

K. HOVNANIAN'S®

# FOUR SEASONS

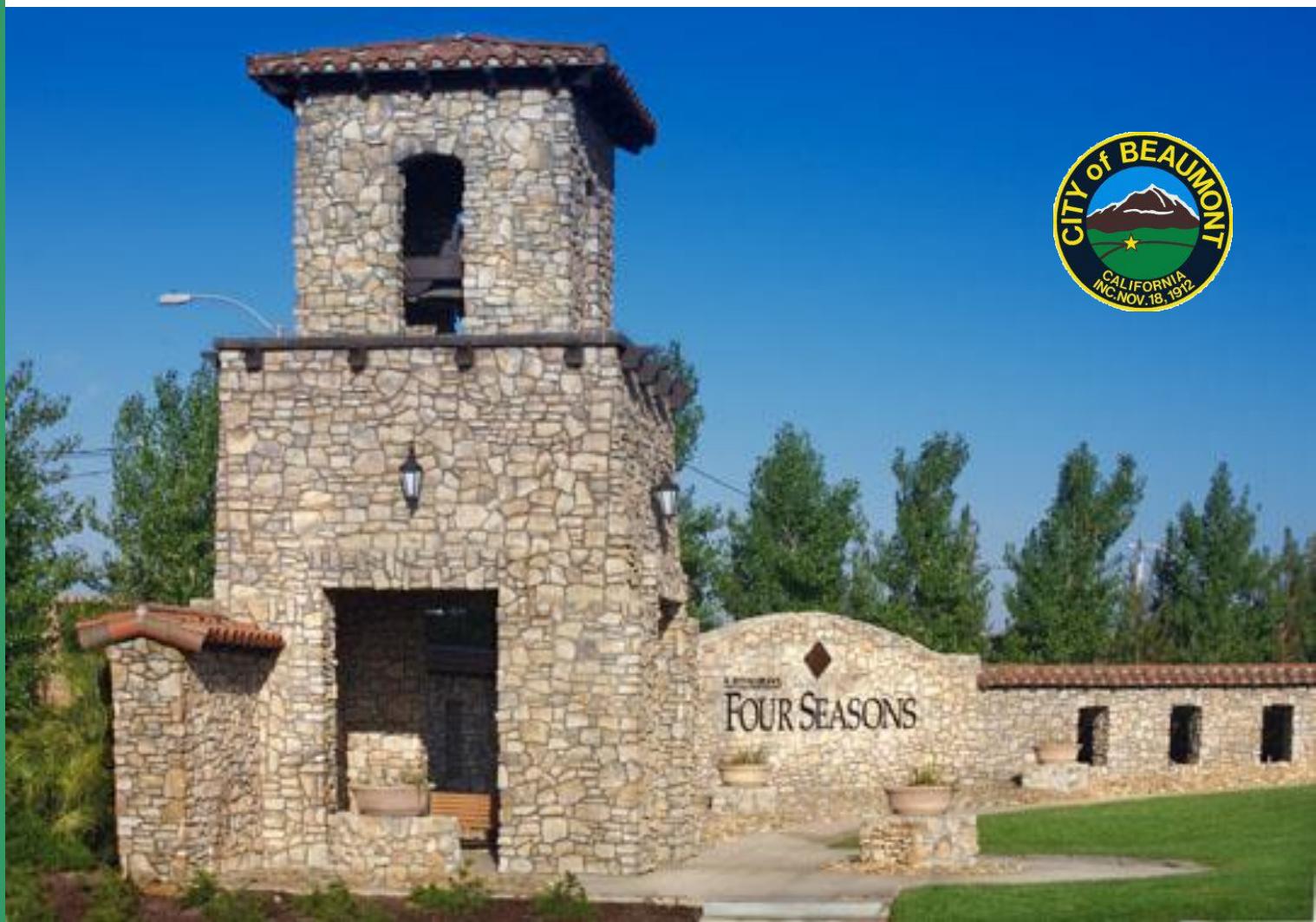
AT BEAUMONT



February 2016

## SPECIFIC PLAN

AMENDMENT NO. 1 TO THE HOVCHILD SPECIFIC PLAN, June 1, 2004  
SUBSTANTIAL CONFORMANCE No. 15-3012, 6<sup>th</sup> MINOR/ADMINISTRATIVE AMENDMENT, 2016



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# SPECIFIC PLAN

**(Amendment of the Hovchild Specific Plan)**

City of Beaumont, California

**Substantial Conformance No. 15-3012  
Minor/Administrative Amendment No. 6**

February 2016

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## **SECTION I**

## **INTRODUCTION**

## INTRODUCTION

### A. LOCATION AND OVERVIEW

The Four Seasons at Beaumont Specific Plan project site is located within the southeastern portion of the City of Beaumont in the County of Riverside, just west of the City of Banning and adjacent to the Sun Lakes Planned Community (refer to Exhibit 1, *Regional Location*). The project site is located in the San Gorgonio Pass area joining Riverside and Perris Valley with Palm Springs and the Coachella Valley lower desert. Regional access is provided by Interstate 10 (I-10) from Highland Springs Avenue (refer to Exhibit 2, *Site Location*). The site is bounded by the proposed Seneca Springs development to the north and north west; the existing Sun Lakes Development along Highland Springs Avenue to the east; the proposed Potrero Creek Estates development to the south and the Potrero Creek (Lockheed Property) further south that was approved for County acquisition for open space.

The project site consists of approximately 565.5 acres. The site is characterized by rolling terrain, with the greatest topographic relief in the south west corner of the site. A drainage wash which is normally dry, Potrero Creek traverses the site from the northwest to the southeast. Approximately 81% of the site has slopes of 0 – 15%.

The Four Seasons at Beaumont Specific Plan project is envisioned to include age restrictive housing in a gated residential development with recreation village centers, natural open space, enhanced riparian/ trail corridors land uses. The project would consist of thirty four (34) planning areas with a maximum of 2,400 dwelling units possible. (refer to Section III, *Development Plan*).

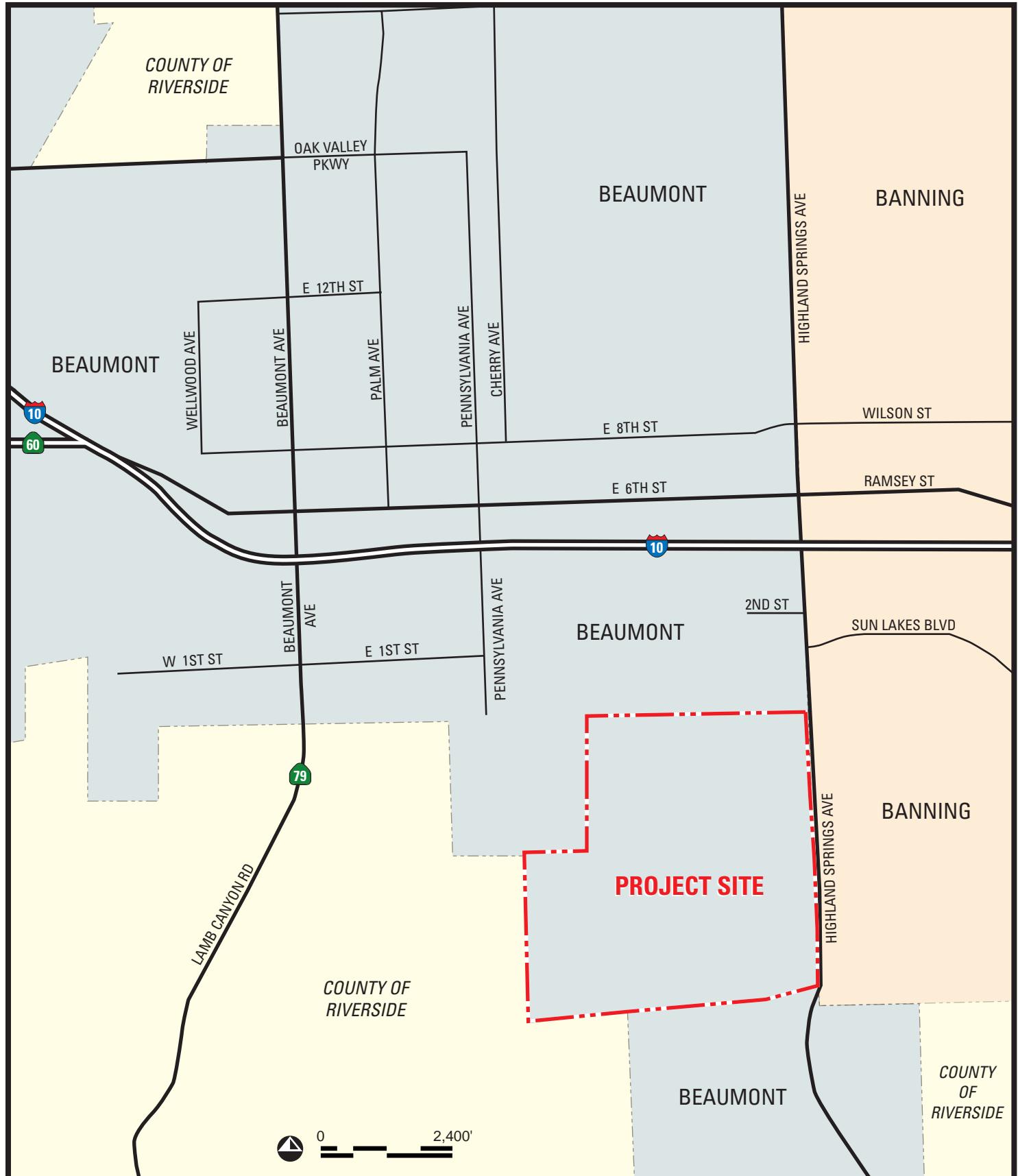
The objectives of the project are to:

- Update prior approved 1989 Hovchild Specific Plan based on changes of circumstances and market conditions;
- Implement a comprehensive and cohesive plan for the physical and economic development of the property;
- Develop a private gated community for active adults due to the their increasing migration to the area and potentially include additional housing without age restrictions;
- Provide recreational amenities which will serve the needs of the community;
- Provide natural open space and enhanced riparian corridors with recreation attributes;
- Implement and establish a development that is consistent with the City's General Plan; and

- Establish a community plan that will provide a well-integrated land use that is compatible with the surrounding area.

The Beaumont-Banning area is the nucleus of growth along I-10 in the San Gorgonio Pass area. Visitor commercial and light industrial uses have traditionally been located immediately adjacent to I-10. Residential development has occurred along relatively flat land, both north and south of the freeway corridor. On an area-wide level, numerous residential projects in various stages of planning and development attest to the growth character of the region. Development in the region is influenced by the availability of freeway access, generally flat topography, availability of land and utilities and a favorable climate.





K Hovnanian's  
Four Seasons at Beaumont  
**SITE LOCATION**

Exhibit 2

## **B. DOCUMENT PURPOSE**

The purpose of the Four Seasons at Beaumont Specific Plan is to provide an amended document to the previously approved Hovchild Specific Plan that will serve as a planning and regulatory tool for the orderly growth and development of the site as currently envisioned for the Four Seasons Project. The Specific Plan provides for the development of the planned community as a coordinated project involving a mixture of residential densities and housing types with private community facilities that serve an "active adult" lifestyle. The Specific Plan establishes the type, location, intensity and character of development to take place while allowing for creative and imaginative design concepts for the planned community. The establishment of design guidelines and development regulations ensures a quality development in the plan area that contributes to the City's housing supply, is consistent with the City of Beaumont General Plan, and is compatible with surrounding land uses. The Specific Plan establishes development controls to provide the City with the assurance that the completed project will be as envisioned.

The original Specific Plan ("Hovchild Specific Plan/ EIR") for the project was prepared according to the County of Riverside standards and then adopted by the City of Beaumont in 1989, which included the environmental impact report (EIR) for the original project. The Four Seasons at Beaumont Specific Plan is an amendment to the original document. An Addendum to the previously prepared EIR has been prepared based on the Four Seasons Project as proposed. The Addendum to the EIR provided a comparative environmental analysis between the current proposed Four Seasons Project and the previously approved Hovchild Specific Plan. Additionally, a revised development agreement is proposed which will define the contractual relationships between the property owner and the City of Beaumont. Together, these four documents provide the City of Beaumont, elected officials, and the general public with the full understanding of the project and its associated environmental impacts.

## **C. LEGAL AUTHORITY AND SCOPE**

Cities are authorized by the State of California Government Code, Title 7, Division 1, Chapter 3, Article 8, Section 65450 to adopt Specific Plans for purposes of implementing the goals and policies of their General Plans. The government code specifies that specific plans may be adopted by resolution or ordinance and are required to be consistent with the General Plan. The government code sets forth the minimum requirements and review procedures for specific plans including provisions of a land use plan, a plan for infrastructure and services, criteria and standards for development, and implementation measures. The government code also states that specific plans may address any other subjects, which in the judgment of the city are necessary or desirable for the implementation of the General Plan.

In recognition of Section 65450 of the Government Code, the City of Beaumont has used the specific plan process in consideration of past projects. In this context, Title 17, Specific Plan Zone, of the Beaumont Municipal Code states:

*"Specific plans, and amendments thereto, shall be adopted in accordance with the provisions of this title and of Section 65450 et. seq. of the Government Code, as now written or hereafter amended. All uses established pursuant to an applicable specific plan shall be subject to all the conditions and restrictions set forth in the Specific Plan regardless of the underlying zone, including, but not limited to, density and intensity of use, setbacks, heights, area, and open space."*

The Four Seasons at Beaumont Specific Plan serves as an amendment to the approved Hovchild Specific Plan/ EIR (1989) for the subject property. In the event that any regulation, condition, program, standard, or portion of this Specific Plan is held invalid or unconstitutional by a Court of competent jurisdiction, such portions shall be deemed separate, distinct and independent provisions, and the invalidity of the provisions shall not affect the validity of the remaining provisions thereof.

#### **D. BACKGROUND**

##### **1. Original Specific Plan Approval**

The planning process for the property began in August 1988 leading to the approval of the original Hovchild Specific Plan (designated by the City as SP-88-03), approved in 1989. The original plan consisted of a development comprised of residential, commercial and recreational uses. The original Hovchild Specific Plan consisted of a 570.6-acre site, including half width of Highland Springs Avenue, located in the Sphere of Influence of the City of Beaumont. The project Specific Plan as approved included residential uses with up to 2,454 dwelling units on 418.4 acres out of the total 570.6 acres. The residential use included 1,743 single family detached units (Low Density), 417 single family attached units (Medium Density), and 294 multi-family rental apartment units (High Density). The Hovchild Specific Plan called for a portion of these units to be for age restricted (adult community) housing including a congregate care facility.

In addition, a Commercial Village Center and Golf Clubhouse was planned on 8.8 acres; one park on 6.0 acres and a second park on 4.9 acres. An 18 hole executive golf course on approximately 78.5 acres was planned for in the major drainages (Potrero Creek) and other parts of the project area. The original Specific Plan approval also had 15.7 acres of other open space and 38.4 acres set aside for major streets.

Approval of the Hovchild Specific Plan required the previous project applicant to seek several approvals from the City of Beaumont. The project required that a Zone

Change (in the form of a pre-zone action taken before annexation was complete) be processed concurrently with the Specific Plan, which both were approved by the City in April 1989. The property's zoning of Agriculture (A-1) was rezoned Specific Plan Area (SPA). The Zone Change needed to be consistent with the City's General Plan designation of Plan Unit Development. Since the property was located within the Sphere of Influence of the City of Beaumont but outside of its city limits at the time, annexation of the property was required in order to allow the City approved Specific Plan and Zone Change to take effect. Proceedings for annexing the property to the City of Beaumont were completed in November of 1989 and at that time the zone change and Specific Plan became fully effective over the property.

## **2. Development Agreement**

In December 1993, the City of Beaumont entered into a Development Agreement with the owner of the property, Hovchild at that time, that was based on the approved 1989 Specific Plan. The adoption of the Development Agreement coincided with the property's inclusion in the City's Community Facilities District 93-1 ("CFD 93-1").

## **E. DEVELOPMENT PLAN PROCESS**

### **1. Legal Entitlements Provided by the Specific Plan**

The Specific Plan is a legal document that provides the City of Beaumont and the property owners with guidelines for development, based upon the plans and densities set forth therein. The Specific Plan establishes a pattern and density of land use as articulated in Section III, *Development Plan*. It also establishes a circulation plan where streets and roads are located and sized, a public facilities plan that states what facilities need to be constructed and where, a landscaping plan for the community, and a recreation and conservation plan that designates certain areas as open space.

### **2. Planning Process**

The Beaumont Planning Commission and City Council approved the original Hovchild Specific Plan document. The Four Seasons at Beaumont Specific Plan is an amendment to the original Specific Plan. Approval of the 2004 amendment followed the same process as approval of the original document.

Table 1, *Land Use Comparison*, below, provides a comparison between the original 1989 approved Specific Plan, the major Amendment #1 of Four Seasons at Beaumont Specific Plan approved in 2004, and the subsequent minor/administrative amendments and adjustments that have been approved since then. The Four Seasons at Beaumont Specific Plan's development concept approved in 2004 contains

several significant modifications and improvements to the original approved Hovchild Specific Plan. As shown in Table 1, the extent of acreage to be residentially developed was reduced by more than 48 acres. Much of this reduction supplemented the open space features proposed for the Four Seasons development. The adopted Hovchild Specific Plan's open space and recreational acreage totaled 105.1 acres, including planned open spaces, park areas and its executive golf course. The Four Seasons at Beaumont Specific Plan now preserves approximately 167.2 acres in open space, of which 17 acres is devoted to village centers, for active recreational uses and facilities.

Also, in the Four Seasons at Beaumont Specific Plan, acreage within the southwestern portion of the property with existing hilly terrain will be set aside and preserved as open space, significantly reducing the landform alteration necessary to implement the development concept. The land use plan of the Hovchild Specific Plan made no provision for preserving this hillside area, potentially allowing grading and development throughout it.

The 2004 specific plan amendment created a network of paseo greenbelts and enhanced riparian/ drainage corridor areas, including preservation and enhancement of Potrero Creek. These greenways were designed so as to maximize their value as habitat and to control quality and quantity of surface water flows leaving the property. The golf course proposed in the previous specific plan was to be located in large part within these drainages, requiring extensive modification and grading and posing significant challenges in obtaining necessary permits from various resource agencies.

**Table 1**  
**Land Use Comparison**  
**Specific Plan Amendments**

LAND USE	1989 Hovchild Specific Plan			2004 Four Seasons at Beaumont Specific Plan Amendment #1			2010-14 Four Seasons at Beaumont Specific Plan Minor/Administrative Amendments #'s 2-5			2015 Four Seasons at Beaumont Specific Plan Minor/Administrative Amendment #6		
	Acres	%	Max. DU's <sup>4</sup>	Acres	%	DU's <sup>4</sup>	Acres	%	DU's <sup>4</sup>	Acres	%	DU's <sup>4</sup>
Residential	418.4	73.3%	2,454	369.6	65.3%	2,041	369.6	65.3%	1,903	365.3	64.6%	1,890
Parks/ Open Space/ Manufactured Slopes	26.6	4.7%		146.5 <sup>2</sup>	26.0% <sup>2</sup>		146.5 <sup>2</sup>	26.0% <sup>2</sup>		150.2 <sup>2</sup>	26.6% <sup>2</sup>	
Golf Course	78.5	13.8%		0	0%		0	0%		0	0%	
Village Centers (Open Space/ Recreation)	0	0%		17	3.0%		17	3.0%		17	3.0%	
Commercial/ Institutional	8.8 <sup>3</sup>	1.5%		0	0%		0	0%		0	0%	
Major Streets	38.4	6.7%		32.4	5.7%		32.4	5.7%		33	5.8%	
<b>Total</b>	<b>570.6<sup>1</sup></b>	<b>100%</b>	<b>2,454</b>	<b>565.5</b>	<b>100%</b>	<b>2,041</b>	<b>565.5</b>	<b>100%</b>	<b>1,903</b>	<b>565.5</b>	<b>100%</b>	<b>1,890</b>

1. The acreage adopted with the Hovchild Specific Plan included area from the project property line to centerline of Highland Springs Avenue.
2. Includes natural open space, manufactured slopes and trail/ riparian corridors for the Four Seasons at Beaumont Project. The three planned Village Centers (17 AC) in the Four Seasons Project area also considered park space incorporating open space and recreational uses.
3. The Hovchild Specific Plan designated a Village Center (8.8 AC); however, the planned uses were commercial retail and a golf club house, not open space.
4. The maximum number of dwelling units (DU's) allowed is listed above for the 1989 Hovchild Specific Plan. The 2004 Four Seasons Specific Plan Amendment #1 and the 2010-15 Minor/Administrative Amendments #'s 2-6 listed above note the approved anticipated number of dwelling units. 2,400 maximum DU's were allowed per 2004 Amendment #1. 2,313 maximum DU's were allowed per 2014 Minor Administrative Amendment #5. 2,321 maximum DU's are allowed per 2015 Minor/Administrative Amendment #6.

### 3. California Environmental Quality Act Compliance

In January 1989, the Hovchild Specific Plan/ Environmental Impact Report (EIR) was prepared, and it was subsequently certified in 1989. As approved, the Four Seasons at Beaumont Specific Plan serves as an amendment to the original Hovchild Specific Plan. The Addendum to the existing 1989 EIR was prepared as part of the

planning process of the Four Seasons at Beaumont Specific Plan. The 2004 Addendum to the EIR incorporated the new project description, focusing primarily on the updated traffic study. The Addendum to the EIR is a comparative review between the current EIR and the new project and updated and provided a current CEQA compliance document. The Addendum EIR prepared for the 2004 specific plan amendment was prepared in accordance with the California Environmental Quality Act (CEQA) Statutes (as amended through January 2000) and the CEQA Guidelines, particularly California Code of Regulations, Article 9, Section 15120 through 15132 (content of an EIR) effective October 1998. The Addendum to the EIR served as the comprehensive compliance with the CEQA pursuant to Section 15162 of the CEQA Guidelines, and evaluated the issues identified as potentially significant in the 1989 EIR, in addition to issues identified in the course of project research. The Addendum EIR was approved in 2004 by the Planning Commission and City Council as part of the approval process of the 2004 amended Specific Plan.

The changes in the subsequent minor/administrative amendments to the Four Seasons at Beaumont Specific Plan do not create any additional impact to the Addendum EIR prepared with the 2004 specific plan amendment. Thus, no additional Addendum to the 1989 EIR is necessary as part of the planning process of the Four Seasons at Beaumont Specific Plan. The *Land Use Comparison Table 1* is intended to demonstrate the minor changes to the Specific Plan from the original 1989 Hovchild Specific Plan, and the 2004 Four Seasons at Beaumont Specific Plan Amendment #1 and demonstrate that no additional Addendum to the EIR was necessary.

## F. ORGANIZATION OF THE SPECIFIC PLAN

The Specific Plan contains plans and guidelines for development of the project site. It is designed to facilitate use by those who wish to build projects in conformance with the plan, staff personnel who must review project proposals, and decision makers who are called upon to act on these projects. Below is an outline of the content and sequence of sections of this Specific Plan.

- Section I.** **Introduction:** provides background and purpose statement, authority, and environmental compliance for the Four Seasons at Beaumont Specific Plan.
- Section II.** **Existing Conditions:** provides existing and surrounding land use information, including a description of site topography and slope, geology, drainage, biological resources, cultural resources, public facilities and hazardous materials.
- Section III.** **Development Plan:** describes the land use, circulation concepts, and community infrastructure and services.
- Section IV.** **Design Guidelines:** describes in narrative and illustrates the diagrams, the various aspects of the development (such as site

planning, architecture, landscape, trails, walls and fences, etc.) which must be addressed in order to achieve the level of development quality intended by the plan.

**Section V.** **Development Regulations:** describes the permitted and conditional uses and property development standards for the Specific Plan Planning Areas.

**Section VI.** **Administration and Implementation:** describes the rules and procedures for processing development plans and amending the Specific Plan.

**Section VII.** **General Plan Analysis:** describes the Specific Plan's compatibility with goals, policies and objectives of the City of Beaumont's General Plan.

