequently to recordation of the notice.*
- 3) *This Declaration shall not be terminated, 'substantially' amended or property deannexed therefrom absent the prior written consent of the Planning Director. A proposed amendment shall be considered 'substantial' if it materially affects the extent, usage or maintenance of the 'common area.'*
- 4) *In the event of any conflict between this Declaration and the Articles of Incorporation, the Bylaws, or the property owners' association Rules and Regulations, if any, this Declaration shall control."*

c. Once approved, the declaration of covenants, conditions and restrictions shall be recorded at the same time the final map is recorded.

12. A commercial property owners association or appropriate entity shall be developed separately for the commercial areas designated as Planning Area I.7 as shown on Exhibit 2.2-1 of the Planned Unit Development Plan document. Criteria for the commercial property owners association shall be developed in conjunction with each commercial development. The commercial property owners' association will be established prior to the issuance of certificates of occupancy for the first building for the commercial area.

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13. Prior to the recordation of any final subdivision map, or building permits being issued in the case of conditional use permits and plot plans, the Applicant shall submit to the Planning Department the following documents which shall demonstrate the satisfaction of the City that the appropriate individual property owners' associations will be established and will operate in accordance with the intent of these conditions of approval:
 - a. The form of document to convey title; and
 - b. Covenants, Conditions and Restrictions to be recorded.
14. Prior to issuance of a building permit for the construction of any use contemplated by this approval, the Applicant shall first obtain clearance from the Planning Department that all pertinent conditions of approval of the Planned Unit Development Plan have been satisfied for the subject phase of development.
15. Prior to the submittal of any subsequent development applications or the issuance of any permits twenty (20) copies of the final Planned Unit Development Plan document shall be submitted to the Planning Department for distribution. The documents shall include the final City Council resolution, the final Planned Unit Development Plan conditions of approval, and any corrections, modifications or additions resulting from the hearing and approval process.
16. The Planned Unit Development Plan shall remain unmodified (except for modifications requested by the Applicant and approved by the City) for 25 years. Should the entire project not be built out in that period of time, the City shall be entitled to adopt amendments for any portion of the project which has not been constructed within 25 years.

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17. The Applicant (or its successor-in-interest, as the case may be) shall defend, indemnify, and hold harmless the City of Beaumont, its agents, consultants, officers, and employees from any third-party claim, action or proceeding against the City of Beaumont or this agents, consultants, officers, or employees to attach, set aside, void or annul an approval of the City of Beaumont, its advisory agencies, appeal boards or legislative body concerning the Oak Valley Greens Planned Unit Development Plan. The City of Beaumont will promptly notify the Applicant or its successor of any such claim, action, or proceeding against the City of Beaumont and will cooperate fully in the defense.
18. The Developer shall defend, indemnify and hold harmless the City of Beaumont and its employees, agents, consultants, officers and contractors from any third-party claim, action or proceeding related to the environmental documentation pursuant to the California Environmental Quality Act associated with the Oak Valley Greens Planned Unit Development Plan.
19. In accordance with Section 711.4 of the California Fish and Game Code, the Applicant/subdivider is obligated to pay a filing fee to defray cost incurred by the Department of Fish and Game in managing and protecting fish and wildlife trust resources. The Applicant/subdivider is also obligated to pay a documentary handling fee to defray costs incurred by the City of Beaumont in implementing the Department of Fish and Game filing fee program. These fees shall be paid to the County Clerk if the County of Riverside at the time of filing a notice of determination pursuant to Section 21152 of the Public Resources Code. Applicant shall not be entitled to exercise its rights under the Planned Unit Development Plan or the Development Agreement until such fees have been paid. The amount of the fees shall be in accordance with legally adopted fees at the time of the filing of the notice of determination.