**Section VIII.** **Resolution 2004 – 31 and Four Seasons Specific Plan and Tentative Tract Maps 32260 & 33096 Conditions of Approval.**

**SECTION II**  
**EXISTING**  
**CONDITIONS**

## II. EXISTING CONDITIONS

### A. EXISTING AND SURROUNDING LAND USE

Aspects of the discussion in this section reflect existing conditions as of 2004, prior to current development on the site per the approved Four Seasons at Beaumont Specific Plan. The project site is comprised of approximately 565.5 acres and is located within the southeastern area of the City of Beaumont. Generally, this region is defined as the San Gorgonio Pass area of Western Riverside County. The pass consists of the San Bernardino Mountains to the north, the San Jacinto Mountains to the south, and the broad plain of the valley. The project site is surrounded predominantly by vacant land and is bordered by Highland Springs Avenue on the east. Existing land uses in the vicinity of the project include residential, commercial, open space, agricultural, recreational vehicle park, and vacant undeveloped land.

The northeastern portion of the site is relatively flat and had been used for dry farming. This past condition constituted the majority of the site. The southwestern portion of the site is characterized by rugged topography and, aside from several unpaved access roads, is largely undisturbed. In addition to the access roads in the southwestern portion of the site, Laird Road, an unimproved dirt road crossed through the center of the site from east to west. Elevation ranges from 2,480 feet above mean sea level in the southeastern portion of the site to 2,771 in the southwestern portion of the site. Temporary trailers and old irrigation tanks and piping had been located within the central portion of the site. Potrero Creek, a dry wash ravine approximately two to four feet in depth, crosses through the northern and central portions of the site from the northwestern boundary to the eastern boundary. Due to historical agricultural operations, existing native habitats are mostly restricted to the hillside areas. Non-native grasses cover much of the flatter areas of the site and Riversidean upland sage scrub covers the hillsides.

Currently residential development of the property to the north (Medical Center) and northwest (referred to as the Seneca Springs project) have been recently developed by others. KB Homes developed a tract immediately to the West as part of the Seneca Springs project. Further north is First Street, which is now paved to the storage facility. Beyond First Street is a California Highway Patrol office, Interstate 10 and a Union Pacific Railroad line. Major retail (i.e. Wal-Mart, Best Buy and Home Depot) has been built on the North side of First Street. To the northeast of the project site is a retail commercial development. On the East, the project site is bounded by Highland Springs Avenue. Highland Springs Avenue is the common boundary between the Cities of Beaumont and Banning. The Sun Lakes golf course residential community, a low- to medium-density single-family residential development, is located on the eastern side of Highland Springs Road, within the City of Banning. There are electrical transmission lines that divide the property just South of the Potrero Creek and distribution lines that are run along the East boundary of the

project site. To the west, the project site is bordered by the Breeze Lakes Recreational Vehicle Park and vacant land. Additionally, there are several single-family residences scattered throughout the area surrounding the project site.

Table 2, *Local Circulation Network*, provides a description of the existing and proposed roadways within the vicinity of the project area. Table 2 includes the General Plan designation and number of existing lanes. Roadways in the project vicinity include Highland Springs Avenue on the eastside of the project, First Street 1 mile to the north, Pennsylvania Avenue to the northwest and Potrero Boulevard to the immediate north.

**Table 2**  
**Local Circulation Network**

Roadway	GP Designation	Existing Lanes
Highland Springs Ave.	Secondary <i>(Expanding to an arterial to the north)</i>	3 lanes, undivided
1 <sup>st</sup> Street	Major Highway	Dirt Road
Pennsylvania Avenue	Major Highway	2 lanes, undivided
Potrero Boulevard	Major Highway & Secondary	Partially built

## B. TOPOGRAPHY AND SLOPE

The 565.5 acre site is best characterized as gently rolling terrain. The majority of the site is generally cleared with only minor topographical relief from years of agricultural operations, contrasted by the more significant topographic relief of the hills along the south edge in the southwestern corner of the site. Portero Creek, a dry wash ravine traverses the site, generally trending northwest to southeast. Elevation ranges from 2,480 feet above mean sea level in the southeastern portion of the site to 2,771 at the southwestern boundary of the site. In summary, about 81% of the total site acreage has slopes of 0 to 15%, about 8% of the site has slopes of 16-25%, and about 11% of the site has slopes greater than 25%.

## C. GEOLOGY, SEISMICITY AND SOILS

### 1. Soil, Groundwater and Geologic Conditions

Primarily, the site is underlain by relatively thick alluvial deposits that have washed down from the foothills of the San Bernardino Mountains, located to the north. This

older alluvium overlies the older bedrock of the site and has been observed to be at least 17 feet thick. Additionally, recent alluvial deposits exist in Portero Creek and some of the small onsite drainage areas in addition to uncontrolled artificial fill found in a few areas onsite. According to Soil Survey, Western Riverside Area, California, U.S. Department of Agriculture, 1971, these soils are considered to be suitable for agricultural uses. When not irrigated, these soils are suitable only for small, dryland grains. The soils are also suitable for development of non-agricultural use and are suitable for use in the construction of compacted fills. Onsite soils used in this manner are expected to have a low to medium expansion potential.

Past measurements of two onsite wells, taken between 1991 and 2002, indicate that ground water elevations are about 99 feet below the surface of the western portion of the site and 47-52 feet below the surface of the eastern portion of the site.

Leighton and Associates' "Supplemental Preliminary Geotechnical Investigation for the Proposed Four Seasons at Highland Springs Development", 2003 (hereafter referenced as Leighton 2003), found that the subject site includes slope failure materials, recent alluvium, older alluvium, and artificial fill. Surficial debris includes typically loose, silty clay to sandy clay soils and highly weathered bedrock material, washed down from the sides of steeper slopes. Recent alluvium is composed of largely silty sand with some gravel, deposited in thicknesses ranging from 3 to 12 feet within the active drainage areas of the site. Older alluvium consists generally of silty sand to sandy silt, although certain locations may be sandy clay. The older deposits cover bedrock to depths ranging from 5 to more than 20 feet over much of the site's lower extent. Finally, artificial fill of unidentified origin is present in various locations on the site. The fill areas cannot be built upon in their current state.

## 2. **Geologic/ Seismic Hazards**

The proposed project does not lie in an Alquist-Priolo Earthquake Fault Zone, meaning no active faults have been mapped within the site. However, the site is situated in an earthquake-prone region of Southern California and is subject to moderate to strong ground shaking typical of the region. One fault, which is considered be inactive, has been mapped on the site.

The Late Quaternary Beaumont Plain fault has been mapped onsite. Recent geotechnical analysis has verified conclusions resulting from previous fault activity investigations during the 1980's. Previously, the faults encountered onsite were believed to be inactive (i.e. have not moved in the last 11,000 years). Although the major fault was generally located, its exact location has not been surveyed. However, a small previously-referenced fault was removed from the latest technical maps.

The nearest active faults are the San Andreas Fault located approximately 5 miles to the north and the San Jacinto Fault located approximately 6 miles south of the property. These active faults have the potential to generate maximum credible earthquakes of 7.3 and 6.9, respectively. In addition to these two active faults, other potentially active faults in the vicinity of the site include the Banning fault 3.5 miles to the north, the Cherry Valley fault 2 miles to the northeast, the San Gorgonio Pass fault 2 miles to the northeast, and the Pinto Mountain fault 16 miles to the northeast. Earthquakes which produce moderate to strong ground shaking may originate from these faults. However, the effects of those earthquakes are expected to be less than the effects caused by San Andreas or San Jacinto earthquakes due to the greater distance from the site or due to the smaller anticipated maximum probable earthquake magnitudes.

Associated with seismic events, liquefaction is a hazard which occurs during strong ground shaking in which fine grain, loose sediments lose their load-bearing capabilities. This loss of support can cause severe damage to structures and has been known to cause buildings to collapse or topple over. The potential for liquefaction to occur at this site is considered extremely small. Generally, the conditions which indicate the potential for liquefaction, including fine grain, loose sediments and groundwater levels less than 30 feet below the ground surface, are not known to exist at this site.

One geologic hazard previously thought to exist at this site is landsliding. The rugged topography of the southwestern area shows evidence of landslides. Although Leighton and Associates' 1987 geotechnical evaluation mapped a large ancient landslide and several smaller possible landslides, Leighton 2003 found dense, intact bedrock rather than loose broken landslide debris was present within the previously-mapped limits.

#### **D. DRAINAGE**

The proposed project site has several existing watercourses, drainage improvements and storm overflow areas. The Specific Plan area is crossed by one major natural channel, Potrero Creek, and several small natural drainage areas. Potrero Creek enters the site from the northwestern corner, crosses the site near the center of the site in a northwest-southeast direction, and exits the site through the eastern site boundary.

The entire site drains into Potrero Creek, although it does not do this as one unit. The northeastern 525 acres drains in a southeasterly direction and is collected by Potrero Creek onsite and offsite. The remaining 41 acres of the southwestern portion of the site drains southwesterly and is collected offsite by Potrero Creek. Ultimately, Potrero Creek flows into the San Jacinto River, which terminates at Lake Elsinore.

The City of Beaumont General Plan and USGS maps identify Potrero Creek as a blue-line stream. Although Potrero Creek is often dry, it does have its own 100-year and 500-year flood zones. The City of Beaumont General Plan identifies these areas within the City, labeling 100-year flood zones Zone A, 500-year flood zones Zone B, and those areas that may experience minimal flooding Zone C. The whole of this project site is within Zone C and thus 100-year and 500-year flood events are not likely to affect this property. Wetland/ riparian areas were recently delineated for Potrero Creek and its most significant tributary. After inventorying the soil types to be found on the proposed project site, the delineation report found none of them to be hydric per U.S. Soil Conservation Service (now Natural Resource Conservation Service) criteria.

## **E. BIOLOGICAL RESOURCES**

Just as the site exhibits differing characteristics defined by site geography for most existing conditions, the biological resources of this site are also defined by location. The biological resources on the Four Seasons at Beaumont site were first evaluated by Steven G. Nelson in his "Biological Assessment, Hovchild Property, Riverside County, CA" in 1987 (hereafter referenced as Nelson 1987). The steep hills of the site still support the native habitat Riversidean upland sage scrub (RUSS), while the flatter areas of the site, which have been used for agriculture, now support an introduced grassland habitat. Following are the descriptions of these two biotic communities, illustrating the predictable assemblages of species which exist within the same physical habitat and have a very close, complex set of interrelationships.

### **1. Riversidean upland sage scrub**

Nelson 1987 found this vegetative community throughout the project site's steep, rocky hillsides. RUSS ranges throughout Southern California, found on desert exposures of the mountains where it occupies physical habitats that consist of dry, rocky slopes at elevations less than 3,000 feet. RUSS is an open shrub vegetation that is dominated by shrubs that grow two to five feet high and do not commonly form a closed canopy. Onsite shrub cover is dominated by California sagebrush (*Artemisia californica*), California buckwheat (*Eriogonum fasciculatum*), and brittlebush (*Encelia apiana*). Chamise (*Adenostoma fasciculatum*) is also found onsite in scattered patches.

Dense ground cover is common, supported by the areas between the sparse shrub cover. Dominant ground cover species consist of annual grasses and forbs that have been introduced through grazing and agriculture and include foxtail chess (*Bromus rubens*), soft chess (*Bromus mollis*), slender wild oats (*Avena fatua*), and red stemmed filaree (*Erodium cicutarium*).

RUSS can support diverse wildlife. Vegetative productivity is normally high and large numbers of individuals of each species are typically found. Field observations

confirm that onsite conditions follow this pattern. No amphibians were found onsite, which is consistent with the dry habitat. However, several species of lizards and snakes were observed or expected, including the side-blotched lizard, the western fence lizard, the spiny granite lizard, the gopher snake, the red diamond rattle snake, and the red racer. In addition to reptiles, several species of small mammals are common onsite including the deer mouse, the botta pocket gopher, the pacific kangaroo rat, the audubon cottontail, and the beechey ground squirrel. These small mammals support a number of larger mammalian predators including coyote, gray foxes, and bobcats.

According to Nelson 1987, several species of birds were also observed, or expected, to use the project site. Raptorial birds observed foraging overhead include red-tailed hawks, turkey vultures, and American kestrels. Smaller birds observed foraging within the RUSS included the mourning dove, the scrub jay, the common raven, the roadrunner, the brown towhee, the sage sparrow, the house finch, the western meadowlark, the loggerhead shrike, the yellow-rumped warbler, anna's hummingbird, say's phoebe, and the common bushtit.

## **2. Introduced Grasslands**

The majority of the site was covered by rural/ agricultural land uses, found in the more level portions of the site. These areas show evidence of extensive disturbance by man and all of the native habitat has been removed. Dominant plant species are non-native grasses and herbs including slender wild oat (*Avena barbata*), red brome (*Bromus rubens*), and short-podded mustard (*Brassica geniculata*). These grasses are annuals that re-establish themselves on a yearly basis and can be expected to grow two to three feet high. This vegetation germinates during the late fall rainfall and grows to flower from winter through spring. Plants then die and persist as seeds in the soil through summer and early fall to start the cycle all over again. In some areas of this biotic community, certain shrubs characteristic of RUSS, have re-established themselves. These species include California buckwheat and California sagebrush and exist as scattered individuals.

Large open expanses of grassland normally support a limited abundance and diversity of wildlife. However, on this site where grasslands border brush habitat, grassland habitat can provide foraging habitat for birds of prey and mammalian predators. Several types of ground-nesting birds, burrowing mammals, and reptiles could potentially be found here.

## **3. Sensitive Resources**

No plant or wildlife species sanctioned as rare or endangered by the California Department of Fish and Game, California Native Plant Society, or U.S. Fish and Wildlife Service have been observed, have been reported, or are expected to occur

within the highly disturbed areas of the site. The project site is located along the edge of the State- and federally listed Stephen's kangaroo rat's range. LSA Inc.'s 2003 due diligence letter to the K Hovnanian Company reported that signs of potential Stephens Kangaroo Rat (SKR) presence were found and burrows were identified and mapped on the project site. LSA Inc.'s trapping surveys for the SKR in 2003 revealed that rodents other than the endangered species were present. Similarly, the results of a LSA Inc. 2003 endemic plant survey for the Slender-horned Spineflower were negative. Although existing RUSS habitats on the southern hills are highly degraded, they were identified as marginal potential habitat for the coastal California Gnatcatcher, another federally protected species. But 2003 protocol surveys for the Gnatcatcher by LSA Inc. did not identify any of these birds onsite.

In an effort to balance future economic expansion with the preservation of adequate habitat areas for endangered and threatened species, the Riverside County Board of Supervisors adopted the Western Riverside County Multi Species Habitat Conservation Plan (WRMSHCP) on June 17, 2003. At the same hearing, the Board certified the EIR/ EIS and authorized its Chairman to sign the Implementing Agreement at such time as the Wildlife Agencies completed their review and permit(s) were ready to be issued. On July 22, 2003, the mitigation fee to provide resources to assemble and maintain lands necessary to implement the WRMSHCP was adopted, to be effective September 19, 2003.

The WRMSHCP has been in the process of review and approval by the 14 cities within the MSHCP Plan Area and preparation and issuance of permits by the U.S. Fish and Wildlife Service and the California Department of Fish and Game. Issuance of a blanket permit for take of current and future listed species or their habitat has not yet occurred and has been delayed by recent court action. The City of Beaumont has approved the MSHCP and associated agreements. The project site is not located within a proposed criteria area of the MSHCP.

#### 4. Wetlands and Waterways <sup>1</sup>

As a result of a 2003 jurisdictional delineation by Glenn Lukos Associates involving Potrero Creek and its major tributary, U.S. Army Corps of Engineers jurisdiction extends over approximately 4.38 acres, none of which consists of actual wetlands. All 43 drainages identified on site in addition to Potrero Creek (except Drainages J, X, Y, Z, AA, CC, EE, RR, and SS) are subject to Corps jurisdiction.

Furthermore, California Department of Fish and Game jurisdiction at the site totals approximately 9.06 acres, of which 8.52 acres consist of vegetated riparian habitat.

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<sup>1</sup> For drainage location information, see the document "*Four Seasons at Beaumont Addendum Environmental Impact Report – Technical Appendices A-E*" Appendix A – Jurisdictional Delination for the 570-Acre Hovchild Property, City of Beaumont, Riverside County, CA; Corps Jurisdiction Map Exhibit 3 and CDFG Jurisdiction Map Exhibit 3.

CDFG jurisdiction can be summarized as follows:

- Drainage A and tributary Drainages B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, TT, UU
- Drainages DD, FF, II, JJ, KK, LL, MM, NN, OO, PP, QQ;
- Drainages DD and FF;
- Drainages II, JJ, KK, LL;
- Drainages MM, NN, OO, PP, and QQ; and
- Drainages CC and EE.

Two isolated drainages (i.e. Drainages CC and EE) were also noted that are not connected to Potrero Creek. Rather, these drainages originate in the south-central portion of the site and, as they extend down slope to the east, the water flow appears to fan out over the onsite grasslands.

## **F. PALEONTOLOGY AND ARCHAEOLOGY**

### **1. Prehistoric and Historic**

The early inhabitants of the project area are known as Cahuilla. The Cahuilla were not a politically unified group, but did share broad cultural and linguistic traits. The Cahuilla occupied permanent villages sited to take maximum advantage of local animal, vegetable, and water resources. The Cahuilla culture was quite complex and was based on full exploitation of available resources. The use of literally hundreds of plant species has been documented. The Cahuilla were influenced by the appearance of the Spanish, but they were used by the Spanish on expeditions through the San Gorgonio Pass area and later to carry mail. Two reservations were established in the project vicinity in 1876 and the majority of Cahuilla are living there to date.

The San Gorgonio Pass is believed to be the single most important route connecting the desert hinterlands of California and Arizona with the coastal beaches. Near the project area the pass was mainly a Cahuilla trail.

The San Gabriel Mission established a station at Banning Water Canyon as early as 1821 and cattle were being raised there by 1823. A ranch operated by the San Gabriel Mission called the San Gorgonio Rancho encompassed a large portion of the San Gorgonio Pass. An undivided third of this land was sold to a man named Isaac Smith who built a ranch on what is now occupied by the Highland Springs Resort. The ranch became a stagecoach stop called "Smith's Station" for the period of 1862-1877. In 1884 Smith's Station was sold to the Highland Home Company. A three-story building was erected which was eventually sold in 1929 and became the Highland Springs Resort.

In 1875 the Southern Pacific Railroad established tracks through the Pass. With inexpensive railroad transportation available, the raising of hay and grain crops began to replace stock raising on local ranches. The settlements of Cabazon and Beaumont began in 1875 as water stops for the railroad.

## **2. Archaeology**

Christopher Drover conducted a record search at the Archaeological Research Unit (Eastern Information Center of the State Office of Historic Preservation) at the University of California, Riverside pursuant to preparing "Environmental Impact Evaluation, an archaeological assessment of the Hovchild Property, Riverside county, CA" (hereafter referenced as Drover 1987). This search showed no sites within the project site's boundaries. However, several sites have been recorded  $\frac{1}{4}$  mile southeast of the project, identified as periodic seed processing locations associated with the bedrock granite outcrops and intermittent water of Potrero Creek. Most of the sites identified in the area by Drover 1987 are late prehistoric and likely related to populations movement and food procurement activities in the San Gorgonio Pass. Settlements seemed to have consisted of campsites and villages located near perennial water sources, as well as sporadic temporary activity locations. Based on settlement/ subsistence observations of the area, only temporary activity sites or isolated artifacts might be expected near the project site, with the exception of the mouth of Potrero Creek Canyon, immediately adjacent to the project site.

Gavin Archer recently embarked on a new records search in the process of helping produce "Cultural Resource Inventory and Paleontologic Assessment, Hovchild Property, City of Beaumont, Riverside County, CA" (hereafter referenced as TKC 2003). Archer turned up remains of a building of "uncut stone" known as Noble's Ranch, a California State Point of Historical Interest located near the west-central boundary of the Four Seasons at Beaumont property. Over its life, Noble's Ranch served as a stagecoach stop, a school and a post office. A second site, located in a tilled field just west of the proposed project site, consists of six scattered stone artifacts and a seventh stone artifact located 100 meters south of the artifact scatter. In addition, a clearly important prehistoric site lies near the Four Seasons at Beaumont's southeast corner. An historic geologic map review identified two small buildings in the east-central portion of the proposed project site and Highland Springs Avenue as features of potential interest. Traces of these buildings or road-related artifacts could be potentially significant historic resources and may be present on the site.

## **3. Paleontology**

In 1988, Heritage Resource Consultants prepared a paleontological resources survey and assessment for the proposed project site called "A Paleontological Survey and

Assessment of the Hovchild Property, Beaumont, Riverside County, CA" (hereafter referenced as HRC 1988). HRC 1988 included the following methods: review of the records of known paleontological and geologic sites in the region, a survey of paleontological and geological publications for the project region, and a survey of the property.

HRC 1988 obtained records checks from the Section of Vertebrate Paleontology at the Natural History Museum of Los Angeles County, the San Bernardino County Museum, and the Department of Earth Sciences, University of California, Riverside. Each of these organizations maintain regional paleontological collections and supporting maps, records, and documents. These resources were used to determine whether paleontological sites have been previously identified on the property, or if the property had been previously surveyed for paleontological resources and a report filed. This search revealed that no recorded paleontological sites on the study property, although vertebrate fossil sites had been found east and south of the property.

The literature survey for HRC 1988 consisted of the review of the professional literature that pertains to the region. Geologic maps of the region were also consulted and analyzed to make initial estimations of the potential for paleontologic resources within the project site and to plan field studies. The literature search found one paleontologic site described to the east of the project site and 20 sites to the south of the project site.

HRC 1988's field study included the examination of those parts of the property that were not obscured by dense vegetation. Exposed geologic outcrops were examined, while areas covered with topsoil or recent alluvium which would obscure fossils in present in the substrate were bypassed. Thus, throughout the northern portion of the site, the investigation included the outcrops along Potrero Creek, its tributaries, and road cuts. Throughout the southern portion of the site, the examination included road cuts, unbrushed steep slopes, and clear spaces in the dense brush which covers the hillsides.

Fossils were found at three different sites within the San Timoteo Formation during HRC 1988 field survey. The first site is located in the hilly area of the southwestern portion of the property and yielded a fragment of mammal bone. The second and third sites are located along the project's southern boundary, immediately offsite and yielded a fragment of wood and a peripheral plate of a tortoise carapace. All three fossils were identified as float, or specimens that may have originated from an area up slope of the place where found. Due to the existence of a nearby drainage area and its identification as float, the first fossil may not have originated from the project site. However, the second and third fossils most likely did originate from the project site. Furthermore, due to the discovery of these fossils and the 20 sites south of the project site all being within the San Timoteo Formation, which underlies portions of

the project site, the project site is expected to contain additional paleontological resources. The 2003 paleontological component of TKC 2003 executed in support of the Four Seasons at Beaumont project generally concurred with the 1988 study's assessment of the types of geologic materials onsite. However, the more recent work included the quaternary younger alluvium, as well as the San Timoteo Formation and older alluvial deposits, as highly paleontologically sensitive. This determination could involve more of the project site in potential grading measures aimed at recovering and protecting paleontological resources that might be unearthed.

## **G. PUBLIC FACILITIES**

### **1. Fire and Police Protection**

Fire Protection Services. The Riverside County Fire Department, in conjunction with the California Department of Forestry (RCFD-CDF), provides service to the City of Beaumont and thus to the project site. The department provides complete fire protection that includes fire, emergency medical aid and public service response. The department operates two fire stations that serve the project site. Station No. 20 is located at 1550 E. 6<sup>th</sup> Street in Beaumont, approx. 1.5 miles from the project site. This station is operated by the California Department of Forestry, and staffs 2-Type 2 fire engines during the 'declared fire season', usually 9 months of the calendar year. E-20, 1500 GPM pumper, is staffed year round by a crew of 3 with paramedic service. Station No. 66 is located at 628 Maple Avenue in Beaumont, approx. 3 miles from the project site. This station is equipped with two 1500 gpm pumbers and one Rescue Squad. The staff consists of 3, full time, paid firefighters (with Paramedic service) and 10 to 15 volunteers.

Law Enforcement Services. The project area is serviced by the City of Beaumont Police Department for police services and disaster preparedness. There are currently approximately two officers per every 1,000 residents. The service facility for Beaumont is located at 550 E. Sixth Street in Beaumont. The Police Department annually has 59 sworn officers and 20 non-sworn support personnel.

### **2. School Service**

The project site is within the service area of the Beaumont Unified School District. The district presently has one pre-school/ community day school (Wellwood Resource Center), six elementary schools (Anna M. Hause Elementary, Brookside Elementary, Palm Elementary, Sundance Elementary, Three Rings Ranch Elementary and Tournament Hills Elementary), two junior high schools (Mt. View Middle School and San Gorgonio Middle School), and two senior high schools (Beaumont High School and Glen View High School). The District also offers alternative education programs at San Andreas High School, Glen View High School, Laura May Stewart Performance School Home Education and Beaumont Adult Education.

### 3. Water and Sewer Conditions

Water. The proposed project site is within the sphere of influence of the Beaumont-Cherry Valley Water District (BCVWD). The project site has been annexed into the BCVWD service area. Existing water wells have served the site during its agricultural use. Since connection to BCVWD service will occur during site development, existing water wells may be required to be abandoned and capped pursuant to applicable local and state regulations if they will no longer be utilized.

Wastewater. The site is to be served by the City sewage treatment facilities. Wastewater service has been connected to all but the Southeastern portion of the site because this portion of the site remains undeveloped.

### 4. Dry Utilities

Electricity. Existing uses in the area have been within the service territory of the Southern California Edison Company (SCE). A 50-foot easement for existing overhead electrical transmission lines crosses the middle of the project site in an east-west direction. The City of Beaumont anticipates becoming an electric service provider. Either the City or SCE may be the electrical service provider for the Four Seasons project.

Natural Gas. The project site is currently within the boundary of Southern California Gas Company (SoCalGas). SoCalGas currently provides natural gas service to the project site. The project site is currently bisected by a high-pressure natural gas transmission pipeline, situated in a restrictive 40-foot wide easement held by SoCalGas.

Telephone. The project area is serviced by Verizon and the remainder of the project site will also be serviced by Verizon. Verizon maintains telephone service to the north, east, and west of the project.

Cable. Time Warner serves the project area.

Waste Disposal. Disposal of solid waste is provided to the City of Beaumont by Waste Management of North America. Waste Management has a contract with the City of Beaumont to provide residential, commercial, and industrial refuse removal.

Library Services. The library resources within the City of Beaumont include the City of Beaumont Public Library. This library provides books and material loan, information and advisory service, and adult and children's educational and cultural programming. This 11,080 square foot facility is located at 125 East 8<sup>th</sup> Street, which is in the western portion of the City of Beaumont. The facility serves an area of approximately 60 square miles.

Public Transportation. There are currently two public transportation services operating in the vicinity of the project site. These services are "Dial-a-Ride" and the Riverside Transit Agency.

Dial-a-Ride is a demand response, City of Beaumont, transportation service that operates 8:00 a.m. to 5:00 p.m. Monday through Friday. Low income, retired, handicapped, and elderly individuals who cannot drive utilize this service. The Dial-A-Ride transit system is presently operating at its maximum capacity.

The Riverside Transit Agency operates a fixed route bus service around the project area. The closest bus stop to the project is located at San Gorgonio Hospital on the corner of 8<sup>th</sup> Avenue and Highland Springs Avenue in the City of Banning.

Health Care. General health care services are provided to the City of Beaumont by the San Gorgonio Pass Memorial Hospital and Highland Springs Medical Plaza. The San Gorgonio Pass Memorial Hospital is located at 600 North Highland Springs Avenue in the City of Banning. The Hospital provides general acute care including a 24-hour emergency room and out patient services. The Hospital is currently operating at 55 percent occupancy. The Hospital has 68 acute care beds and out patient services including mammography, radiology, cardiology, nuclear medicine, cardiac rehabilitation, cataract/ eye surgery, EKG/ EEG/ Echo, and CT Scanner. The Hospital also provides paramedic services through Life Care and STAT Ambulance.

The Highland Springs Medical Plaza is located at 81 South Highland Springs Avenue in the City of Beaumont. It is a collaboration between Loma Linda University Medical Center, Redlands Community Hospital and Beaver Medical Group. The facility offers comprehensive medical services in a 90,000 square foot facility. The surgical center offers outpatient surgery services with 4 operating rooms, 1 procedure room, 11 PACU beds and 13 pre-operative/ step down holding beds. The Highland Springs Imaging Center provides High Field MRI, Definition AS CT, Digital R & F, Digital X-ray and Ultrasound. Beaver Medical services provided include Urgent Care services as well as Internal Medicine, Family Medicine and Laboratory Services. Finally the Loma Linda University services include Adult Cardiology, Cancer Center (Radiation medicine, medical oncology), General Surgery, Laboratory services, Ophthalmology, Orthopaedics, Pain management and rehabilitation, Pediatrics and Internal Medicine, Physical Therapy and Urology.

## 5. Recreation Facilities

Recreational and park facilities and services in the project area are provided primarily by the City and the Beaumont-Cherry Valley Recreation and Park District. Existing public parks within the City include Rangel Park, Stewart Park, Seneca

Springs Community Parks, The Beaumont Municipal Plunge and a baseball field are located in Stewart Park. Rangle Park, located in the southern portion of the City, includes a baseball field. The Beaumont Sports Park is located near the intersection of Beaumont Avenue and Brookside Avenue. Additional parks have been recently dedicated in the developments of Three Rings Ranch, Sundance and Oak Valley, within the City.

The Beaumont-Cherry Valley Recreation and Park District is a special district, which serves Beaumont, Cherry Valley, and part of Calimesa. The District operates the 61-acre Noble Creek Park located on 14<sup>th</sup> Street just outside of the City limits. This park includes two little league baseball fields and one senior field, two tennis courts, a playground, an equestrian center, public park, and a community center.

## **H. HAZARDOUS MATERIALS ANALYSIS**

### **1. Phase I Analysis**

A Phase I environmental site assessment (ESA) was conducted to identify the presence or likely presence of any hazardous substances or petroleum products under conditions that indicate an existing release, past release or a material threat of a release of any hazardous substances within the Four Seasons at Beaumont's property boundaries. During the Phase I Site reconnaissance, a groundwater extraction well was encountered at the west end of the site. An aboveground storage tank (AST) likely containing diesel fuel was located adjacent to the well to power a groundwater extraction well pump. Based on potential release of petroleum products from the AST, piping, or filling operations, the hazardous materials consultant recommended investigation of subsurface soils in the vicinity of the AST, groundwater pump, and piping.

A review of historical photographs and conversations with the City of Beaumont Planning Department indicated that the site was used for dry farming. Based on historical dry farming use, pesticides may have been historically used at the site. Since these chemicals tend to accumulate in drainage areas as a result of soil transport in water runoff, the hazardous materials consultant further recommended a limited investigation of shallow soil along drainage areas prior to development.

### **2. Phase II Analysis**

A further Phase II ESA was performed, consisting of 1) obtaining ten shallow exploratory hand auger borings along drainage areas at the proposed project site where soil run off has accumulated; and 2) drilling three borings adjacent to the AST and groundwater pump using Geoprobe direct-push technology (DPT). Borings were made along the drainage area at approximately one foot below ground surface. Soil samples of the hand auger borings thereby collected were submitted to a state

certified laboratory for pesticides analysis. Samples from the three Geoprobe borings located adjacent to the AST and groundwater pump were collected at depths of 5 and 10 feet below ground surface. Select samples from each of these borings were submitted to a state certified laboratory for petroleum hydrocarbons analysis.

Pesticides were not detected above laboratory method detection limits in the ten soil samples collected along drainage areas at the Four Seasons at Beaumont site. In addition, petroleum hydrocarbons and benzene, toluene, ethylbenzene, total xylenes (BTEX), and methyl-ter butyl ether (MtBE) were not detected above laboratory method detection limits in soil samples collected adjacent to the AST and groundwater extraction pump.

**SECTION III  
DEVELOPMENT  
PLAN**

### **III. DEVELOPMENT PLAN**

#### **A. SUMMARY**

This section of the Specific Plan presents the plans and planning standards that will govern the overall development of the Four Seasons Community at Beaumont. Presented within this section is the land use program, and description of each of the major development components, which includes circulation, drainage, water and sewer, public facilities, recreation, open space and project phasing.

#### **B. LAND USE**

##### **1. Planning Goals**

The Four Seasons at Beaumont Specific Plan is designed to implement the goals and objectives of the City of Beaumont General Plan as well as to update the previous Hovchild Specific Plan based on local and market changes. The Specific Plan is also designed to ensure that development will occur in a manner responsive to the characteristics of the site and the community. The Project's relationship to the General Plan is discussed in greater detail in Section VII, *General Plan Analysis*. The Project's goals are summarized as follows:

###### *a. Land Use*

Provide a balanced land use pattern that responds to the goals of the General Plan, environmental considerations, compatibility with surrounding land uses, and the developer's fiscal objectives.

###### *b. Circulation*

Provide a safe and efficient private roadway network, connecting to the City's local roadway system, linking all internal elements of the planned community with the surrounding area. Providing alternative modes of transportation geared toward an "active adult" community (bicycle and pedestrian trails), reducing dependence on the automobile.

###### *c. Public Services/ Utilities*

Provide adequate services and utilities as development occurs, in a timely manner.

###### *d. Drainage*

Provide adequate drainage and flood control and water quality devices for the planned community, responsive to State, County and City criteria.

*e. Recreation*

Provide adequate recreation facilities for the planned community evenly distributed throughout the project area. Provide a trail linking Village Centers with neighborhoods. Provide private recreation amenities as required and achieve City of Beaumont standard of 5 acres of equivalent, fully improved recreation and park area per 1,000 populations in the project.

*f. Community Character*

Provide a mix of neighborhoods with individual character, linked by a safe transportation system of roads and trails. Insure quality in the planned community with landscaping, signage and community entry design. Provide identifiable parkway corridors.

*g. Housing*

Provide a range of high quality housing opportunities, responding to market demand within the developing economic profile of the area.

*h. Phasing*

Provide a conceptual plan for long-range development of the Four Seasons at Beaumont community, responding to market demand for housing and the availability of services.

**2. Land Use Plan**

The Four Seasons at Beaumont Specific Plan area involves 565.5 acres located in the City of Beaumont, California. All of the 565.5 acres of the Specific Plan area are currently within the City of Beaumont. The Project area as of 2015 now includes 1,100+/- constructed homes, approximately 79 graded lots, 3 graded superpad sites and undeveloped land generally bounded by the recently developed and constructed Specific Plan Area (SPA/Seneca Springs) land to the North and Highland Springs Avenue with the adjacent Sun Lakes Development in the City of Banning to the East (refer to Exhibit 2, *Site Location*).

Existing site conditions, opportunities and constraints, and the development goals described previously, served as the primary basis for design of the proposed Four Seasons at Beaumont Specific Plan Land Use Plan. The proposed Land Use Plan is illustrated on Exhibit 3, *Land Use Plan*, including Table 3, *Land Use Table* on this exhibit, and as outlined in Table 4, *Land Use Summary*. The proposed Land Use Plan encompasses 34 planning areas with three main entry roads and a loop road serving as the backbone roadways. The Four Seasons Specific Plan is predominantly a



Table 3  
Land Use Table

K. Hovnanian's Four Seasons at Beaumont

Land Use	Planning Area	Acres	Minimum Lot Size (\$q. Ft.)	Minimum Lot Dimensions (Ft.)	Anticipated DU	Anticipated DU / AC	Maximum DU Yield Allowed
Low Density 4.5 DU / AC Max. 60000 & 63000	12B	7.1	6000	60 x 100	32	4.5	32
	5	9	6300	60 x 105	38	4.2	40
	14	8.3	6300		29	3.5	37
	20	17	6300		65	3.8	90
	22	9.6	6300		43	4.5	43
	25	13.3	6000	60 x 100	51	3.8	59
	31	12.8	6300	60 x 105	58	4.5	58
SUB-TOTAL		77.1			316		359
RESIDENTIAL Low-Medium Density 6DU / AC Max. 5000 & 5500	1	9.7	5000	50 x 100	52	5.4	58
	3	14.4	5000		77	5.3	86
	6	7.4	5000		42	5.7	44
	10	6.4	5000		26	4.1	38
	12A	5.3	5000		30	5.5	31
	13A	8.3	5000		44	5.3	49
	15	13.9	5000		58	4.2	83
	17	12.7	5000		56	4.4	76
	19	13	5000		59	4.5	78
	21	18.6	5000		70	3.8	111
	24	9.5	5000		49	5.2	57
	26	13.8	5000		65	5.5	83
	30	10.4	5000		48	4.6	62
	34	13.3	5000		57	4.3	80
	SUB-TOTAL		156.7		733		936
Medium Density 7.5 DU / AC Max. 3400, 4050, 4300 & 4500	2	25.1	3400	41 x 83	161	6.4	188
	7	6.6	4300	43 x 100	41	6.2	49
	11A	4.2	3400	41 x 83	28	6.7	31
	11B	11.9	4050	45 x 90	79	6.6	89
	13B	7.1	4300	43 x 100	41	5.8	53
	18A	7.4	4300	43 x 100	46	6.2	55
	18B	5.7	4500	45 x 100	38	6.7	42
	23	7.6	4300	43 x 100	36	5.1	57
	27	10.8	4500	45 x 100	52	4.8	79
	29	12.3	4300	43 x 100	72	5.9	92
	32	8.2	4300	43 x 100	52	6.3	62
	33	11.8	3400	41 x 83	69	5.8	89
	SUB-TOTAL		118.7		715		886
	Medium-High Density 9 DU / AC Max. Attached / Dplx.		4	12.8	5300*	85 x 62.5*	107
	SUB-TOTAL		12.8				114
Models - 9 DU / AC Max		8	3.3	5300**	85 x 62.5**	19	5.8
RESIDENTIAL LAND USE		TOTAL		365.3		1890	2321
OPEN SPACE	Village Centers		9	10.4	2 AC.		
	16		2.4	2 AC.			
	28		4.2	2 AC.			
	Trails / Riparian Corridors		n/a	83.8	n/a		
Natural Open Space		n/a	45.1	n/a			
Manufactured Slopes		n/a	21.3	n/a			
OPEN SPACE / RECREATION		TOTAL		167.2			
Major Streets		n/a	33	n/a			
LAND USE TOTAL		565.5					

\* The minimum lot size for a duplex structure with two attached dwelling units is 5,300 sq. ft. with minimum dimensions of 85' x 62.5'. In limited instances, there may be detached single dwelling unit structures in the Medium-High Density Land Use designation, in which case the minimum lot size allowed would be 2,600 sq. ft. (42' x 62.5' minimum dimensions) in these specific instances.

\*\* The minimum lot size allowed in Planning Area 8 is 5,300 sq. ft. for a lot with a duplex (two attached dwelling units) structure on it. This planning area is proposed initially as a model complex which includes other product models. The other model products will be located on their respective lot sizes in this planning area.

K. Hovnanian's  
Four Seasons at Beaumont  
Land Use Plan

private, gated residential community, planned as an integrated, internally oriented Project. The Plan involves development of approximately 365.3 acres of residential uses, with up to 2,321 dwelling units (DU) as currently planned ranging in density and product type. The 2004 Specific Plan and EIR Addendum as approved by the City, see Section I, Introduction, allowed up 2,400 units. Various supporting land uses are proposed including 17 acres that create three planning areas of Village Centers, approximately 83.8 acres of Trails/Riparian use, and approximately 45.1 acres of Natural Open Space. Additionally, approximately 21.3 acres of manufactured slope open space is anticipated and approximately 33 acres of backbone streets are proposed.

**Table 4**  
**Land Use Summary**

Land Use	Acres	Percent
Residential	365.3	64.6%
Village Centers (Open Space/ Recreation)	17	3.0%
Trails/Riparian Open Space	83.8	14.8%
Natural Open Space	45.1	8%
Manufactured Slopes (Open Space)	21.3	3.8%
Major Streets	33	5.8%
<b><u>Total</u></b>	<b><u>565.5</u></b>	<b><u>100%</u></b>

The project is specifically to be developed as an active adult/ age restricted community. Development in a manner inconsistent with an active adult/ age restricted community shall require the approval of a Specific Plan Amendment by the City of Beaumont.

### 3. Residential Uses

The Four Seasons at Beaumont Specific Plan can be characterized as a community of 5 neighborhoods, or phased development areas each separated by a trail/riparian open space corridor system running through the project. As illustrated in Exhibit 3, the proposed residential community involves 34 residential planning areas and 3 recreational oriented Village Center Planning Areas. The Specific Plan offers a variety of residential densities and products. Table 3, *Land Use Table* that is contained on Exhibit 3 outlines the proposed lot programs, including minimum lot sizes, and anticipated and maximum dwelling units per planning area. As indicated in Table 3, *Land Use Table* contained on Exhibit 3, *Land Use Plan*, the proposed densities range between Low Density single-family units (4.5 DU/ AC) to Medium-High Density multi-family units (9 DU/ AC). The last column in the Land Use Summary Table shows the maximum number of dwelling units that could be

realized in each Planning Area based on the maximum density allowed for that Planning Area. Pursuant to preliminary lot layouts, anticipated actual lot yields are expected to be less as represented in the Anticipated DU column. The maximum number of dwelling units (DU) developed in the Four Seasons at Beaumont Specific Plan area is not to exceed 2,400 dwelling DU's.<sup>1</sup>

All dwelling units proposed are detached single-family units, with the exception of the Medium-High Density units, PA 4, which have been constructed as duplex units. The Medium-High Density units could have also included a mix of apartments (rental), and/or condominiums (for sale).

#### **4. Village Centers**

The three Village Centers (PAs 9, 16 and 28) located throughout Four Seasons at Beaumont total approximately 17 acres and are designed to accommodate the neighborhoods common recreational and social needs. Village Center facilities will include a combination of recreational amenities geared toward the "active adult" such as clubhouse/ recreational centers, tennis, swimming, spa and fitness centers, ballroom, assembly areas, bocce ball, horseshoes, shuffle board, billiards in the billiard room, computer labs, and crafts and hobby areas. Also, the Village Centers will provide other outdoor amenities such as a social terrace with outdoor fireplace, picnic tables with BBQ grills, gazebos/ arbors, putting greens, open lawn areas and other open spaces including parking for the local community. Tot lots, play areas, and family pool areas can be made available in one or more of the Village Centers for younger children. The Village Centers are anticipated to be maintained by the project homeowners association.

#### **5. Trail/ Riparian Open Space Corridors**

The Four Seasons at Beaumont Specific Plan proposes approximately 83.8 acres of Trail/ Riparian Open Space Corridors. The project neighborhoods are designed around natural existing drainage corridors and utilize the natural drainage patterns that exist within the project site. The corridors will be preserved and enhanced by adding riparian type vegetation, maintaining the natural condition. Furthermore, a pedestrian trail system will be included within the riparian corridors that create connectivity between the neighborhoods and establish Four Seasons at Beaumont as a walkable community, adding a recreational component to the enhanced corridors. These corridor areas are anticipated to be maintained by the project homeowners association.

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<sup>1</sup> The analysis contained in the 2004 Addendum EIR for the Four Seasons Specific Plan is limited to 2,400 residential units.

## **6. Natural Open Space**

The Four Seasons at Beaumont Specific Plan proposes approximately 44.5 acres of Natural Open Space that is to remain undeveloped in its natural condition for the most part to preserve the natural hillside condition in the southern and southwestern portions of the site. Limited manufactured graded slopes will extend into this area along the edge of the development areas that are proposed to be revegetated with native plant material. This area will also need to include fuel modification landscape buffers approximately 100 feet off home sites for fire protection purposes. The project homeowner association is anticipated to be responsible for maintenance of these open space areas.

## **7. Manufactured Slopes Open Space**

The Manufactured Slopes Open Space category comprises approximately 21.3 acres within the project site, including along portions of the arterial streets that access the project. (See Exhibit 3 and Table 3, Page III-2.) These areas are to be landscaped with planting material (see Tables 5 and 6, Pages IV-15 and IV-16) that complement the landscaping theme throughout the community. This area includes additional open space along major streets bordering and within the project (Highland Springs Ave., Potrero Blvd. and the Loop Street) for an expanded landscaped parkway area that includes both slopes and additional area for meandering sidewalks. In addition, this category of open space land use may include landscaped slope areas along other project streets and between planning areas. It is anticipated that this open space will be maintained by the project homeowners association, except in the case of areas along Highland Springs Avenue and Potrero Boulevard which could be turned over for maintenance by the City's Community Facilities District.

## **C. CIRCULATION PLAN**

### **1. Plan Description**

The purpose of the circulation section of the Specific Plan is to establish the general layout and design standards for roadways and for non-vehicular paths of travel within the Four Seasons project area, and to substantially implement the Circulation Element of the City of Beaumont General Plan. The Project Circulation Plan proposes a roadway and trail system that extends the circulation system into the project vicinity and creates efficient circulation routes throughout the project site.

The main objective of the Circulation Plan is to provide direct and convenient access into and out of the specific plan area along Highland Springs Avenue and Potrero Boulevard. Also, to provide a safe and efficient network of private streets and trails within the Four Seasons community. The Four Seasons Circulation Plan (refer to Exhibit 4, *Circulation Plan*) establishes the roadway network and basic standards

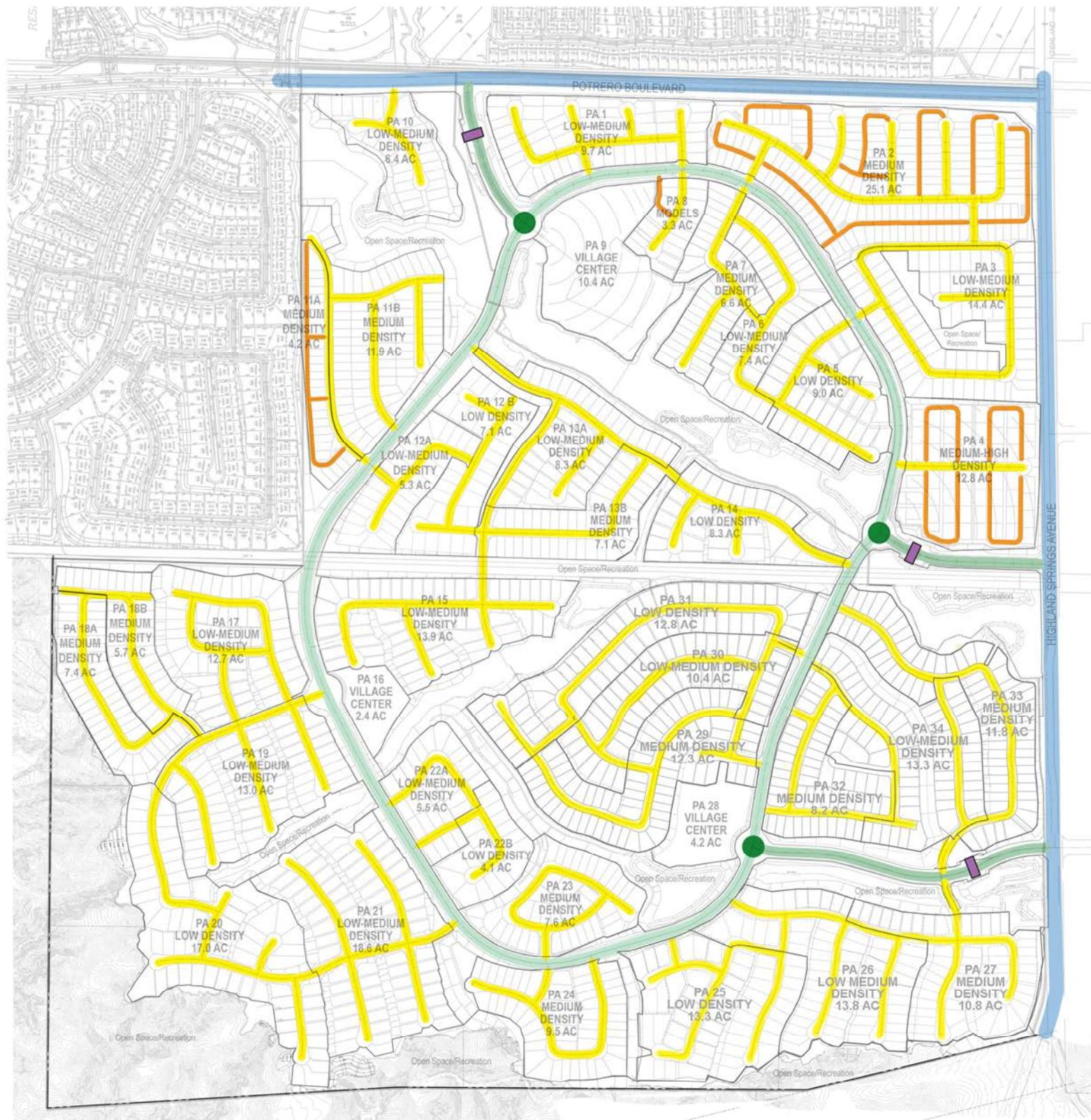
within the project area. The plan identifies the location and classification of roadways and trails, which have been organized under the categories of Highways, Secondary Roadways, Local Roadways, and Non-Vehicular Travelways. Roadway cross-sections are provided on Exhibit 5, *Typical Highway Sections* and Exhibit 6, *Typical Roadway Sections*, which show travel lane dimensions, sidewalk and parkway widths, and other roadway specific details. Exhibit 7, *Pedestrian/ Bicycle Trail Plan*, establishes the trail plan with a network of non-vehicular circulation routes, with specific design standards within the project area for each classification of trail.