LAND USE CONDITIONS

20. The Planned Unit Development Plan may be developed up to a maximum yield of 2,260 dwelling units, with a maximum of 627-market rate dwelling units and a maximum of 1,633 age restricted dwelling units. Densities for each Planning Area shown in Exhibit 2.2-1 and Table 2.1-A of the Planned Unit Development Plan shall be determined through the appropriate development application, but not limited to, the following:

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- a. Adequate availability of services;
 - b. Adequate access and circulation;
 - c. Sensitivity to land forms;
 - d. Innovation in housing types, design, conservation, or opportunities;
 - e. Sensitivity to neighborhood design through appropriate lot and street layouts; and
 - f. Compliance with these conditions of approval, and the plan modifications provided for in these Conditions of Approval.
21. The Planned Unit Development Plan Land Use diagram, Exhibit 2.2-1 of the Planned Unit Development Plan, and all pertinent text, shall be modified in the final document, to be compiled subsequent to City Council approval of the Oak Valley Greens Planned Unit Development Plan, as follows:
- a. Planning Area II, Low Density Residential, in order to provide complementary land uses to existing development, shall be designed as set forth in the plan submitted by the Applicant at the City Council's public hearing on August 24, 1999. The average density of this Planning Area shall be one unit per acre, with a minimum lot size of 30,000 square feet for all parcels fronting Union and Hannon Streets. Union and Hannon Streets shall be improved to an appropriate rural standard, to be established in conjunction with the approval of subdivision maps for this Planning Area.
 - b. All residential lots established in Planning Area I.1 shall be a minimum of 5,000 square feet in size.
 - c. In order to preclude vehicular traffic conflicts, within Planning Area III. 4 and throughout the project, no residential lots shall front on any public or private street where traffic volumes are projected to be greater than 1,200 Average Daily Trips (ADT).
 - d. Planning Area II shall be developed with a minimum lot size of 10,000 square feet.

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- e. No rental apartment units shall be permitted in the project. Any attached housing products, should such products be proposed, shall be limited to ownership units within the active-adult component of the project.
 - f. In the event that the active-adult component of the project is not under active development (submittal of detailed development plans) within five (5) years of the approval of the Planned Unit Development Plan and issuance of building permits one (1) year thereafter, the approval of the active-adult community components of the Planned Unit Development Plan shall thereupon expire and subsequent development of this area shall be subject to prior City Council approval of an Amendment to the Planned Unit Development Plan.
22. Lots created pursuant to this planned unit development shall be in conformance with the development standards of the PUD zone as established by this Planned Unit Development Plan and the corresponding Planning Area standards for each Planning Area. With respect to any proposed attached and apartment products and any commercial development, such uses shall be subject to the prior approval of a Plot Plan Application, inclusive of detailed architectural design, by the Planning Commission. Minimum side yard setbacks of five (5) feet shall be maintained for all market rates housing products.
23. All grading within the project shall be performed in accordance with the following conditions and development criteria:
- a. All grading shall take place in accordance with the City's adopted policies in effect at the time permits are issued (unless such policies are materially more burdensome than the policies in effect as of the date of the adoption of the Development Agreement applicable to the subject project) and the grading criteria contained in the Planned Unit Development Plan.

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- b. Where cut and fill slopes are created in excess of 5 feet in vertical cut height or 3 feet in vertical fill height, detailed landscaping and irrigation plans shall be submitted to the City prior to approval of grading plans. The plans will be reviewed for type and density of ground cover, seed mix, plant materials, staking details, and sizes and irrigation systems.
- 24. Applicant shall incorporate the following defensible space concepts into the design of projects which shall be included within all development plans and reviewed and approved by the City Police Department prior to approval of implementing projects:
 - a. Circulation for pedestrians, vehicles and police patrols.
 - b. Lighting of streets, walkways, bikeways, and commercial and industrial areas.
 - c. Visibility of doors and windows from the street and between buildings.
 - d. Fencing heights and materials.
- 25. In the event that, during or following grading of the project site or portions thereof, economic or other conditions prevent the Developer from continuing with the project within a reasonable amount of time, as determined by the City, the City shall so notify the Developer who shall contact the City Planning Department to identify necessary activities that the Developer must implement to protect public safety and minimize/prevent environmental degradation, particularly due to wind and water erosion. The Developer shall be required to reimburse the City for the cost of activities to satisfy this condition.
- 26. Density transfer within the various components of the project and planning areas shall be subject to the limitations contained in the Administrative section of the Oak Valley Greens Planned Unit Development Plan. In conjunction with any request to transfer density, the Developer shall submit a report outlining the status of the entire project in terms of (a) areas developed and undeveloped, (b) density previously transferred, and (c) quantitative impact on remaining development entitlement allocations.