## 2. Highways

### a. *Potrero Boulevard*

Potrero Boulevard, once constructed at its ultimate extension, will be a generally east/ west roadway that runs from Highland Springs Avenue to San Timoteo Canyon Road (Oak Valley Parkway). Potrero Boulevard will ultimately provide local access to Highland Springs Road, Pennsylvania Avenue, Beaumont Avenue/ Lamb Canyon Road (Route 79) and regional access to State Route 60. Pursuant to the City's General Plan Circulation Element 2004 update (proposed), Potrero Boulevard is shown as a Secondary Highway with an 88' right-of-way from Highland Springs Avenue to Manzanita Park Road/ Michigan Avenue and as a Major Highway with a 100' right-of-way west of this. The Secondary Highway section calls for two travel lanes in each direction within an 88' right-of-way.

The Four Seasons Specific Plan proposes a modified Secondary-B highway section for Potrero Boulevard that provides for a 12' wide raised landscaped median and two travel lanes in each direction within the 88' right-of-way. This section is depicted on Exhibit 5. This section is consistent with City General Plan and the Four Seasons Specific Plan Traffic Impact Analysis minimum section for a Secondary Highway. The section as shown on Exhibit 5, allows for 10' wide sidewalk/ bikeway in an expanded parkway on the south side of Potrero Boulevard. One of the three access points into the specific plan residential area is located on Potrero Boulevard, providing local street entry to the specific plan area. Potrero Boulevard will also provide direct access to proposed Planning Area 10, which fronts Potrero Boulevard. The location of warranted controlled intersections will be specified as part of the traffic study for the Four Seasons at Beaumont development.



SECONDARY HIGHWAY (PUBLIC)

LOOP STREET (PRIVATE)

ENTRY STREET (PRIVATE)

ROUNDABOUTS

GATES

LOCAL STREET (PRIVATE)

COMMON DRIVE LANE (PRIVATE)

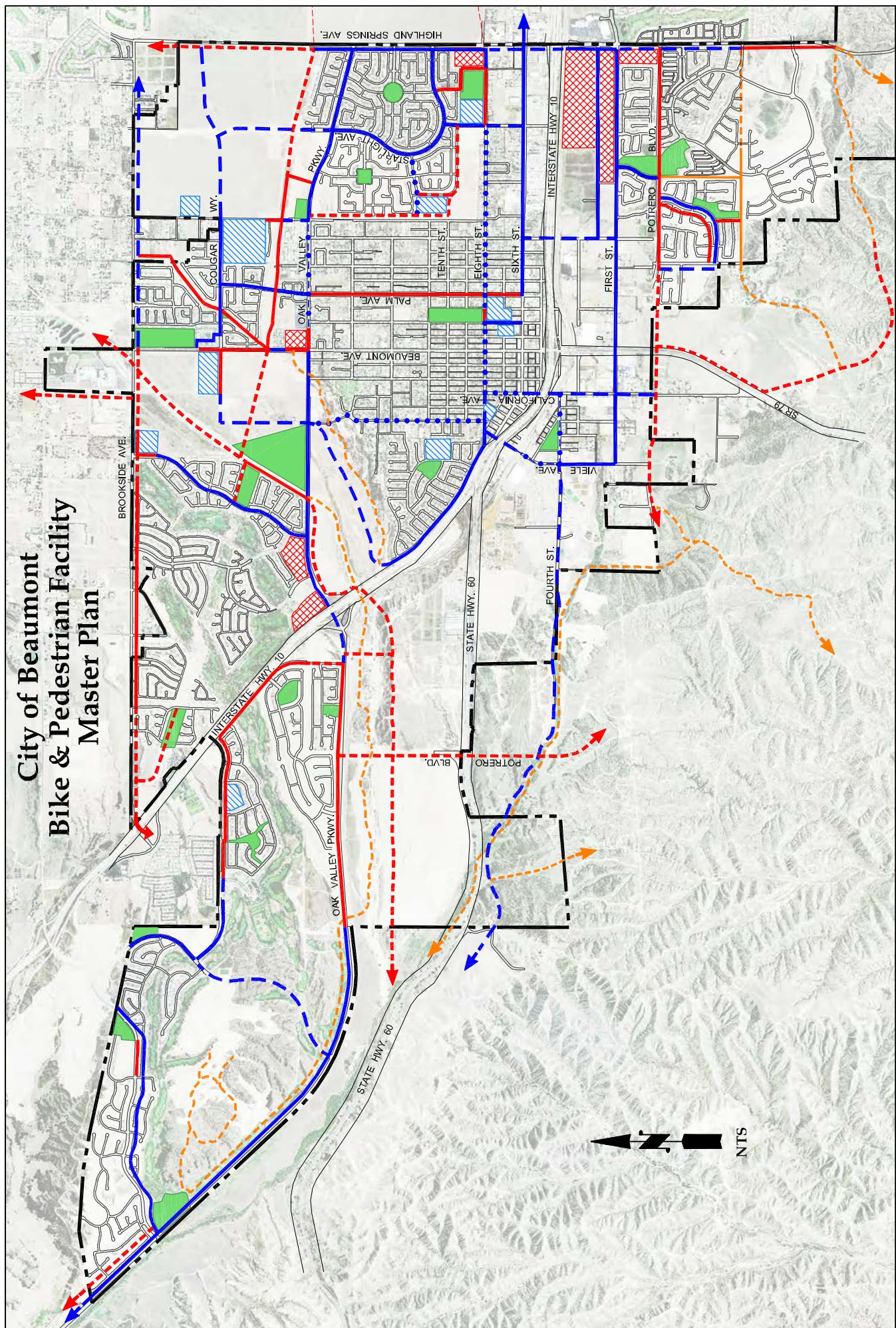
K Hovnanian's

Four Seasons at Beaumont

**CIRCULATION PLAN**

Exhibit 4a

# City of Beaumont Bike & Pedestrian Facility Master Plan



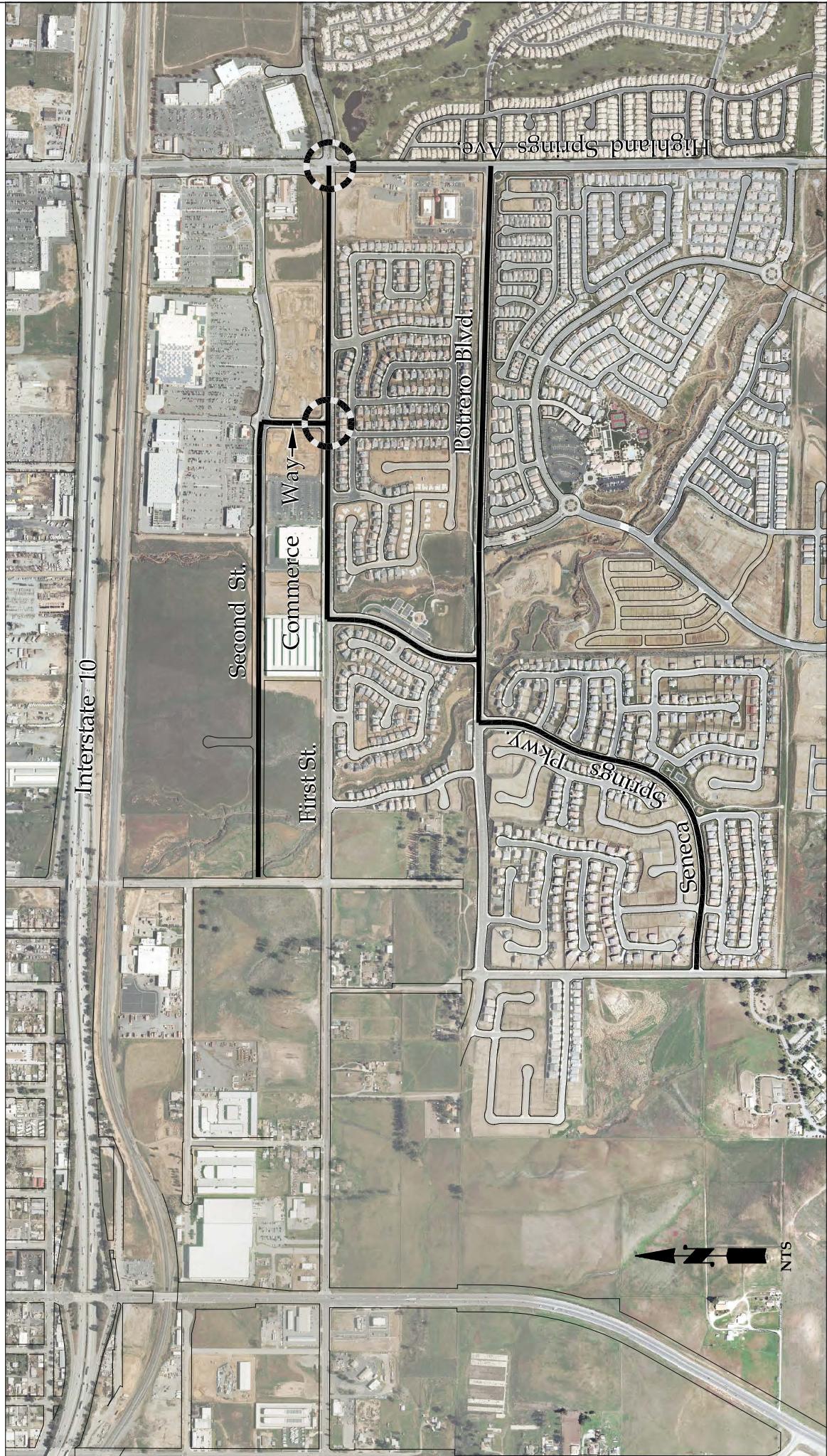
● SCHOOLS  
● PUBLIC PARKS  
● COMMERCIAL  
● CITY BOUNDARY

● CLASS I PROPOSED  
● CLASS I EXISTING  
● CLASS II PROPOSED  
● CLASS II EXISTING

● CLASS III PROPOSED  
● CLASS III EXISTING  
— HIKING TRAIL PROPOSED  
— HIKING TRAIL EXISTING

**Urban Logic Consultants**  
43517 Ridge Park Drive, Suite 200  
Temecula, California 92590  
Tel: (951) 676-1944 Fax: (951) 676-2054

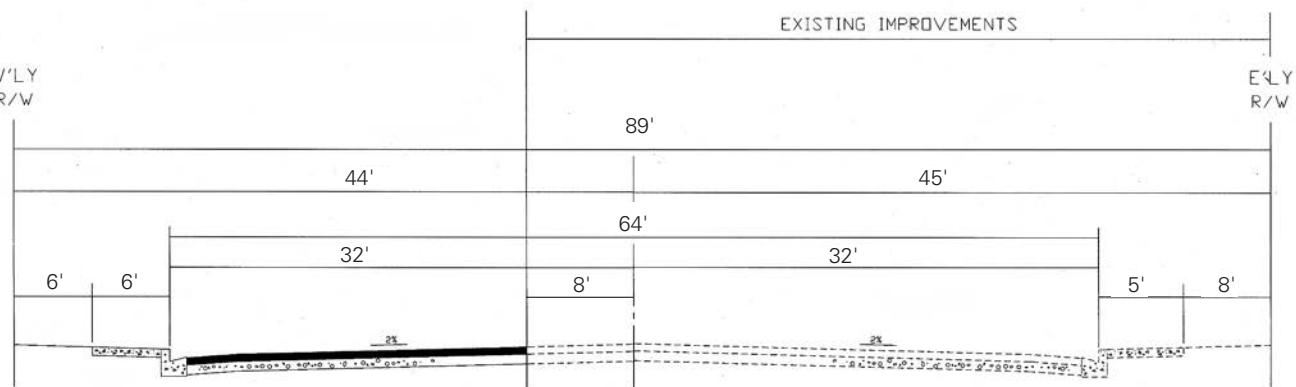
**CITY OF BEAUMONT**  
**GOLF CART TRANSPORTATION PLAN**  
**PHASE II - AREA 1**



○ Golf Cart Crossing — Golf Cart Travelways

## Beaumont

## Banning



**HIGHLAND SPRINGS AVENUE**  
89' RIGHT OF WAY (PUBLIC)  
NOT TO SCALE

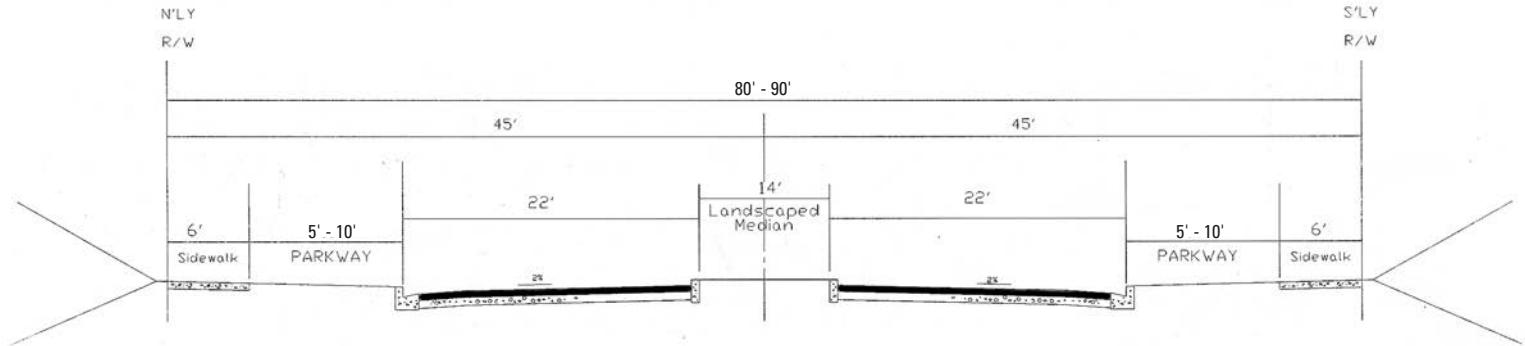
Site plan showing a road section with a total width of 88'. The plan includes a central 'Landscaped Median' of 12', two 10' 'Multi-Purpose Trail' sections, and a main road with a 44' width and 11' shoulders. Property lines are marked with '9' CFD / HOA Lot' and 'Varies, 2% Min, 2:1 Max.' on the north and south sides.

**POTRERO BOULEVARD**  
88' RIGHT OF WAY (PUBLIC)  
MODIFIED SECONDARY "B"  
NOT TO SCALE

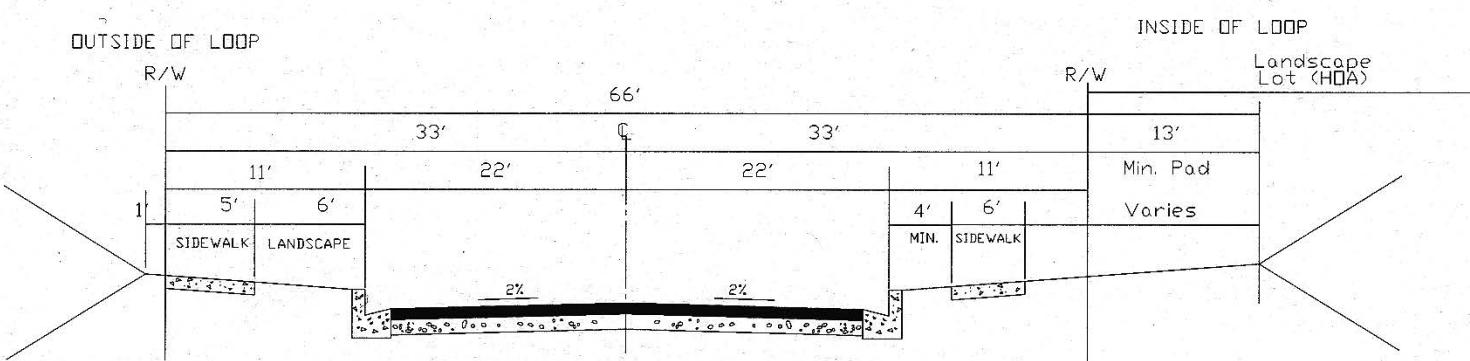
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## Four Seasons at Beaumont

## **TYPICAL HIGHWAY SECTIONS**



**TYPICAL ENTRY STREET**  
80' - 90' RIGHT OF WAY (PRIVATE)  
WITH MEDIAN  
NOT TO SCALE



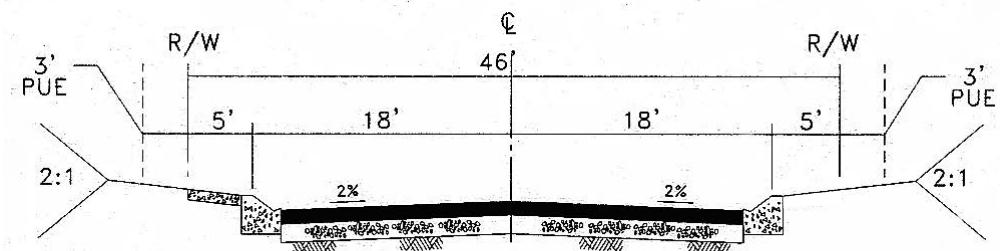
**TYPICAL LOOP STREET**  
66' RIGHT OF WAY (PRIVATE)  
NOT TO SCALE

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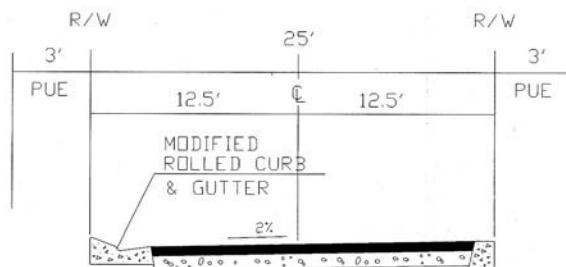
Four Seasons at Beaumont

**TYPICAL ROADWAY SECTIONS**

**Exhibit 6a**



**TYPICAL LOCAL STREET**  
46' RIGHT OF WAY (PRIVATE)  
NOT TO SCALE



**TYPICAL COMMON DRIVE LANE**  
25' RIGHT OF WAY (PRIVATE)  
NOT TO SCALE

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Four Seasons at Beaumont  
**TYPICAL ROADWAY SECTIONS**  
Exhibit 6b

**b. *Highland Springs Avenue***

The City of Beaumont General Plan designates Highland Springs Avenue as a Secondary Highway south of Potrero Boulevard. Highland Springs Avenue is currently partially improved as a Secondary Highway. The eastbound side of the street, which is within the city limits of Banning, is built half width (45') to the City of Banning Secondary Highway standards of a 90' right of way. Approximately half of this improved segment of Highland Springs Avenue is built so that the centerline of the road follows the city limits boundary. The other half of this segment of Highland Springs Avenue is offset 16' to the west so that the centerline of the road currently runs 16' west of the city limits boundary. As part of this specific plan, the improvements to Highland Springs Avenue will be completed from west of centerline to the project site's property line to accommodate the ultimate half-width right-of-way of 44' per Secondary Highway standards of the City of Beaumont. Once completed, Highland Springs Avenue will provide two lanes of travel in each direction and an 8' out-side bike lane on each side. Additionally, a new six-foot sidewalk and parkway improvement will be provided along the western side of the street. Highland Springs Avenue will provide two access points to the Specific Plan area, providing local street entry to the Specific Plan area.

**3. Local Roadways**

**a. *Project Entry Streets***

The proposed Specific Plan provides three Project Entry Streets that provide access between the project's interior Loop Street and Highland Springs Avenue and Potrero Boulevard. Project Entry Streets provide a minimum private right-of-way of 66', that accommodates one travel lane in each direction, 10' emergency lanes on each side, 6' sidewalks, and 5' landscaped parkway improvements. Some of these Project Entry Streets will include a raised 14' wide landscaped median, which increases the total right-of-way width to 80'. Furthermore, landscaped parkway widths on either side of Project Entry Streets could be greater than the prescribed minimum, increasing the overall right-of-way width. Exhibit 6a shows a Typical Entry Street section with a 90' right-of-way that includes landscaped median and expanded parkways. In some cases, Project Entry Streets also provide access to local streets within the residential planning areas. The location of warranted stop controlled intersections will be specified as part of the traffic study for the Four Seasons development. All project entry streets are expected to have gate complexes with controlled project entry. Right-of-way and lane widths at gate complexes may be expanded as necessary to allow for gate control and required vehicle movement. Gate complexes will be set back from perimeter streets to allow for safe vehicle stacking.

**b. Loop Street**

The proposed Loop Street provides internal circulation and access within the specific plan area as an undivided collector. As an undivided collector with a 66' private right-of-way, The Loop Street will provide one lane of travel each direction, 10' emergency lanes on each side, sidewalks on each side, and landscaped parkway improvements. Roundabouts are proposed within the Loop Street at intersections with the Project Entry Streets and in front of the Planning Area 16 Village Center. See Exhibit 22, *Loop Street Roundabout Landscape Concept Section*, for proposed dimensions of the roundabouts.

The Loop Street provides access to the proposed residential planning areas and the three proposed Village Centers. Project and Local Street entry to planning areas will take access off of the Loop Street. The location of warranted controlled entries will be specified as part of the traffic study for the Four Seasons development.

**c. Local Streets**

Local Streets provide direct access to and from residential lots. The 46' right-of-way of local streets accommodates one travel lane in each direction, rolled curbs, 4.5 foot sidewalk adjacent to the curb required only on one side and a 5 foot landscape parkway where there is no sidewalk.

**d. Common Drive Lanes**

Common drive lanes provide direct access to and from residential lots for rear accessed garages in the medium density and medium high density land use areas. The 25' right-of-way of these common drive lanes accommodates one travel lane in each direction, and rolled curbs on one side of the lane. Additionally, there will be 3' public utility easements on both sides of the road right-of-way. Parking will be allowed only in designated spaces.

**4. Non-Vehicular Circulation**

The Circulation Plan also includes a trail network within the Specific Plan. The Trail Plan (Refer to Exhibit 7, *Pedestrian/ Bicycle Trail Plan*) identifies off-street and on-street trails. The location of these trails and their anticipated crossings are outlined below.

**a. Trails**

- **On/ Off-Street Bicycle Lanes:** The Specific Plan proposes on-street bicycle lanes along the following public roadways: Highland Springs Avenue, Project Entry Streets, and The Loop Street. An off-street

bicycle/ pedestrian lane is proposed along Potrero Boulevard. These bicycle lanes will assist in providing connections to facilities within the project and additional bicycle routes outside of the project, in addition to the residential neighborhoods within the project. The on-street bike lanes will be accommodated within the street right-of-way and will be a minimum 5 ft. wide lane.

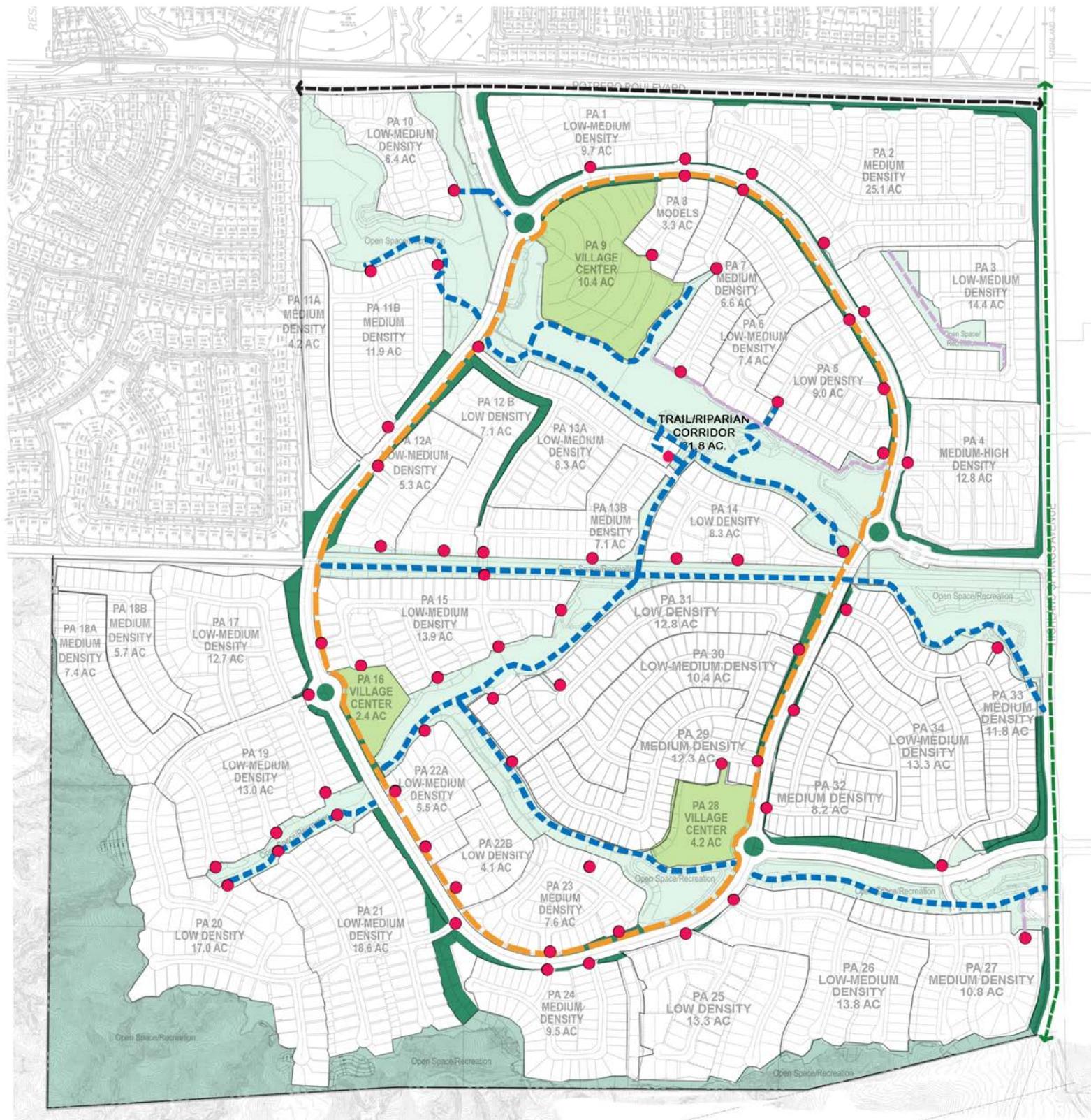
- **Off-street Pedestrian Trail along the Loop Street:** The Specific Plan proposes an off-street pedestrian trail along the inside of the project Loop Street. This off-street trail will assist in providing connections to the three Village Centers and the residential neighborhoods within the project.

Where feasible, the off-street trail along the Loop Street will be located within a landscaped parkway (24 feet wide) adjacent to the street and will provide a 6-foot meandering pedestrian/bicycle trail.

- **Off-street Pedestrian Trail within Open Space:** The Specific Plan proposes off-street pedestrian trails within the proposed open space corridors bisecting the project, providing connections to the residential neighborhoods. The off-street trails within open space will provide a right-of-way that will accommodate a 6-foot pedestrian trail. Bridges may be used to cross drainage ways.

*b. Trail Crossings at Roadways*

It is anticipated that at-grade trail crossings of roadways will be accommodated at strategic intersections within the Specific Plan. The open space trail corridors will require an at-grade crossing at roadways that cross the corridors. Specific design of this crossing will be determined in coordination with the City Engineer as part of improvement plans.



The legend consists of six entries, each with a colored line segment followed by a trail type name. From left to right: 1. A yellow dashed line segment labeled 'LOOP TRAIL'. 2. A purple dashed line segment labeled 'MINOR TRAIL'. 3. A green dashed line segment labeled 'PROJECT PERIMETER WALKWAY AND ON STREET BIKE LANE'. 4. A blue dashed line segment labeled 'OPEN SPACE TRAIL'. 5. A red circle labeled 'NEIGHBORHOOD CONNECTION'. 6. A black dashed line segment labeled 'OFF STREET BIKE/PEDESTRIAN TRAIL'.

## K Hovnanian's Four Seasons at Beaumont

# PEDESTRIAN / BICYCLE TRAIL PLAN

## 5. Circulation Plan Development Standards

- a. The proposed Four Seasons Specific Plan circulation development standards are to be further defined based on the project traffic report. On-site roadway improvements, as illustrated in the cross-sections, will be developed in accordance with this plan. Signalized intersections, stop-controlled intersections and intersection geometry will be modified as warranted within the traffic study.
- b. If necessary, additional traffic analyses shall be undertaken as required by the City of Beaumont, as more detailed development plans are completed to identify specific design parameters, phasing details, and additional mitigation strategies.
- c. An Improvement Phasing Plan shall be developed and implemented based on the Four Seasons development Traffic Study to ensure the circulation improvements are completed consistent with the Specific Plan standards.
- d. For streets that are designated as either a Major or Secondary Highway, adequate provision must be made for safe and convenient pedestrian crossings.
- e. Major roadway improvements may be implemented through an assessment district or similar financing mechanism.
- f. All highways depicted on the Circulation Plan are public. All local roadways and trails depicted on the Circulation Plan are private.
- g. On-street parking shall not be permitted within those areas identified for on-street bike lanes.
- h. City of Beaumont and Riverside County Transit authorities will be consulted with to expand scheduled bus service, to implement long-term public transportation projects and to develop vanpools and subscription bus service.
- i. Traffic synchronization will be provided where appropriate.
- j. City Transportation fees (or other substitute funding mechanism adopted by the City) will be paid where appropriate to fund off-site regional improvements.

## D. DRAINAGE PLAN

### 1. Drainage Backbone System Plan Description

The Four Seasons Specific Plan Drainage Backbone System (DBS) was developed based on standards established by the Riverside County Flood Control District and Water Conservation District (RCFC and WCD). The proposed system will provide 100-year flood protection from the upstream tributary areas and convey this and project area drainage into its natural drainage patterns.

Exhibit 8, *Drainage Backbone System*, illustrates the proposed drainage system. The DBS proposes a system that utilizes both the existing drainage ways and a new storm drain system. Drainage water will be conveyed via streets, storm drains and existing drainage ways. A series of onsite detention basins are proposed to limit discharges into the existing drainage ways. The proposed system will convey post-developed 100-year flows without generating any adverse hydraulic conditions.

### 2. Water Quality Management

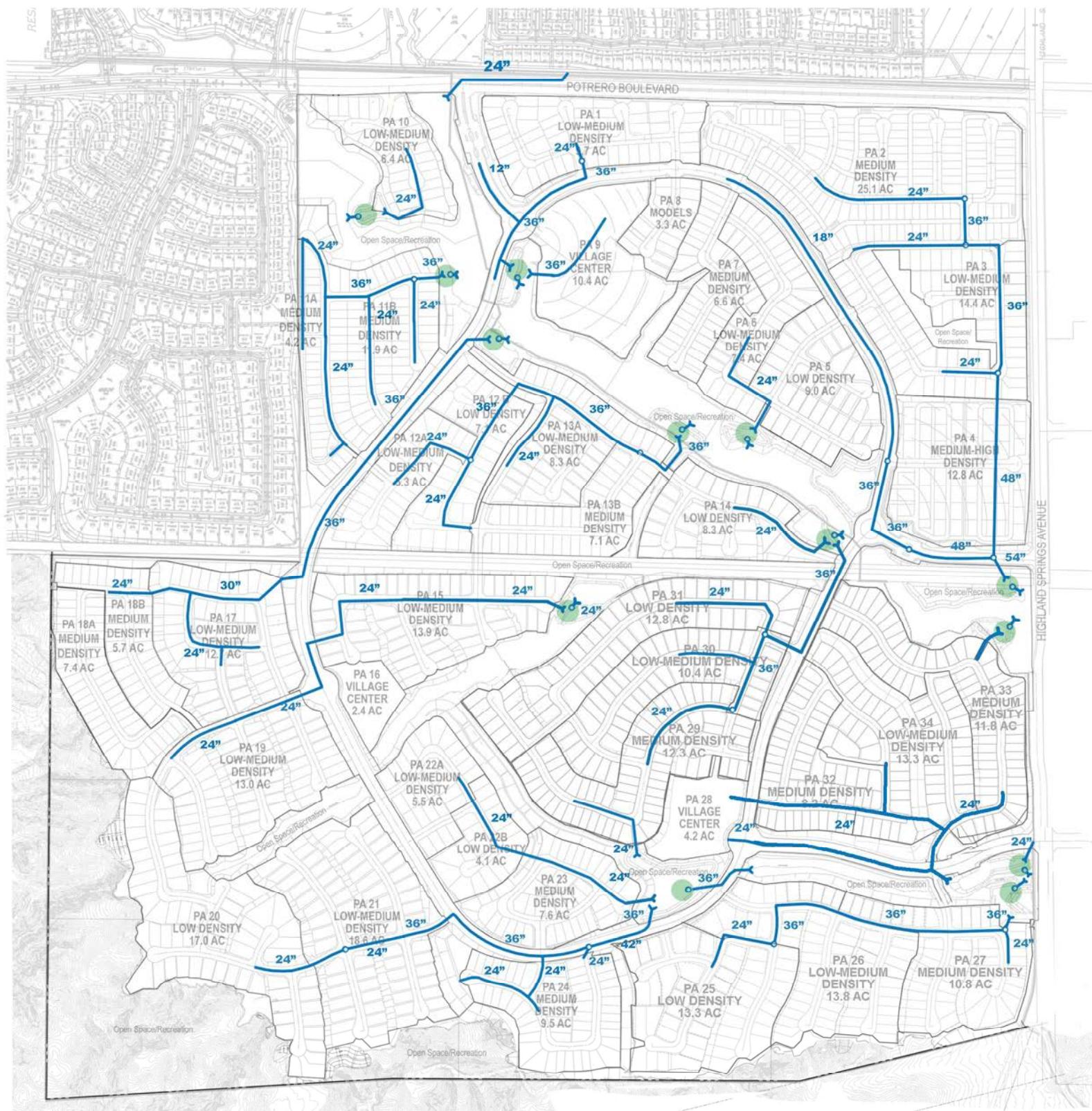
The proposed Specific Plan recognizes that construction of the proposed Project has the potential to produce typical pollutants such as nutrients, heavy metals, pesticides and herbicides, toxic chemicals related to construction and cleaning, waste materials including wash water, paints, wood, paper, concrete, food containers, and sanitary wastes, fuel, and lubricants. Further, Project implementation will increase impervious areas and the level of activity on the property, thereby, potentially increasing pollutant loadings (i.e., hydrocarbons, fertilizers, and pesticides). To mitigate potential impacts in this regard, future development will comply with the National Pollution Discharge Elimination System (NPDES) Permit and a Notice of Intent (NOI) will be prepared and submitted to the San Jacinto Regional Water Quality Control Board (WQCB) providing notification and intent to comply with the State of California general permit. Prior to construction, a Storm Water Pollution Prevention Plan (SWPPP) will be prepared for construction activities on-site. Additionally, a Water Quality Management Plan (WQMP) will be prepared under the guidelines in Water Quality Manual prepared by the San Jacinto Regional WQCB. A comprehensive WQMP will be prepared, which includes both Structural and Non-Structural Best Management Practices (BMPs), as required by the San Jacinto Regional WQCB and NPDES permits.

### 3. Drainage Plan Standards

In order to ensure orderly development, the Master Plan of Drainage described above shall be subject to general principles and standards as follows:

- a. Approximate drainage line locations and sizing are illustrated on Exhibit 9; however, the precise system layout and sizing shall be determined during tract map preparation.
- b. The Project shall be subject to the requirements indicated in the Riverside County Flood Control District and Water Conservation District Hydrology Manual and the City of Beaumont flood control standards, including the following provisions:
  - 1) All building pads shall be free from flood hazard for the 100-year frequency storm by elevating finished floor elevations one foot above the 100-year level of flood protection; and
  - 2) Depths of flow in the streets shall not exceed top of curb elevations for the 10-year frequency.
- c. The potential for the conveyance of debris from off-site watersheds shall be taken into account into the design of the proposed facilities.
- d. Prior to site development, the proposed interior road infrastructure and grading design shall be coordinated to ensure that there is not any major diversion of drainage areas between watersheds.
- e. The design of all interior storm drain conveyances and local storm drain facilities shall be in accordance with the criteria RCFC and WCD guidelines. Flood flows used in the design of waterways, channels, and closed conduits shall have minimum average recurrence intervals as follows:
  - 1) Storm drain systems shall be designed and based on a minimum 10-year frequency.
  - 2) For sump conditions, a 25-year frequency shall be applied, and a connected system shall be designed to completely convey 100-year runoff, with a secondary outlet to assure the water surface is one foot below the proposed pad elevations.
- f. On-site public drainage facilities located outside of the road right-of-way shall be contained in drainage easements.
- g. Streets shall be oriented to maximum potential conveyance of regional flooding during significant storms to expedite the flow through the development.

- h. The Specific Plan shall be phased such that 100-year flood protection is ensured in all areas of the development. Interim improvements shall be provided as phasing of the development progresses.
- i. New development shall be required to prepare a master flood utility plan for storm drainage conveyance.
- j. Best Management Practices (BMPs) shall be implemented to enhance pollutant removal during storms and to improve the quality of stormwater runoff.
- k. Prior to development of upstream areas, the potential for the conveyance of debris by the offsite watershed shall be accounted for in design of onsite drainage facilities in order to avoid abrasive erosion in certain drainage facilities and maintenance problems for facilities located within the floodplain.
- l. Inspection and maintenance of public storm drain systems shall be performed by City of Beaumont.
- m. Construction of each phase shall include an assessment of the size and flow patterns of the adjacent undeveloped areas on the Specific Plan area.
- n. Each phase shall prepare an erosion control plan that provides the developed phases with the required flood protection. Flood protection shall be determined by the size of the undeveloped areas and the flow patterns.
- o. Temporary basins shall be constructed to meet detention requirements and earthen channels/ berms shall be used to divert and convey flows during construction.
- p. The developed phases shall incorporate detention facilities within the development to accommodate the developed runoffs as may be required. A single basin or a series of smaller basins can be used to meet the required basin size.



36" PROPOSED STORM DRAIN LINES AND ESTIMATED PIPE DIAMETER

## PROPOSED WATER QUALITY DETENTION BASIN

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**DRAINAGE BACKBONE SYSTEM**

## **E. WATER AND SEWER PLAN**

### **1. Water Plan**

The Specific Plan area is located within the sphere of influence of the Beaumont-Cherry Valley Water District (BCVWD). The project site has been annexed into the District and will be served by BCVWD. The anticipated average daily water demand of 1.12 MGD (based on 2,025 units only) for the Four Seasons Specific Plan area would be ultimately served from a proposed reservoir in the Beaumont-Cherry Water District's 2750 Zone and two connections from existing District 12-inch lines. These facilities alone will supply potable water to serve all but approximately 372 dwelling units of the proposed development. The District's 2750 Zone will serve most of the specific plan area, except those 372 units that are above the maximum service elevation of the pressure zone. Those units that cannot be served by the 2750 pressure zone will be served by a hydro-pneumatic zone or by proposed connection to a 2850 pressure zone. It is likely that a hydro-pneumatic zone would include a fire flow pump that will create enough water pressure to serve those areas at higher elevations. Initial phases of the project may be served at first via water service connections to existing 12-inch pipes in Pennsylvania Avenue and Highland Springs Road with the construction of the proposed reservoir not completed until later phases. It is likely that this will require the expansion of the existing offsite 12<sup>th</sup> Street and Palm Pump Station.

Exhibit 9, *Water Backbone System*, illustrates the proposed water system, which includes master planned storage and distribution system for potable water. The backbone distribution system proposed for the specific plan area is a looped 12-inch pipeline which will have several feeder pipes supplying it with flow. The majority of the in-tract facilities will be 8-inch pipes. However, in order to provide the 3,000 gallon per minute fire flows to the planning areas proposed to contain duplexes, some reaches will be 10-inch pipes. Additionally, several smaller loops of in-tract pipes will be needed to the proposed system to prevent having more than 19 dwelling units off of a dead-end line.

The Specific Plan proposes water conservation measures, which include water conserving features in the design of residential and other development types, drought resistant landscape design, and irrigation of the parks and major landscaped areas with reclaimed water.

### **2. Water Plan Standards**

- a. All water lines and related and required water service shall be designed to meet BCVWD requirements as well as Riverside County Fire Department criteria for fire flow.

- 1) All water lines shall be underground facilities.
- 2) All water lines shall be sized to adequately service potential future growth.

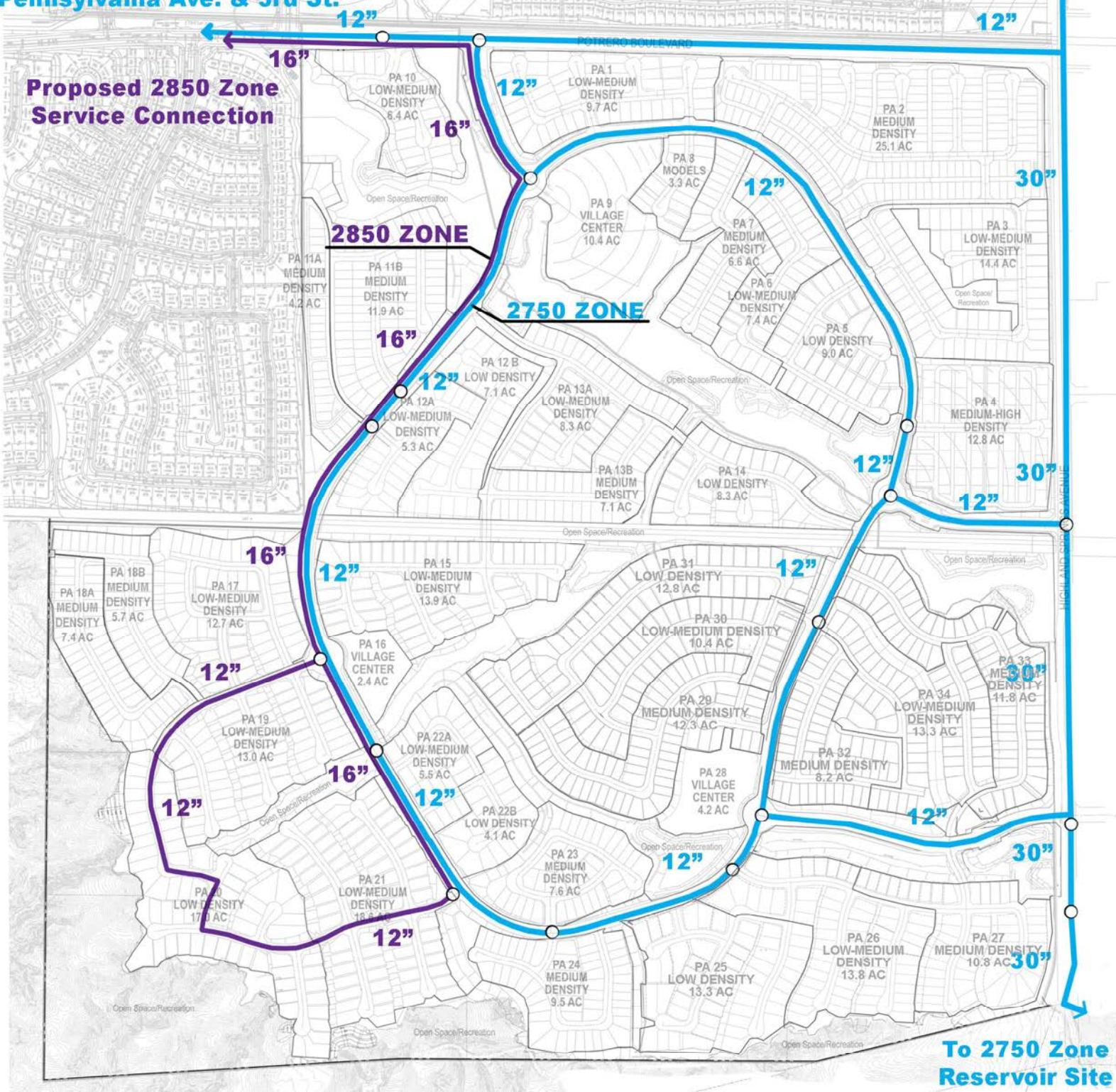
b. Costs associated with construction of over-sized lines to serve existing and future offsite population shall be the responsibility of those to be served, consistent with the rates and regulations of the City of Beaumont and BCVWD.

j. Assurance for the provision of adequate water service is required prior to approval of a final map in accordance with the State Subdivision Map Act.

k. The City of Beaumont and BCVWD shall review water supply demands for conformance with design requirements and for the ability to serve.

Connect to Existing  
12" at 2nd St.

Connect to Existing 12" at  
Pennsylvania Ave. & 3rd St.