PARKS AND RECREATION

Development of the property shall be accompanied by the provision of the equivalent of not less than 35.03 acres of fully improved and usable park area. This calculation and the further calculation contained within this Condition of Approval are based upon the proposed number of units and the provision of parks space at a rate of 5 acres per 1,000 population, and may be modified based upon the number of units indicated in the final Planned Unit Development Plan. Phased dedication and payment of in-lieu fees, as detailed herein, shall be to the City for maintenance by a Community Services District or other suitable maintenance entity, and shall be provided as described below.

The plans provided by the applicant provide for a total open space and parks area of 66.24 acres, a bulk of which is located within easements held by the Southern California Edison Company (SCE).

The City has determined that, due to limitations associated with parks provided in the SCE easements, the value of such park space and facilities is equivalent to 50 percent of customary facilities provided in unencumbered locations. As a result of this determination, the following parks credits will be granted to the project as proposed:

Open Space Area 1.6 (Active) (16.5 ac)	8.25 acres (50 percent)
Open Space Area 2.5 (Active and Passive)(13.6 ac)	6.80 acres (50 percent)
Open Space Area 2.6 (5.04 ac)	5.04 acres (100 percent)
Open Space Area 2.7 (0.76 ac)	0.76 acres (100 percent)
Neighborhood Park 3.4	0.30 acres (100 percent)
Active-Adult Recreation Center (6.1 ac)	6.1 acres (100 percent)
Active-Adult Passive Open Space (23.87 ac)	11.94 acres (50 percent)
Total Park	39.19 acres (provided)

Park Req	
Conventional SFD = $627 \times 3.2/1,000 = 2.01 \times 5 = 10.03$ acres	
Active Adult SFD = $1,654 \times 2/1,000 = 3.30 \times 5 = 16.50$ acres	
Total	26.50 acres required

39.19-26.50 = Extra Park Provided (Possible Credit) 12.69 Acres

Additional Park provided will require fee credits of $552,776 \text{ s.f.} \times \$2.50 = \$1,381,940$, per the above table.

6. PARK CALCULATIONS

The following requirements shall be applicable to each individual development within the Oak Valley Greens Planned Unit Development Plan area:

- a. It is recognized that the Oak Valley Greens Planned Unit Development Plan area will likely be developed through several separate ownership's, and that park facilities shown in the Planned Unit Development Plan are not proportionately assigned to the development areas which correspond with individual ownership's. As a result, each increment of development, prior to the recordation of any subdivision map, shall be responsible for providing usable and fully improved park space and/or fees, as set forth in the Beaumont General Plan, equivalent to 5.0 acres per 1,000 population. The population factor to be utilized in calculating the parks requirement shall be 3.2 persons per household for market rate housing, and 2.0 persons per household for age-restricted housing.
- b. It shall be permissible for individual developers to arrange for the development of park facilities outside their individual holdings, provided that the park phasing requirements set forth herein are achieved. Additionally, if an individual developer, in order to complete the development of his individual holdings, is required to provide parks facilities in excess of his computed requirement, it shall be the developer's sole responsibility to arrange for payment or credits from other property owners which may be park-deficient. The City may facilitate this process through conditions of approval, but shall in no event be held responsible for the equitable distribution of park facilities and requirements.

Prior to, or concurrent with, the recordation of any final subdivision map, the respective developer shall submit a detailed parks and open space plan, which clearly illustrates compliance with these conditions of approval, usable acreage and the nature and extent of landscaping and facilities proposed, for the approval of the City Council, inclusive of the following elements:

- a. Site Plan
- b. Grading Plan
- c. Landscape, Lighting and Irrigation Plan
- d. Architectural Plans, where appropriate
- e. Detailed Cost Estimates
- f. Other Plans as determined appropriate by the Planning Director