**NOTE: All local waterlines not shown  
on this map are 8" Diameter.**

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**WATER BACKBONE SYSTEM**

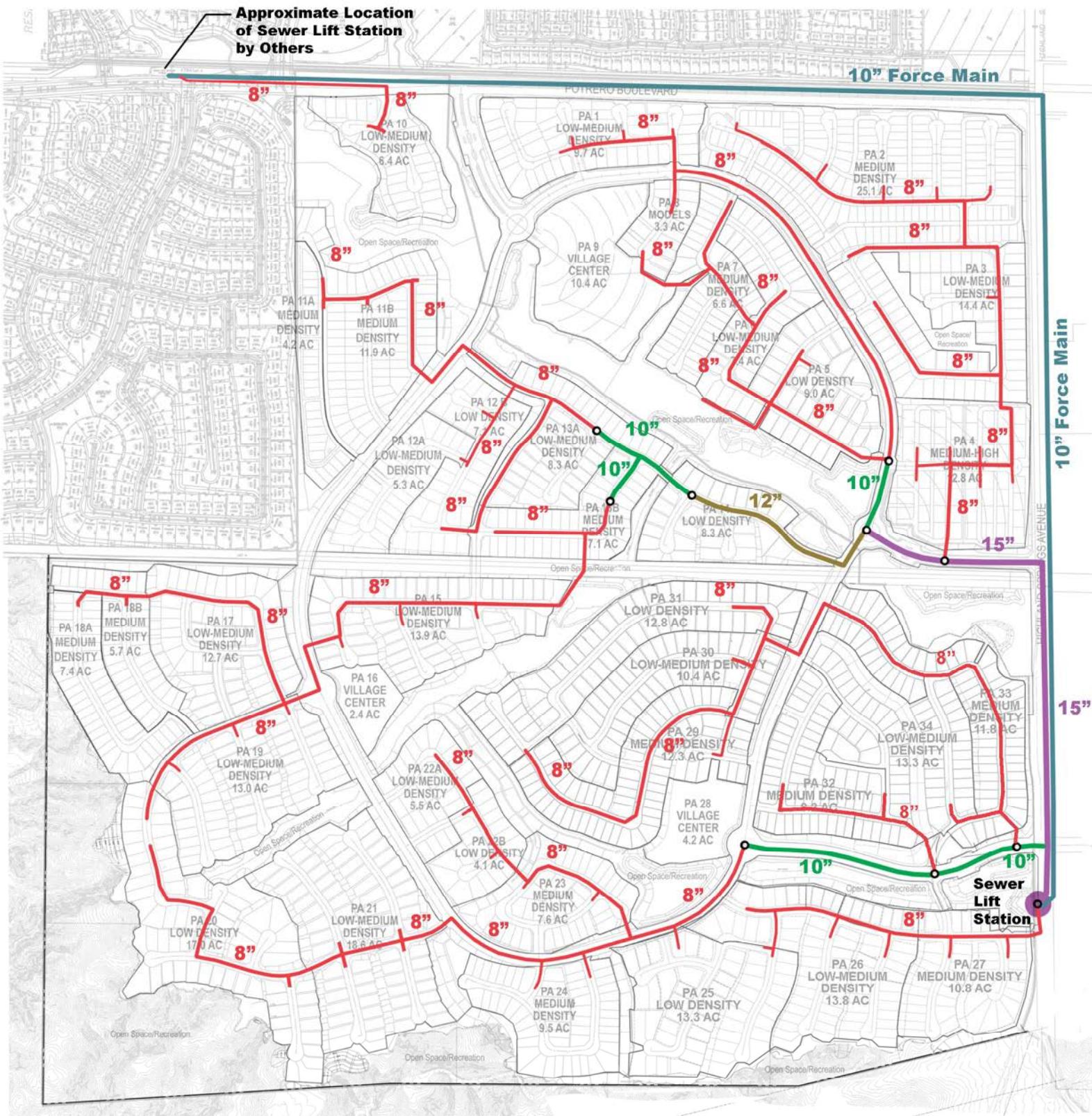
### **3. Sewer Plan**

The Four Seasons Specific Plan area is located within the jurisdiction of the City of Beaumont Wastewater District. The sewer collection system proposed for the specific plan area will utilize new sewer lines. Two primary sewer system branches will manage wastewater flows within the specific plan area. The Northern Sewer system will generally serve Planning Areas 1 - 19 and the Southern Sewer System will generally serve Planning Areas 20 - 34. Exhibit 10, *Sewer Backbone System*, illustrates the two gravity trunk sewer systems proposed for the specific plan. The sewer systems will consist of a variety of pipe sizes arranged into hierarchical system. The main backbone lines will consist of 8 and 10-inch pipes with some reaches of 12-inch pipe. An offsite 15-inch gravity trunk sewer line is proposed to collect flows from the two main sewer systems and convey these flows to a proposed lift station near the southeastern corner of the project site. The Northern Sewer System backbone line will generally run under the northerly entry road off of Highland Spring Avenue and connect with the offsite gravity trunk sewer line in Highland Springs Avenue. The backbone line of the Southern Sewer System will generally run under Entry Road #3 and connect with the offsite gravity trunk sewer line in Highland Springs Avenue. The proposed sewer system will also include additional 8-inch local collector lines. The estimated total flow of wastewater generated for the proposed Specific Plan is approximately 1.22 million gallons per day (MGD).

### **4. Sewer Plan Standards**

- a. All sewer lines shall be underground facilities.
- b. All sewer service improvements shall be constructed in accordance with the City of Beaumont requirements.
- c. The service provider shall maintain all sewer service improvements.
- d. All sewer lines shall be sized to adequately service potential future growth.
- e. Costs associated with construction of over-sized lines to serve existing and future offsite population shall be the responsibility of those to be served, consistent with the rates and regulations of the City of Beaumont.

**Approximate Location  
of Sewer Lift Station  
by Others**



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## Four Seasons at Beaumont

## SEWER BACKBONE SYSTEM



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## F. PUBLIC FACILITIES PLAN

### 1. Fire Protection

The Riverside County Fire Department (RCFD), in cooperation with the California Department of Forestry and Fire Protection, provide fire protective services and medical aid responses to the City of Beaumont.

Two jurisdictional engine companies provide fire protection and medical aid services to the Project site. Fire Station #20 is located at 1550 E. 6<sup>th</sup> Street, in Beaumont. This station is operated by the California Department of Forestry (CDF) and is manned by four firefighters/ emergency medical technicians (EMT). This station is equipped with two 1,000 gallon per minute (gpm) pumbers (engines). Fire Station #66 is located at 628 Maple Street, in Beaumont. This station is operated also by CDF and is manned by between two and three firefighters/ EMTs. This station is equipped with a 1,000 gallon per minute (gpm) pumper.

As described in Section III.E, *Water and Sewer Plan*, the Project's proposed potable water system includes a storage reservoir and pump where necessary to meet future fire flow needs. The planned storage capacity of the proposed reservoirs is based on Beaumont-Cherry Valley Water District's above ground reservoir storage requirement.

The projected population increase and new development resulting from the Specific Plan will create a demand for new/ expanded facilities and additional equipment. Payment of the City of Beaumont's adopted fire protection impact mitigation fees as required is intended to address future demand, as needed.

### 2. Police Protection

The Specific Plan area is within the jurisdiction of the City of Beaumont Police Department, located at the Civic and Community Center, 550 East 6<sup>th</sup> Street. The Department provides law enforcement and disaster preparedness services to the City and the Project site.

The Specific Plan could result in a population increase of up to approximately 4,320 persons,<sup>2</sup> which could create a demand for up to approximately 8 additional sworn employees (based on two sworn employees per 1,000 residents). Property taxes and safety mitigation fees imposed on the Project, as well as the City's General Fund, will provide funding for additional staffing. Details regarding safety mitigation fee requirements established by the City will be identified as part of the Development Agreement.

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<sup>2</sup> Based on an estimate of 1.8 persons per household for a maximum of 2,400 dwelling units.

### 3. School Service

The Project area is located within the jurisdiction of the Beaumont Unified School District (BUSD), which serves the City of Beaumont and the unincorporated community of Cherry Valley.

All age and non-age restricted single family dwelling units would be subject to the per square foot impact mitigation fee imposed pursuant to State Law or as otherwise negotiated between the project applicant and the Beaumont Unified School District.

## G. RECREATION AND OPEN SPACE PLAN

### 1. Recreation and Open Space Plan Descriptions

Recreation is a key component of the Four Seasons at Beaumont Specific Plan. As illustrated in Exhibit 11, *Recreational and Open Space Plan*, the specific plan area incorporates a functional system of recreational open space land uses that reinforces the Four Seasons' project objective of providing an active adult community and the area wide recreation plan of the City of Beaumont. The proposed project-wide elements of the Recreation and Open Space Plan are the three Village Center and the Open Space corridor trail system. Additionally, the Circulation Plan describes a trail network within the Specific Plan (refer to Exhibit 7, *Pedestrian/ Bicycle Trail Plan*). The Trail Plan identifies off-street pedestrian trails and on-street bicycle lanes. The individual elements of the recreation component of the Four Seasons Specific Plan are described below.

- a. Village Center and Recreational Areas (Planning Areas 9, 16 and 28). The three (3) proposed Village Centers are approximately 2.4 to 10 acre recreational areas that may include club house/ multi-activity centers, swimming pools, lawn activity area, sport courts, picnic areas and/ or other common area recreational uses.
- b. Riparian Corridor Trail System. The proposed open space corridor trail system accounts for approximately 83.8 acres throughout the Four Seasons at Beaumont community. These corridors are proposed as a dual use, serving as natural drainage riparian corridors that control and filter storm water runoff as well as providing a recreational and visual amenity. Portions of these corridors will also include water quality basins. An extensive recreational trail system throughout the corridors will create walking and jogging activities as well as community connectivity.
- c. Natural Open Space. An area that includes 445.1 acres of natural open space is located in the hillside southern and southwestern section of the Four Seasons at Beaumont Specific Plan area. This area is to remain undisturbed

except for small areas of manufactured slopes at the edge of the development area that is to be revegetated with native plant material. In addition, fuel modification landscaped buffers along the edge of the adjacent residential areas may be required for fire protection purposes.

d. Pedestrian/ Bicycle Trails. The Circulation Plan specifies an off-street and on-street trail network within the Specific Plan (refer to Section III.C.4., *Circulation Plan*). The trail network provides connections between the residential neighborhoods and recreation areas in the project area.

The trail network introduces three different classifications of pedestrian/bicycle trails to provide for a range in recreational and non-vehicular experience (see Section III.C.4). On-street bicycle lanes will be provided along the proposed Loop Street and entry streets and along Highland Springs Avenue and Potrero Boulevard.

Off-street pedestrian pathways are also incorporated into the open space corridor areas and as a facility enhancement to landscape parkways along the main roadways.

e. Manufactured Slopes. The Manufactured Slopes Open Space category comprises approximately 21.3 acres within the project site and along portions of the arterial streets that access the project. (See Exhibit 3 and Table 3, Page III-2.) These manufactured slopes are to be landscaped with planting material (see Tables 5 and 6, Pages IV-15 and IV-16) that complement the landscaping theme throughout the community. This area includes additional open space area along major streets bordering and within the project area (Highland Springs Ave., Potrero Blvd. And the Loop Street) for meandering sidewalks occurring in areas of the community, as well as provide aesthetically pleasing landscaped open space along streets and major slopes between planning areas.



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Four Seasons at Beaumont

## RECREATIONAL AND OPEN SPACE PLAN



## 2. Park Requirement

The Four Seasons Specific Plan proposes dedication and development of approximately 142.2 total acres of recreational oriented Village Center and trails and riparian open space corridors within the project area to provide active, semi-active and passive space for various levels of recreational activities for residents of the project.

The City's General Plan requires that residential developers provide a minimum of 5.0 net acres of usable local park area for each prospective 1,000 residents.<sup>3</sup> Furthermore, the City currently uses a factor of 3.2 persons per standard dwelling unit to calculate future residents. Based on these requirements and using the maximum number of dwelling units allowed in the Four Seasons project area (2,400 DU's, see Table 3, *Land Use Table* on Exhibit 3, *Land Use Plan*), the project is required to provide a minimum of 38.4 acres of park area.

Four Seasons at Beaumont is proposed to develop the entire project with active adult age restricted units. The factor of 3.2 persons per dwelling unit may be too high for age restricted dwelling units. A factor of 2.0 persons per dwelling unit is being applied by the Four Seasons project for its age restricted dwelling units.

If all of the maximum number of dwelling units allowed (2,400 DU's) in the Four Seasons Specific Plan are developed as age restricted units, the project would be required to provide a minimum of 24.0 acres of improved park area based on the 2.0 persons per DU factor.

The proposed Village Centers will provide a total of 17 acres of area devoted to recreational uses. If fifty percent (50%) of the trails/ riparian open space corridors area (or 41.9 acres of the 83.8 acres proposed in such area) is credited as constituting part of the project's recreational amenities, then including the Village Centers, the project will provide over 59 acres of improved recreational use area to satisfy the City of Beaumont park requirements. This acreage does not include the 45.1 acres of natural open space.

All proposed recreational facilities are subject to review and acceptance by City for credit towards City requirements for residential projects.

## H. CONCEPT GRADING PLAN

Grading for the Four Seasons at Beaumont is intended to provide development site locations and provide site roadway improvements. Furthermore, the concept grading intends to avoid the steeper more pronounced natural slopes in the south and southwest hillside

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<sup>3</sup> Source: City of Beaumont General Plan, p. VII-44. May 5, 1993.

portion of the site, preserve and enhance natural drainage areas, and create new trail/riparian corridors providing extensive open space and recreational amenities for the community.

The most significantly sloping topography of the site occurs in the southern and southwestern portion of the property. The higher elevation of these areas will be left mostly ungraded to protect view opportunities and will remain in its existing natural state. In the areas where minimal grading may occur, the graded areas will be revegetated with natural vegetation.

The natural drainage corridors existing within the project site will be preserved and enhanced with minimal grading, maintaining a natural appearance. The minimal grading occurring within these drainage corridors will provide a recreational trail system for the community and create slopes necessary for stabilizing development sites outside of the drainage corridors. Also, grading will create new riparian drainage corridors to be vegetated with riparian type vegetation as well as create a recreational trail system. (See Exhibit 11, *Recreational and Open Space Plan* and Exhibit 12, *Concept Grading Plan*).

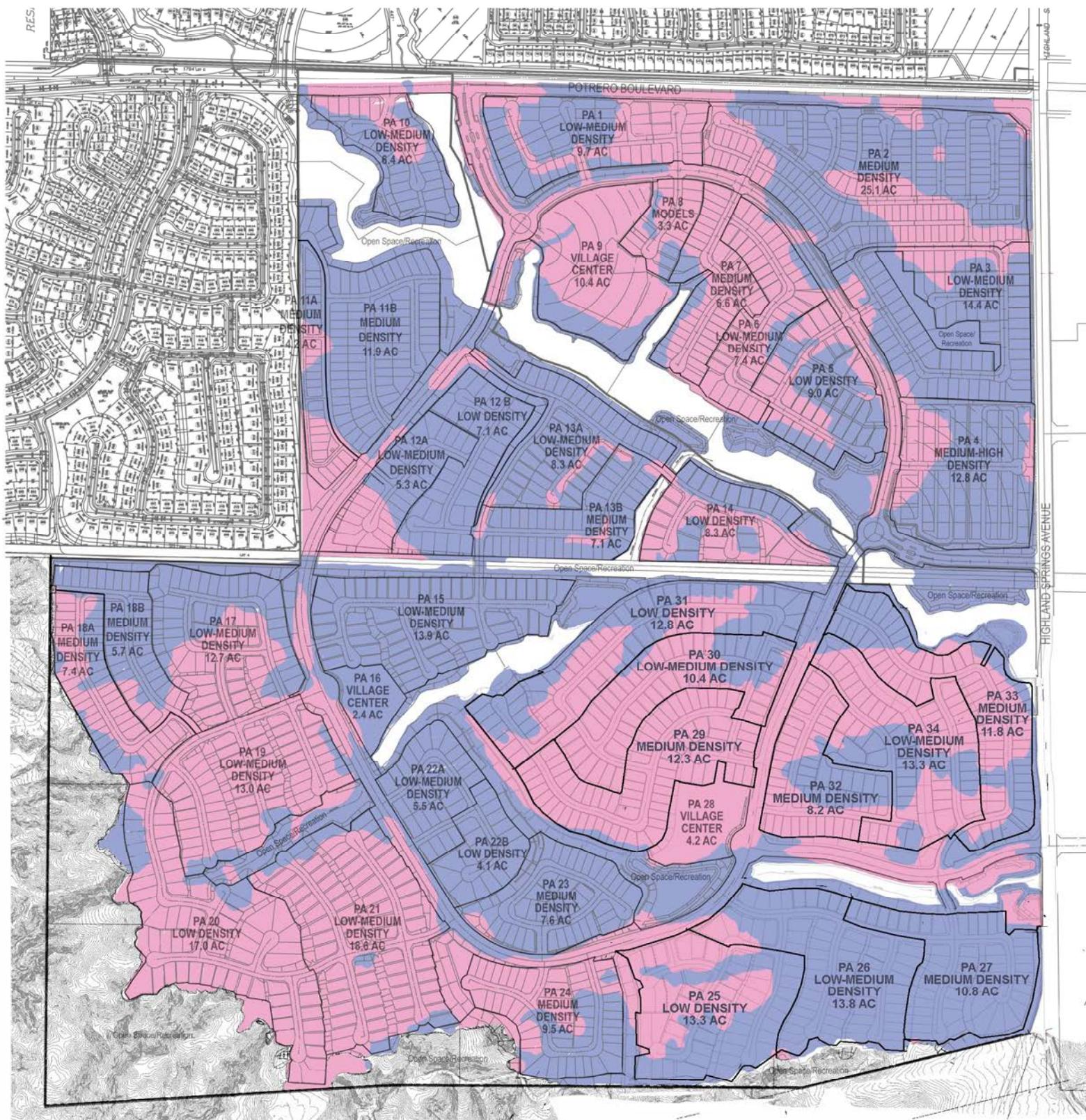
Earthwork quantities of about five (5) million cubic yards of cut and fill will be balanced in cut and fill areas on the site. (See Exhibit 12, *Concept Grading Plan*). Grading and staging may occur in various areas of the site that are outside of the phase area that is the primary focus of development at any one time. Cut or fill grading areas may take place in other phase areas of the project site in order to complete and balance grading in a phase that is the main area of development at any particular time. (See Section IV.C.11 for further grading design guidelines).

## I. PHASING PLAN

It is anticipated the Four Seasons Specific Plan will be constructed over a period of approximately 15 years. The Four Seasons Specific Plan is further anticipated to be completed in five major phases, as shown on Exhibit 13, *Phasing Plan* and as outlined below based on market demand. Infrastructure and roadways will be constructed to support each planning area and phase. The presently intended phasing is as follows, but may take place in any other sequence approved by the City upon application by the project applicant, so long as the public infrastructure and service requirements specified herein are provided to support the proposed sequencing.

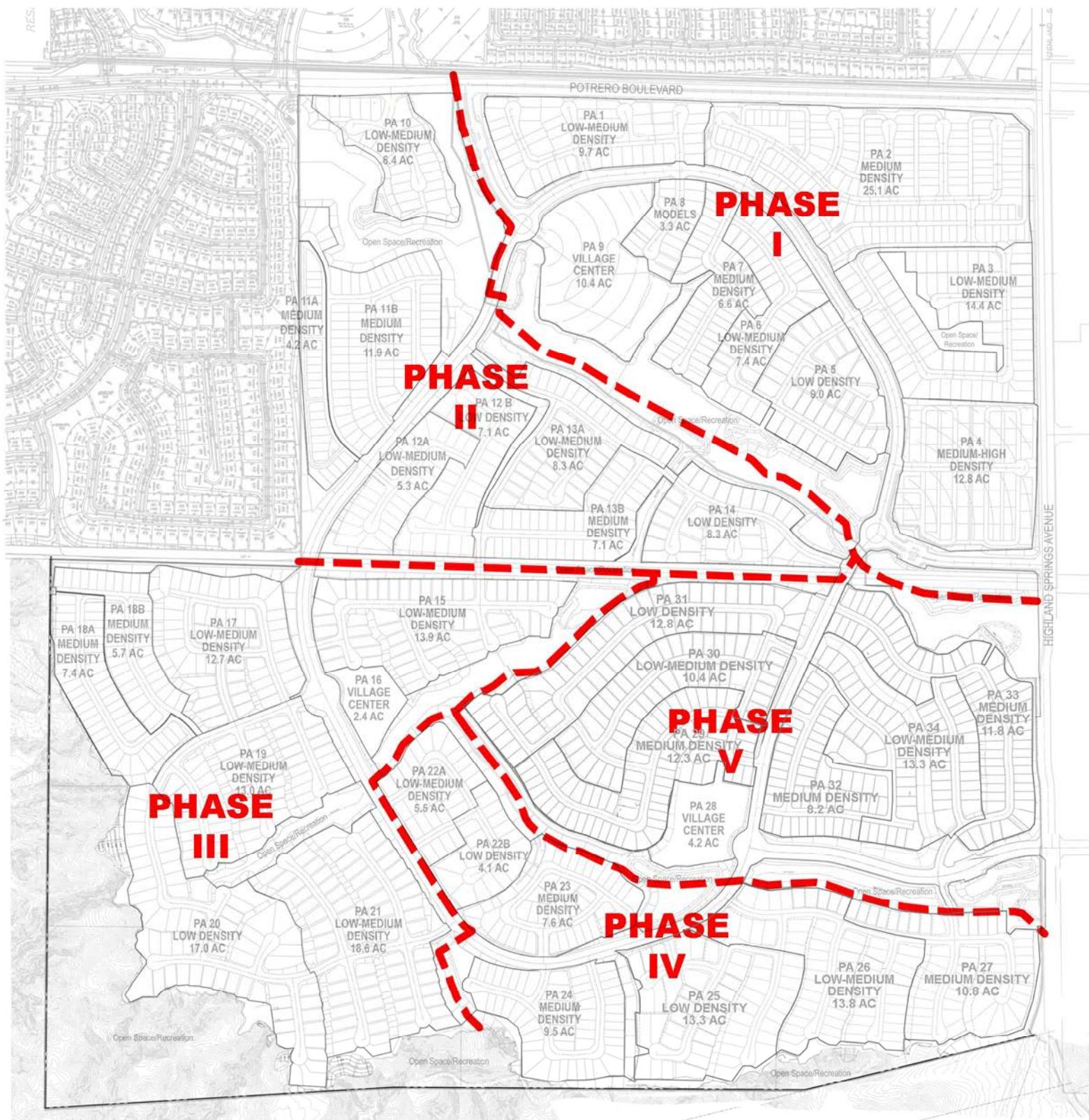
- Phase I: The first phase consists of Planning Areas 1-9 and contains various residential densities, the models, and the Planning Area 9 Village Center.
- Phase II: The second phase consists of Planning Areas 10-14 and contains various residential densities.
- Phase III: The third phase consists of Planning Areas 15-21 and contains various residential densities and may contain the Village Center in Planning Area 16.

- Phase IV: The fourth residential phase consists of Planning Areas 22-27 and contains various residential densities and will include the Planning Area 16 Village Center if it is not constructed in Phase III.
- Phase V: The fifth phase consists of Planning Areas 28-34 and contains various residential densities and the Village Center in Planning Area 28.



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Four Seasons at Beaumont  
**CONCEPT GRADING PLAN**

Exhibit 12



**SECTION IV**  
**DESIGN**  
**GUIDELINES**

## IV. DESIGN GUIDELINES

### A. INTRODUCTION

#### 1. Purpose

The purpose of this section is to present guidelines concerning architectural design, site planning, and landscape design that will establish and preserve the character and value of the Four Seasons at Beaumont community and each neighborhood within it. These guidelines provide general parameters to allow creativity and diversity, combined with some more defined requirements intended to maintain high standards of quality. This section covers the project as a whole, and more specifically the residential, village centers, open space, and parkway system development.

#### 2. Plan Concept

The Four Seasons at Beaumont Specific Plan is designed to provide a range of residential densities to accommodate a variety of housing products, with an emphasis on single-family detached homes. The single-family residential districts are intended to accommodate projects comprised of quality residences at a density range from approximately 4.5 to 9 dwelling units per acre.

The community structure of Four Seasons will be largely based on an easily identifiable landscape and architectural design hierarchy, developed primarily through the use of landscape elements. The community design framework consists of major entries, streetscapes and interior open space corridors.

Four Seasons is designed for an urban environment with available public services and infrastructure and recreational areas. Village Centers and recreational amenities are located in areas to best serve the community in terms of access and project phasing.

Precise architectural styles are not dictated. The intent is to allow and encourage variety of residential styles, which will emphasize quality and avoid monotony. In addition to required City reviews and plan checks a private Design Review Committee (DRC) is proposed to be established by the master developer to preserve the architectural and landscape character of the community and ensure the spirit and intent of these guidelines is met.

#### 3. Design Objectives

- a. Provide a community that enhances the characteristics of the site and surrounding area.

- b. Maintain high standards of quality of design and materials for all proposed projects.
- c. Enrich the quality of pedestrian experience by providing ample open space and landscaped walkways.

## **B. DESIGN REVIEW PROCEDURES**

The design guidelines provided in this section will assure that the community is developed in a comprehensive and consistent fashion. Review and implementation of the design guidelines within the Four Seasons at Beaumont Specific Plan will be undertaken by three entities:

### **1. Builders**

Builders, planners, landscape architects, and architects will use the guidelines in this section as the basis for their design work for each neighborhood. The Master Developer's DRC will use these guidelines as a basis for their review.

### **2. City**

As part of the plot plan review of each tract and specific development proposal, City staff will review the design elements for consistency with the design guidelines in this section of the Four Seasons at Beaumont Specific Plan. Thus, as the community is constructed through its phased build-out, design integrity will be maintained.

### **3. Homeowners Association**

A Master Homeowner's Association (HOA) will be established for the community, which will include a HOA Design Review Committee established to preserve the design character of the community and implement the guidelines in this section of the Specific Plan. It is anticipated that after build-out of the community this DRC will continue to review design elements of the community as it continues to evolve and individual homeowners modify their homes in years to come.

## **C. SITE DESIGN GUIDELINES**

- 1.** Residential dwelling units and accessory structures shall comply with the development standards identified within Section V, Development Regulations of this Specific Plan.
- 2.** Building placement should be designed to provide a functional relationship to the site's topography, existing vegetation and other pertinent natural features.

3. The siting of buildings should take advantage of natural views such as the mountains to the north and hillsides to the south.
4. Where Village Center uses are adjacent to residential uses, the specific siting of the buildings should be responsive to the character and use of surrounding residential properties. Intensified landscaping, increased setbacks and appropriate building orientation should be utilized to provide adequate separation between uses.
5. Structures should be sited to prevent on-site noise from interfering with adjacent properties. Similarly, buildings should be sited to prevent off-site noise from intrusion. To minimize noise impacts, fencing, walls, landscape buffers, setbacks and other methods of noise attenuation are encouraged.
6. Structures should be sited to take advantage of solar and wind efficiencies where possible. Orient window openings and living areas to the south to take advantage of solar energy during the winter months.
7. Village Center outdoor storage, service and loading areas should be screened from public view as well as from adjacent residential uses. Site design should minimize visual impact of these areas.
8. Linkages (e.g., walkways, common landscape areas, buildings orientation) between recreational and residential uses are encouraged.
9. The design of the Village Centers should facilitate and encourage pedestrian activity. Whenever feasible structures should be clustered/ oriented to create plazas and courtyards.
10. Pedestrian activity areas are encouraged at corner locations.
11. Grading
  - a. The minimum dimensions of graded building pads are encouraged to adhere to the underlying minimum lot dimensions in order to provide maximum useable lot area.
  - b. Adequate provisions must be made to prevent surface waters from damaging excavations, public or private property, and any cut and fill slopes both during and after construction.
  - c. All slope areas 5 feet and over in vertical height with a 2:1 slope rate or steeper will provide acceptable erosion protection.

- d. Excavation must accommodate future work such as: top soil addition, compaction, paving, sub-base foundation, and excavations and soil amendments.
- e. All project sites must meet NPDES program requirements for urban runoff and erosion control, and Best Management Practices (BMP) should be implemented during construction.
- f. Proposed grading should consider site-specific conditions such as the relationship with neighboring areas, the possible need for noise attenuation, and grading limits adjacent to open space.
- g. Temporary landscaping (i.e. ground covers) is encouraged for graded lots which remain unimproved for a period of 2 years or more.

### **13. Surface Water Drainage**

- a. The design and maintenance of positive surface flow of storm and residual water, as well as its collection and disposal, are critical to the success of each development site and its landscape. Excessive water and subsurface moisture must be kept away from buildings and slopes to avoid structural damage. Surface water must also be kept from draining over slopes, from concentrated flows, and from flowing onto neighboring sites.
- b. Where surface run-off from individual lots over natural grade is anticipated, drainage swales or other appropriate structures should be installed to safely conduct the flows.
- c. Surface drainage of paved areas should be a minimum of 1% slope. Surface drainage of soil areas should be a minimum of 1% slope, including "swale" or drainage of large turf areas.
- d. The City of Beaumont may permit curb drains if requested.
- e. Final grading of all planting areas should include light rolling, raking, and hand work as necessary to achieve desired contour and flow line patterns so as to result in evenly finished surfaced.

### **14. Building Envelope and Setbacks**

The building envelope sets the maximum height, setback and volume of each dwelling. No part of the dwelling should protrude outside the envelope except as noted in these guidelines or as allowed by the Development Regulations of the Specific Plan. Required building setbacks are set forth in the Development

Regulations of this Specific Plan. Required building setbacks are set forth in the Development Regulations of this Specific Plan.

*a. Projections Into Required Yards*

Subject to applicable design review approval by the City of Beaumont roof overhangs and decorative architectural features such as fireplaces, bay windows, media niche pop-outs, and similar elements may project a maximum of 2 feet into any required yard setback. Structural features such as exposed staircases and balconies may encroach a maximum of 6 feet into any required rear yard setback. Porch, patio and loggia roof covers may encroach a maximum of 6 feet into any required setback. However, in no case shall any projection encroach closer than 3 feet to a property line.

*b. Accessory Structures*

Accessory building and uses may be located on the same lot with a permitted dwelling, provided that they are found to be compatible with the residential character of the neighborhood, and that any buildings or structures be harmonious with the architectural style of the main building.

*c. Recreational Vehicles*

- 1) Low profile recreational vehicles such as speedboats, dune buggies or jet skis will be allowed to be stored on certain lots within the side yard only, provided that they are screened from public view. Lot constraints such as width size will restrict or prohibit the storage of low profile recreational vehicles on most lots as proposed.
- 2) Parking or storage of high profile recreational vehicles such as motor homes are not permitted in any area of the Specific Plan.

**D. ARCHITECTURAL GUIDELINES**

The purpose of these architectural guidelines is to ensure that the physical development of Four Seasons at Beaumont will create a visual attractive community. Precise architectural styles are not dictated. Rather, the intent is to allow and encourage a variety of styles, which will support the dynamic character of the Four Seasons community, and to avoid monotonous, repetitive appearance within each neighborhood and the community as a whole.

## **1. Architectural Styles**

- a. There is no specific architectural style required. Diversity is encouraged, with the goal to create high quality, human scale, and architecturally detailed buildings.
- b. Examples of architectural styles may include elements of but are not limited to: Spanish Colonial, Colonial Revival, Monterey, and Craftsman. Contemporary interpretations of these styles are also encouraged. See examples of potential architectural styles on Exhibit 14a and 14b.
- c. Architectural style should consider compatibility with surrounding character, including harmonious buildings style, form, size, color, materials, and roofline.
- d. Building details and architectural elements should be employed on all building elevations.
- e. In the Village Centers long, blank, unarticulated facades are strongly discouraged. Facades should be "broken" by vertical and horizontal variations in wall planes, building projections, door and window bays, and similar elements.

## **2. Building Mass and Height**

- a. Residential dwelling units, accessory structures, and Village Center buildings shall comply with the height standards identified within Section V, *Development Regulations* of this Specific Plan.
- b. The use of one-story elements such as porches or arcades is encouraged to provide undulation and variation within the community.
- c. One-story massing on two story structures on exposed side and front elevation is encouraged on corner side lots.
- d. Building forms should be designed to create and define a visually attractive and functional exterior.
- e. Enhanced architectural elements are strongly encouraged when exposed to public view or adjacent to open space (i.e. trim surrounds, pot-shelves, recessed windows, shutters, structural projections).
- f. Large expanses of unarticulated flat wall planes are strongly discouraged. Buildings should incorporate massing with articulated and varied elements.

- g. For single-family residential, building masses should be varied from plan to plan and elevation-to-elevation. Use of staggered setbacks and varied garage locations to enhance the street scene appearance is strongly encouraged.
- h. For Village Center development, mass and scale may be increased, but it still should be compatible with adjacent structures. This can be accomplished by stepping back the upper portions of taller buildings, incorporating human scale elements. See example of potential architectural style in Figure 6 on Exhibit 14b.



FIGURE 1 - DETACHED SINGLE FAMILY HOME EXAMPLE



FIGURE 2 - DETACHED SINGLE FAMILY HOME EXAMPLE  
(GARAGE ON COMMON LANE AT BACK OF LOT)



FIGURE 3 - DETACHED SINGLE FAMILY HOME EXAMPLE

SOURCE: K.HOVNANIAN

K Hovnanian's  
Four Seasons at Beaumont  
**ARCHITECTURE EXAMPLES**



FIGURE 4 - DETACHED SINGLE FAMILY HOME EXAMPLE



FIGURE 5 - DETACHED SINGLE FAMILY HOME EXAMPLE



FIGURE 6 - VILLAGE CENTER CLUBHOUSE EXAMPLE

SOURCE: K.HOVNANIAN

K Hovnanian's  
Four Seasons at Beaumont

**ARCHITECTURE EXAMPLES**

**Exhibit 14b**

### **3. Color and Materials**

- a. The color of exterior surfaces should harmonize with and complement the natural colors of the area. A color palette should take into consideration that blends well the building's primary color, accent colors, and the color of the garage doors.
- b. Exterior wall surfaces should be of materials that blend and complement the natural landscape.
- c. Plaster or stucco should be smooth, sand, light lace, or semi-smooth finish, and should complement the architectural style of the elevation.
- d. Accent materials may include wood, brick, tile, and appropriate stone veneers.
- e. Materials that are highly reflective, form any high contrasting or graphic pattern that would cause visual distraction is strongly discouraged.
- f. Walls and fences should be of masonry, stone, stucco, wood, vinyl, tubular steel or wrought iron materials with color treatment and material complementary to and consistent throughout the community.
- g. Patio trellises, arbors, sunshades, gazebos, and other accessory structures should be consistent with the colors and materials and integral to the architectural style of the structure.
- h. For multi-unit residential, open stairways should incorporate solid wall portions, columns and/ or a decorative balustrade. Prefabricated metal stairs are prohibited.

### **4. Roofs**

- a. Variety of roofline designs is encouraged to promote visual interest.
- b. Roof types should be limited to traditional forms including gable, hip, or shed roofs. Mansard and flat roofs are strongly discouraged.
- c. Varying plate heights and ridge heights are encouraged.
- d. Accessory structures should have roofs similar to or compatible with the primary structure they support.

- e. Roofing materials should be "S" or flat tiles manufactured of concrete, simulated slate or shingles manufactured from concrete. High definition composition shingles may only be permitted when architectural styles require them. Unacceptable roofing materials include wood shakes/shingles, and flat asphalt shingles.
- f. Varying roof colors are encouraged but should be compatible with neighboring elevations.
- g. Roof vents and appurtenances shall be painted to match the roof color.
- h. Roof mounted mechanical equipment shall not be permitted. Solar panels whose collecting surfaces are parallel with and lie on the underlying roof surface are allowed.

## 5. **Doors and Windows**

- a. Fully recessed openings are encouraged, and projecting windows should be used to add articulation to wall surfaces.
- b. The incorporation of window or door surrounds and similar architectural statements are encouraged especially when exposed to public view or adjacent open space.
- c. Rectangular, half-round or full-round attic vents on walls are encouraged.
- d. Entry doors may be wood, metal or fiberglass, and either glazed or decorative in nature. Door or window glazing may be clear or gray only.
- e. Aluminum frame or vinyl windows are allowed. Divided light or mullioned windows are encouraged, where appropriate.
- f. Architectural window trim shall be added on all two-story structures and street facing elevations.

## 6. **Building Details**

- a. Gutters and downspouts should be concealed or exposed if designed as continuous architectural features. Exposed gutters and downspouts should be painted to match adjacent roof or wall material.
- b. Skylights are to be designed as an integral part of the roof. Their forms, location, and color should relate to the building. Their color should be clear or solar bronze. White glazing is strongly discouraged.

- c. All flashing, sheet metal, vent stacks, and pipes should be positioned away from public view and painted to match adjacent building surface in order to minimize any visual impact.

**7. Mechanical Equipment**

- a. All air conditioning/ heating equipment, soft water tanks, gas meter, and electric meters shall be screened from public view.
- b. Solar panels should be integrated into the roof design or installed on the ground. If they are installed on the roof, they must be flush with the roof slopes. Frames should be colored to compliment the roof. Support solar equipment should be enclosed and screened from view.
- c. Antennas and satellite dishes are subject to review by the HOA and shall comply with the provisions of the Master Declaration and applicable laws.

**8. Porches, Arcades, and Entryways**

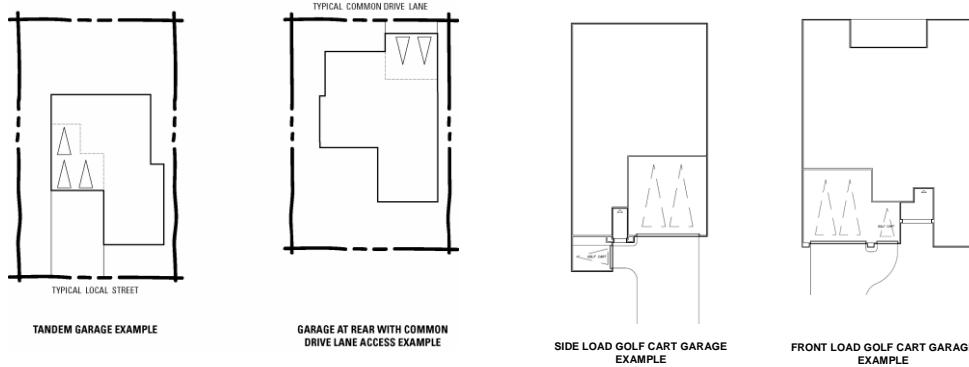
- a. The use of front porches is encouraged.
- b. Dependent upon the architectural style, a porch rail should be included to define the space and add architectural detail to the porch and front elevation of the house.
- c. The roof pitch for a porch should generally be slightly lower than that of the main building.
- d. Porches, arcades, and entryways should be consistent with the colors and materials and integral to the architectural style of the structure.
- e. Front entrances should be designed as significant architectural features.

**9. Balconies and Overhangs**

- a. Balconies and overhangs add visually to a structure by breaking up wall masses, offsetting floors, and creating a sense of human scale.
- b. Balcony railings may be constructed of wood, masonry, decorative metal and/ or stucco. Balcony railings may not be solid without breaks.
- c. In all cases, balconies and overhangs should be designed in terms of detailing, form, color, and materials are similar to the architectural style of the structure.

## 10. Garages

- a. Multiple panel door designs, windows, or other architectural detailing shall be used on garage doors to reduce their visual impact and scale.
- b. Tandems and garages set at the rear of the lot with access from common drive lane at the rear of the lot may be permitted as an option.



- c. Garages should be constructed of colors and materials compatible with the architectural style of the structure. Accent colors may be employed to complement the architecture and provide visual variety along the streetscape.
- d. Garages must be fully enclosed and equipped with an automatic garage door opener. Carports are not permitted.

## 11. Driveways

- a. Driveways and other flat paved areas may be concrete, stamped concrete, quarry tile brick, or paving blocks.
- b. Driveways on corner lots should be located as far as possible from street intersections.
- c. Driveway widths should be kept to a minimum to lessen the appearance of hard surfaces.
- d. Driveways and common drive lanes will not be allowed to have center swales.
- e. A minimum distance of 20 feet shall be maintained from the garage door to the back of the sidewalk for front-facing garages.

## **12. Mailboxes**

Gang style mailboxes in group sizes acceptable to the U.S. Postmaster are encouraged. The U.S. Postmaster shall approve all mailbox locations. The Homeowners Association(s) within the Four Seasons Specific Plan shall have the responsibility of maintaining and replacing the gang style mailboxes as needed.

## **13. Trash Storage Areas**

Trash receptacle areas shall be completely screened from public view. This requirement shall apply to individual residential lots as well as multi-family and Village Center development.

# **E. LANDSCAPE GUIDELINES**

## **1. General Guidelines**

- a. All landscape design and installation in the Sundance Specific Plan shall be subject to the Landscaping Standards as set forth in Title 17 of the Beaumont Municipal Code, or pursuant to subsequent requirements, as deemed applicable by the City of Beaumont.
- b. The following landscape elements shall be provided and installed in each neighborhood by the developer/ builder:
  - Street trees
  - Interior slope landscaping & irrigation
  - Block-end walls
  - Side yard, rear yard and return fences
  - Tubular steel fences
  - Front yard landscaping
  - Local project signage
- c. Landscape and irrigation plans for entry treatments, streetscape, interior slopes, parks and retention basins shall be approved by the City of Beaumont.

- d. All plantings within the Four Seasons Community shall be selected from the Master Tree and Plant Lists in this document (See Table 5: Trees, See Table 6: Shrubs, See Table 7: Accents/ Grasses, See Table 8: Groundcover, See Table 9: Vines/ Turf/Non-Allowed Plants).
- e. Street tree size should be minimum 15 gallon and at least 50 percent of all street trees should be a minimum 24 inch box size. Species and variety should conform to an approved street tree plan.

The plant lists for Four Seasons at Beaumont was developed to create some seasonal changes with a mixture of deciduous and evergreen plants while maintaining a well-balanced landscape. Following is a list of plants chosen for street trees, common area/ slope landscapes and front yard landscapes.

**TABLE 5: TREES**

	<i>Botanical</i>	<i>Common</i>
<b>TREES</b>		
Acacia aneura		Mulga
Acacia farnesia		Sweet Acacia
Acacia salicina		Willow Acacia
Acacia stenophylia		Shoestring Acacia
Aesculus californica		California Buckeye
Agonis flexuosa		Peppermint Tree
Albizia julibrissin		Silk Tree
Arbutus unedo		Strawberry Tree
Bauhinia forficata		Brazilian butterfly tree
Bauhinia variegata (purpurea)		Purple orchid tree
Bauhinia X blakeana		Hong Kong orchid tree
Brachychiton populneus		Bottle Tree
Brahea armata		Blue Hesper Palm
Brahea edulis		Guadalupe Palm
Butia capitata		Pindo Palm
Caesalpinia cacalaco		Cascalote
Callistemon citrinus		Lemon Bottlebrush
Callistemon viminalis		Weeping Bottlebrush
Calocedrus decurrens		Incense Cedar
Cassia leptophylla		Gold Medallion Tree
Cedrus deodara		Deodar Cedar
Cercidium floridum (Parkinsonia florida)		Blue Palo Verde
Cercidium microphyllum		Little Leaf Palo Verde

**TABLE 5: TREES (CONTINUED)**

<b>TREES</b>	
<i>Cercidium praecox</i>	Sonoran Palo Verde
<i>Cercis occidentalis</i>	Western Redbud
<i>Chilopsis linearis</i>	Desert Willow
<i>Chitalpa tashkentensis</i>	Chitalpa
<i>Chorisia speciosa</i>	Floss Silk Tree
<i>Cinnamomum camphora</i>	Camphor Tree
<i>Cotinus coggyria</i>	Smoke Tree
<i>Cupaniopsis anacardioides</i>	Carrot Wood
<i>Cupressus sempervirens</i>	Italian Cypress
<i>Dalbergia sissoo</i>	Sissoo Tree
<i>Dracaena draco</i>	Dragon Tree
<i>Elaeocarpus decipiens</i>	Japanese Blueberry Tree
<i>Eriobotrya deflexa</i>	Bronze Loquat
<i>Erythrina Americana (E. coralloides)</i>	Naked Coral Tree
<i>Erythrina X sykesii</i>	Sykes Coral Tree
<i>Erythrina X bidwillii</i>	Coral Tree
<i>Eucalyptus citriodora</i>	Lemon Scented Gum
<i>Eucalyptus microtheca</i>	Coolibah Tree
<i>Eucalyptus papuana*</i>	Ghost Gum
<i>Eucalyptus polyanthemos</i>	Silver Dollar Gum
<i>Eucalyptus torquata</i>	Coral Gum
<i>Ficus microcarpa</i>	Indian Laurel Fig
<i>Fraxinus greggii*</i>	Little Leaf Ash
<i>Fraxinus uhdei</i>	Shamel Ash
<i>Fraxinus o. 'Raywood'</i>	Raywood Ash
<i>Fraxinus velutina</i>	Arizona Ash
<i>Geijera parviflora</i>	Australian Willow
<i>Ginkgo biloba</i>	Maidenhair Tree
<i>Gleditsia triacanthos</i>	Honey Locust
<i>Jacaranda mimosifolia</i>	Jacaranda
<i>Juglans californica</i>	S. California Black Walnut
<i>Juniperus californica</i>	California Juniper
<i>Juniperus scopulorum 'Tolleson's Weeping'</i>	Tolleson's Weeping Juniper
<i>Koelreuteria bipinnata</i>	Chinese Flame Tree
<i>Koelreuteria paniculata</i>	Golden Rain Tree
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Lagunaria patersonii</i>	Primrose Tree

**TABLE 5: TREES (CONTINUED)**

TREES	
<i>Laurus nobilis</i> 'Saratoga'	Sweet Bay
<i>Leucanea retusa</i> *	Golden Ball Lead Tree
<i>Liquidambar styraciflua</i> (seedless var.)	Sweet Gum
<i>Lithocarpus densiflorus</i>	Tanbark Oak
<i>Lyonothamnus floribundus</i>	Catalina Ironwood
<i>Lysiloma microphylla</i> va. <i>Thornberi</i>	Desert Fern (feather bush)
<i>Magnolia grandiflora</i>	Magnolia Species
<i>Melaleuca linariifolia</i>	Flax Leaf Paper Bark
<i>Melaleuca quinquinervia</i> (M. vir. <i>Rubifolia</i> )	Cajeput Tree
<i>Nerium oleander</i>	Oleander (Tree Form)
<i>Olea europaea</i> 'Swan Hill'	Fruitless Olive
<i>Olneya tesota</i>	Ronwood
<i>Phoenix canariensis</i>	Canary Island Date Palm
<i>Phoenix dactylifera</i>	Date Palm
<i>Pinus attenuata</i>	Knobcone Pine
<i>Pinus brutia</i> ( <i>eldarica</i> )	Calabrian Pine
<i>Pinus canariensis</i>	Canary Island Pine
<i>Pinus Coulteri</i>	Coulter Pine
<i>Pinus edulis</i>	Pinyon Pine
<i>Pinus halepensis</i>	Aleppo Pine
<i>Pinus monophylla</i>	Single Leaf Pinyon Pine
<i>Pinus sabiniana</i>	Grey Pine
<i>Pistacia chinensis</i>	Chinese Pistache
<i>Pithecellobium flexicaule</i>	Texas Ebony
<i>Pittosporum phyloraeoides</i>	Willow Pittosporum
<i>Platanus acerifolia</i>	London Plane Tree
<i>Platanus racemosa</i>	California Sycamore
<i>Platanus wrightii</i>	Arizona Sycamore
<i>Podocarpus gracilior</i> ( <i>Afrocarpus grac.</i> )	Fern Pine
<i>Podocarpus henkelii</i>	Long Leafed Yellow Wood
<i>Podocarpus macrophyllus</i>	Yew Pine
<i>Populus fremontii</i>	Fremont Cottonwood
<i>Prosopis alba</i>	Argentine Mesquite
<i>Prosopis chilensis</i>	Chilean Mesquite
<i>Prosopis glandulosa</i>	Honey Mesquite
<i>Prosopis juliflora</i>	Arizona Mesquite

**TABLE 5: TREES (CONTINUED)**

<b>TREES</b>	
<i>Prosopis pubescens</i>	Screwbean Mesquite
<i>Prosopis velutina</i>	Velvet Mesquite
<i>Prunus caroliana</i>	Carolina Laurel Cherry
<i>Prunus cerasifera</i>	Purple Leaf Plum
<i>Prunus cerasifera 'Krauter Vesuvius'</i>	Purple Leaf Plum
<i>Prunus ilicifolia</i>	Hollyleaf Cherry
<i>Prunus ilicifolia lyonii</i>	Catalina Cherry
<i>Punica granatum</i>	Pomegranate
<i>Pyrus Calleryana 'Aristocrat'</i>	Callery Pear
<i>Pyrus C. 'Bradford'</i>	Bradford Pear
<i>Quercus agrifolia</i>	Coast Live Oak
<i>Quercus chrysolepis</i>	Canyon Live Oak
<i>Uercus engelmannii</i>	Mesa Oak
<i>Quercus ilex</i>	Holly Oak
<i>Quercus kelloggi</i>	California Black Oak
<i>Quercus lobata</i>	Valley Oak
<i>Quercus suber</i>	Cork Oak
<i>Quercus virginiana</i>	Southern Live Oak
<i>Quercus wislizeni</i>	Interior Live Oak
<i>Rhaphiolepis indica 'Majestic Beauty'</i>	Majestic Beauty Hawthorn
<i>Rhus lancea</i>	African Sumac
<i>Robinia neomexicana*</i>	Desert Locust
<i>Robinia x ambigua</i>	Locust
<i>Sabal 'Riverside'</i>	Riverside Palmetto
<i>Sambucus Mexicana</i>	Mexican Elderberry
<i>Schinus molle</i>	California Pepper Tree
<i>Syagrus romanzoffianum</i>	Queen Palm
<i>Tecoma stans</i>	Yellow Bells (Tree Form)
<i>Tristania conferta (Lophostemon conf.)</i>	Brisbane Box
<i>Umbellularia California</i>	California Laurel
<i>Washingtonia robusta</i>	Mexican Fan Palm

**TABLE 6: SHRUBS**

<b>SHRUBS</b>	
<i>Abelia 'Edward Goucher'</i>	Glossy Abelia
<i>Abelia grandiflora</i>	Glossy Abelia
<i>Acacia craspedocarpa</i>	Leather Leaf Acacia
<i>Acanthus mollis</i>	Grecian Urn Plant
<i>Adenostoma fasciculatum</i>	Chamise
<i>Aloysia triphylla</i>	Lemon Verbena
<i>Alyogyne hakeifolia</i> **	Red Centered Hibiscus
<i>Alyogyne huegelii</i>	Blue Hibiscus
<i>Ambrosia deltoidea</i> **	Bursage
<i>Ambrosia dumosa</i> **	White Bursage
<i>Anisacanthus</i> spp.	Desert Honeysuckle
<i>Arctostaphylos densiflora</i>	Sonoma Manzanita
<i>Artemisia californica</i>	California Sagebrush
<i>Atriplex hymenelytra</i>	Desert Holly
<i>Baccharis pilularis</i>	Coyote Brush
<i>Baccharis sarathroides</i>	Desert Broom
<i>Berberis thunbergii</i>	Japanese Barberry
<i>Bougainvillea</i> spp.	Bougainvillea
<i>Buddleia marrubiifolia</i>	Wooly Butterfly Bush
<i>Buxus microphylla japonica</i>	Japanese Boxwood
<i>Buxus sempervirens</i>	Common Boxwood
<i>Caesalpinia gilliesii</i>	Desert Bird of Paradise
<i>Caesalpinia Mexicana</i>	Mexican Poinciana
<i>Caesalpinia pulcherrima</i>	Dwarf Poinciana
<i>Calliandra californica</i>	Baja Fairy Duster
<i>Calliandra eriophylla</i>	Fairy Duster
<i>Callistemon viminalis 'Little John'</i>	Weeping Bottlebrush
<i>Calocephalus brownii</i>	Cushion Bush
<i>Calycanthus occidentalis</i>	Spice Bush
<i>Carissa macrocarpa 'Boxwood Beauty'</i>	Boxwood Beauty Natal Plum
<i>Carissa macrocarpa 'Tuttle'</i>	Tuttle Natal Plum
<i>Carissa macrocarpa 'Variegata'</i>	Variegated Natal Plum
<i>Ceanothus</i> spp.	California Wild Lilac
<i>Cercocarpus betuloides</i>	Mountain Ironwood
<i>Cercocarpus minutiflorus</i> **	An Diego Mountain Mahogany

**TABLE 6: SHRUBS (CONTINUED)**

<b>SHRUBS</b>	
Chamelaucium uncinatum	Geraldton Wax Flower
Cistus spp.	Rockrose
Cocculus laurifolius	Cocculus
Convolvulus cneorum	Bush Morning Glory
Convolvulus mauritanicus (C. sasbatius)	Ground Morning Glory
Cordia boissieri	Texas Olive
Cordia parvifolia	Little Leaf Cordia
Correa spp.	Australian Fuchsia
Cotoneaster adpressus praecox	Creeping Cotoneaster
Cotoneaster apiculatus	Cranberry Cotoneaster
Cotoneaster buxifolius**	Cotoneaster Buxifolius
Cotoneaster congestus (C. micro. Gla.)	Pyrenees Cotoneaster
Cotoneaster parneyi	Parney Cotoneaster
Cotoneaster salicifolius	Willowleaf Cotoneaster
Crassula spp.	Crassula
Cuphea llavea	Bat-Faced Cuphea
Dalea bicolor	Dalea
Dendromecon harfordii	Island Bush Poppy
Dendromecon rigida	Bush Poppy
Diosma pulchrum	Breath of Heaven
Dodonaea viscosa	Hopbush
Dodonaea viscosa 'Purpurea'	Purple Hopbush
Echium fastuosum	Pride of Madeira
Elaeagnus pungens	Silverberry
Encelia californica	Brown Eyed Susan
Encelia farinosa	Brittlebush
Eriogonum fasciculatum	California Buckwheat
Escallonia 'Compakta'	Compact Escallonia
Escallonia 'fradesii'	Escallonia
Euonymus japonicus spp.	Euonymous
Euryops pectinatus	Shrub Daisy
Fallugia paradoxa	Apache Plume
Feijoa sellowiana (Acca sellowiana)	Pineapple Guava
Forestiera neomexicana	Desert Olive
Fremontodendron spp.	Flannel Bush

TABLE 6: SHRUBS (CONTINUED)

SHRUBS	
<i>Galvezia speciosa</i>	Island Bush Snapdragon
<i>Garrya elliptica</i>	Coast Silk Tassel
<i>Grevellia 'Noellii'</i>	Noel's Grevellia
<i>Grewia occidentalis</i>	Lavender Star Flower
<i>Hakea laurina</i>	Sea Urchin Tree
<i>Hakea suaveolens</i>	Sweet Scented Hakea
<i>Hebe 'Veronica Lake'</i>	Veronica Lake Hebe
<i>Heteromeles arbutifolia</i>	Toyon
<i>Heuchera sanguinea</i>	Coral Bells
<i>Hibiscus rosa-sinensis</i>	Hibiscus
<i>Ilex cornuta 'Burfordii'</i>	Burford Holly
<i>Ilex vomitoria</i>	Yaupon
<i>Juniperus chinensis X pfitzeriana</i>	Pfitzer Juniper
<i>Juniperus chinensis 'Torulosa'</i>	Hollywood Juniper
<i>Justicia californica</i>	Chuparosa
<i>Justicia spicigera</i>	Mexican Honeysuckle
<i>Lantana camara</i>	Bush Lantana
<i>Lantana montevidensis</i> (gold cultivars)	Trailing Lantana
<i>Larrea tridentata</i>	Creosote Bush
<i>Lavandula angustifolia</i> (L officinalis)	English Lavender
<i>Lavandula dentata</i>	French Lavender
<i>Lavandula X intermedia</i>	Lavandin, Hedge Lavender
<i>Lavendula latifolia</i> (L. spika)	Spike Lavender
<i>Lavendula pinnata</i> (L. multifida)	Fernleaf Lavender
<i>Lavendula stoechas</i>	Spanish Lavender
<i>Lavatera assurgentiflora</i>	Tree Mallow
<i>Lavatera bicolor</i> (L. maritima)	California Tree Mallow
<i>Leonotis leonurus</i>	Lion's Tail
<i>Leptospermum laevigatum</i>	Australian Tea Tree
<i>Leptospermum scoparium</i> spp.	New Zealand Tea Tree
<i>Leucophyllum candidum</i>	Cenizo, Violet Silverleaf
<i>Leucophyllum frutescens</i>	Texas Sage
<i>Leucophyllum laevigatum</i>	Chihuahuan Rain Sage
<i>Leucophyllum langmaniae</i>	Langmanie's Sage, Cinnamon Sage
<i>Leucophyllum pruinatum</i>	Sierra Bouquet

**TABLE 6: SHRUBS (CONTINUED)**

<b>SHRUBS</b>	
<i>Leucophyllum zygophyllum</i>	Blue Rain Sage
<i>Ligustrum japonicum 'Texanum'</i>	Texas Privet
<i>Lobelia laxiflora</i>	Mexican Bush Lobelia
<i>Lonicera nitida</i>	Box Honeysuckle
<i>Lycium fremontii**</i>	Wolfberry
<i>Mahonia aquifolium</i>	Oregon Grape
<i>Mahonia 'Golden Abundance'</i>	Golden Abundance Mahonia
<i>Mahonia nevinii</i>	Nevin Mahonia
<i>Malacothamnus fasciculatus**</i>	Mesa Bushmallow
<i>Melaleuca nesophila</i>	Pink Melaleuca
<i>Mimulus aurantiacus</i>	Sticky Monkey Flower
<i>Myrica californica</i>	Pacific Wax Myrtle
<i>Myrsine africana</i>	African Boxwood
<i>Myrtus communis</i>	Common Myrtle
<i>Myrtus communis 'Boetica'</i>	Twisted Myrtle
<i>Myrtus communis 'Compacta'</i>	Compact Myrtle
<i>Nandina domestica</i> species	Heavenly Bamboo
<i>Nerium oleander</i>	Oleander
<i>Nerium oleander 'Mrs. Roeding'</i>	Mrs. Roeding Oleander
<i>Nerium oleander 'Petite Pink'</i>	Petite Pink Oleander
<i>Philadelphus mexicanus</i>	Evergreen Mock Orange
<i>Phlomis fruticosa</i>	Jerusalem Sage
<i>Phlomis italicica</i>	<i>Phlomis italicica</i>
<i>Phlomis tuberosa</i>	<i>Phlomis</i>
<i>Photinia serratifolia</i> ( <i>P. serrulata</i> )	Chinese Photinia
<i>Photinia x fraseri</i>	Frasier's Photinia
<i>Pittosporum tobira</i> and hybrids	Tobira/ Japanese Mock Orange
<i>Plecostachys serpyllifolia</i> ( <i>Helichrysum</i> )	Straw Flower
<i>Plumbago auriculata</i> ( <i>campense</i> )	Cape Pumbago
<i>Polygala dalmatica</i>	Sweet Pea Shrub
<i>Potentilla gracilis</i> ( <i>P. fruticosa</i> )	Cinquefoil
<i>Prunus caroliniana</i> 'Bright 'n Tight'	Dwarf Caroliana Laurel Cherry
<i>Prunus caroliniana</i> 'Compacta'	Dwarf Caroliana Laurel Cherry
<i>Prunus ilicifolia</i>	Hollyleaf Cherry
<i>Runus lyonii**</i>	Catalina Cherry

**TABLE 6: SHRUBS (CONTINUED)**

<b>SHRUBS</b>	
<i>Punica granatum</i> 'Nana'	Dwarf Pomegranate
<i>Pyracantha</i> species	Firethorn
<i>Rhamnus californica</i>	Coffeeberry
<i>Rhamnus crocea</i>	Redberry
<i>Rhamnus croceus</i> spp. <i>Illicifolia</i>	Hollyleaf Redberry
<i>Rhaphiolepis indica</i> species	Indian Hawthorn
<i>Rhus integrifolia</i>	Lemonade Berry
<i>Rhus laurina</i>	Laurel Sumac
<i>Rhus ovata</i>	Sugar Bush
<i>Rhus trilobata</i>	Squawbush
<i>Ribes aureum</i>	Golden Currant
<i>Ribes indecorum</i>	White Flowering Currant
<i>Ribes malvaceum</i>	Chaparral Currant
<i>Ribes sanguineum</i>	Red Flowering Currant
<i>Ribes speciosum</i>	Fuchsia Flowering Gooseberry
<i>Romneya coulteri</i>	Matilija Poppy
<i>Rosa banksiae</i>	Lady Bank's Rose
<i>Rosa californica</i> **	California Wild Rose
<i>Rosmarinus officinalis</i> 'Tuscan Blue'	Tuscan Blue Rosemary
<i>Rubus ursinus</i> **	Blackberry
<i>Ruellia brittoniana</i>	Mexican Barrio Ruellia
<i>Ruellia brittoniana</i> 'Katie'	Dwarf Mexican Barrio Ruellia
<i>Ruellia californica</i>	Sonoran Desert Ruellia
<i>Russelia equisetiformis</i> *	Coral Fountain
<i>Russelia polyedra</i> *	Wild Coral Fountain
<i>Salvia apiana</i>	White Sage
<i>Salvia argentea</i>	Silver Sage
<i>Salvia clevelandii</i> & hybrids	Salvia
<i>Salvia greggii</i> & hybrids	Autumn Sage
<i>Salvia leucantha</i>	Mexican Bush Sage
<i>Salvia leucophylla</i>	Purple Sage
<i>Salvia mellifera</i>	Black Sage
<i>Ambucus mexicana</i>	Mexican Elderberry
<i>Santolina chamaecyparissus</i> ( <i>S. incana</i> )	Lavender Cotton
<i>Santolina rosmarinifolia</i> ( <i>S. virens</i> )	NCN
<i>Sarcococca ruscifolia</i>	Fragrant Sweet Box
<i>Senna artemesioides</i> ( <i>Cassia</i> art.)	Feathery Cassia/ Senna

**TABLE 6: SHRUBS (CONTINUED)**

SHRUBS	
<i>Senna nemophila</i>	Desert Cassia
<i>Senna phyllodenia</i> (Cassia phyllodenia)	Silver Senna/ Cassia
<i>Senna spectabilis</i> (Cassia excelsa)**	Senna/ Cassia spectabilis
<i>Senna sturtii</i> (Cassia sturtii)	Sturt's Cassia/ Senna
<i>Shepherdia argentea</i>	Silver Buffalo Berry
<i>Simmondsia chinensis</i>	Jajoba
<i>Solanum rantonnetii</i> (Lycianthus rant.)	Blue Potato Bush
<i>Solanum xantii</i>	Purple Nightshade
<i>Sollya heterophylla</i>	Australian Bluebell Creeper
<i>Sophora arizonica</i>	Arizona Sophora
<i>Sophora secundiflora</i>	Texas Mountain Laurel
<i>Sphaeralcea ambigua</i>	Desert Mallow
<i>Spiraea Douglasii</i>	Western Spiraea
<i>Spiraea japonica</i>	Spirea
<i>Spiraea x japonica</i> 'bumalda'	Bumbalda Spirea
<i>Symphoricarpos albus</i>	Snow Berry
<i>Tagetes lemmonii</i>	Mountain Marigold
<i>Tecoma alata</i> *	Orange Bells
<i>Tecoma garrocha</i> *	Argentine Tecoma
<i>Tecoma stans</i> var. <i>angustata</i> *	Hardy Yellow Trumpet Flower
<i>Tecomaria capensis</i>	Cape Honeysuckle
<i>Teucrium chamaedrys</i>	Germander
<i>Teucrium fruticans</i>	Bush Germander
<i>Teucrium marum</i>	Cat Thyme
<i>Vauquelinia californica</i>	Arizona Rosewood
<i>Vauquelinia corymbosa</i> <i>angustifolia</i> *	Chihuahuan Rosewood
<i>Viburnum japonicum</i>	Viburnum
<i>Viburnum suspensum</i>	Sandankwa Viburnum
<i>Viguiera deltoidea</i> *	Goldeneye
<i>Westringia fruticosa</i> ( <i>rosmariniformis</i> )	Coast Rosemary
<i>Westringia longifolia</i>	Coast Rosemary
<i>Xylosma congestum</i>	Shiny Xylosma

**TABLE 7: ACCENTS/ GRASSES**

ACCENTS/ GRASSES	
<i>Agapanthus</i> species	Lily of the Nile
<i>Agave americana</i>	Century Plant
<i>Agave attenuata</i>	Nova Agave
<i>Agave bovicornuta</i> **	Cowhorn Agave
<i>Agave bracteosa</i>	Spider Squid Agave
<i>Agave deserti</i> **	Desert Agave
<i>Agave desmettiana</i>	Desmettiana Agave
<i>Agave geminiflora</i>	Twin Flowered Agave
<i>Agave schidigera</i> **	Durango Delight
<i>Agave victoriae-reginae</i>	Queen Victoria Agave
<i>Agave vilmoriana</i>	Octopus Agave
<i>Agave weberi</i>	Weber Agave
<i>Aleopecurus pratensis</i> **	Yellow Foxtail Grass
<i>Aloe</i> species	Aloe
<i>Anigozanthos</i> cultivars ( <i>A. flavidus</i> )	Kangaroo Paw
<i>Asclepias subulata</i>	Desert Milkweed
<i>Bouteloua gracilis</i>	Lue Grama Grass
<i>Calamagrostis acutiflora</i>	Feather Reed Grass
<i>Carex buchanani</i>	Leatherleaf Sedge
<i>Carex conica</i>	Snowline Sedge
<i>Carex elata</i> 'aurea'	Bowles Golden Sedge
<i>Carex flagellifera</i>	New Zealand Sedge
<i>Carex marrowii</i>	Japanese Sedge
<i>Carex pansa</i>	California Meadows Sedge
<i>Carex tumicola</i>	Berkeley Sedge
<i>Carnegiea gigantea</i>	Saguaro
<i>Cephalocerus</i> spp.	Old Man Cactus
<i>Cereus peruvianus</i>	Peruvian Apple Cactus
<i>Chamaerops humilis</i>	Mediterranean Fan Palm
<i>Chondropetalum tectorum</i>	Cape Rush
<i>Clivia miniata</i>	Kaffir Lily
<i>Cordyline australis</i>	Giant Dracaena
<i>Cycas revoluta</i>	Sago Palm
<i>Dasyliion acrotriche</i> **	Green Desert Spoon
<i>Dasyliion longissimum</i>	Toothless Desert Spoon
<i>Dasyliion wheeleri</i>	Desert Spoon

TABLE 7: ACCENTS/ GRASSES (CONTINUED)

ACCENTS/ GRASSES	
<i>Deschampsia caespitosa</i>	Tufted Hair Grass
<i>Deschampsia flexuosa*</i>	Crinkled Hair Grass
<i>Distichlis spicata 'Stricata'**</i>	Salt Grass
<i>Dites bicolor</i>	Fortnight Lily
<i>Dites iridioides (vegeta)</i>	African iris
<i>Dudleya lanceolata**</i>	LiveForever
<i>Echeveria elegans</i>	Hens and Chickens
<i>Echinocactus grusonii</i>	Golden Barrel Cactus
<i>Eleocharis macrostachya**</i>	Spike Rush
<i>Elymus magellanicus</i>	Magellan Wheatgrass
<i>Ephedra viridis*</i>	Mormon Tea
<i>Eposta lantana</i>	Peruvian Old Man Cactus
<i>Euphorbia characias wulfenii</i>	No common name
<i>Euphorbia ingens*, **</i>	Candelabra Tree
<i>Uphorbia milii</i>	Cross of Thorns
<i>Euphorbia rigida</i>	Euphorbia
<i>Euphorbia tirucallii</i>	Pencil Tree (milk bush)
<i>Ferocactus spp.</i>	Barrel Cactus
<i>Festuca (ovin) glauca</i>	Blue Fescue
<i>Festuca idahoensis</i>	Escue
<i>Fouquieria splendens</i>	Ocotillo
<i>Helictotrichon sempervirens</i>	Blue at Grass
<i>Hemerocallis hybrids</i>	Day Lily
<i>Hesperaloe funifera</i>	Coahuilan Hesperaloe
<i>Hesperaloe parviflora</i>	Red/ Yellow Yucca
<i>Imperata cylindrica rubra</i>	Japanese Blood Grass
<i>Iris douglasiana</i>	Douglas Iris
<i>Juncus acutus**</i>	Spiny Rush
<i>Juncus patens</i>	California Gray Rush
<i>Kalanchoe thyrsiflora</i>	Paddle Plant
<i>Kniphofia triangularis (K. galpinii)</i>	Coral Poker
<i>Kniphofia uvaria</i>	Red Hot Poker
<i>Leymus condensatus</i>	Giant Wild Rye
<i>Leymus triticoides**</i>	Creeping Wild Rye
<i>Lilium paradalinum</i>	Leopard Lily
<i>Liriope gigantea**</i>	Giant Lilturf

TABLE 7: ACCENTS/ GRASSES (CONTINUED)

ACCENTS/ GRASSES	
<i>Liriope muscari</i>	Big Blue Liliy turf
<i>Milium effusum 'Aureum'</i>	Bowles Golden Grass
<i>Miscanthus sinensis</i>	Japanese Silver Grass
<i>Miscanthus transmorrisonensis</i>	Evergreen Miscanthus
<i>Muhlenbergia capillaris</i>	Pink Muhly (Hairy awn muhly)
<i>Muhlenbergia dumosa</i>	Bamboo Muhly
<i>Muhlenbergia emersleyi</i>	Bull Grass
<i>Muhlenbergia rigens</i>	Deer Grass
<i>Nolina Bigelovii</i>	Bigelow Nolina
<i>Nolina longifolia</i>	Mexican Grass Tree
<i>Nolina matapensis</i>	Tree Bear Grass
<i>Nolina microcarpa</i>	Bear Grass
<i>Nolina recurvata</i>	Pony Tail Palm
<i>Opuntia acicularis**</i>	Bristly Prickly Pear
<i>Opuntia basilaris</i>	Beaver Tail Cactus
<i>Opuntia bigelovii</i>	Teddy Bear Cholla
<i>Opuntia engelmannii**</i>	Engelmann's Prickly Pear
<i>Opuntia ficus-indica</i>	India Fig
<i>Opuntia fulgida**</i>	Chainfruit Cholla
<i>Opuntia microdasys</i>	Bunny Ears
<i>Opuntia versicolor**</i>	Staghorn Cholla
<i>Pachycereus marginatus</i>	Mexican Fence
<i>Panicum virgatum</i>	Switch Grass
<i>Phoenix roebelenii</i>	Pigmy Date Palm
<i>Phormium hybrids</i>	New Zealand Flax Hybrids
<i>Phormium tenax</i>	New Zealand Flax
<i>Portulacaria afra</i>	Elephants Food
<i>Romneya coulteri</i>	Matilija Poppy
<i>Scirpus cernuus</i>	Fiber Optics Plant
<i>Scirpus maritimus**</i>	Bulrush
<i>Sedum brevifolium</i>	No common name
<i>Sedum confusum</i>	No common name
<i>Sedum X rubrotinctum</i>	Pork and Beans
<i>Sedum spurium</i>	Dragons Blood
<i>Senecio cineraria</i>	Dusty Miller
<i>Senecio mandraliscae</i>	Blue Chalk Sticks

**TABLE 7: ACCENTS/ GRASSES (CONTINUED)**

ACCENTS/ GRASSES	
<i>Sisyrinchium bellum</i>	Blue-Eyed Grass
<i>Sisyrinchium californicum</i>	Yellow-eyed Grass
<i>Spartina pectinata*</i>	Prairie Cord Grass
<i>Stenocereus thurberi</i> ( <i>Lemaireocereus</i> )	Organpipe Cactus
<i>Strelitzia nicolai</i> (protected areas only)	Giant Bird of Paradise
<i>Strelitzia reginae</i> (protected areas only)	Bird of Paradise
<i>Trichostema lanatum</i>	Woolly Blue Curls
<i>Tulbaghia violacea</i>	Society Garlic
<i>Yucca aloifolia</i>	Spanish Bayonet
<i>Yucca baccata</i>	Banana Yucca
<i>Yucca brevifolia</i>	Joshua Tree
<i>Yucca elata</i>	Soaptree Yucca
<i>Yucca gloriosa</i>	Spanish Dagger
<i>Yucca recurvifolia</i>	Pendulous Yucca
<i>Yucca rostrata</i>	Chihuahuan Desert Tree Yucca
<i>Yucca whipplei</i>	Out Lord's Candle

TABLE 8: GROUNDCOVER

GROUNDCOVER	
<i>Achillea tomentosa</i>	Yarrow Woolly
<i>Anemopsis californica</i> **	Yerba Mansa
<i>Aptenia 'Red Apple'</i>	Red Apple
<i>Arctostaphylos 'Emerald Carpet'</i>	Emerald Carpet Manzanita
<i>Arctostaphylos hookeri</i>	Monterey Manzanita
<i>Arctostaphylos 'Pacific Mist'</i>	Pacific Mist Manzanita
<i>Artemisia arborescens 'Powis Castle'</i>	Powis Castle Artemisia
<i>Artemisia douglasiana</i> **	Mugwort
<i>Artemisia pycnocephala</i>	Sandhill Sage
<i>Atriplex semibaccata</i>	Creeping Salt Bush
<i>Baccharis 'Centennial'</i>	Centennial Baccharis
<i>Baccharis pilularis 'Pigeon Point'</i>	Dwarf Coyote Bush
<i>Baccharis pilularis 'Twin Peaks'</i>	Dwarf Coyote Bush
<i>Baileya multiradiata</i>	Desert Marigold
<i>Calystegia macrocarpa*</i> , **	Morning Glory
<i>Carissa macrocarpa 'Green Carpet'</i>	Green Carpet Natal Plum
<i>Carissa macrocarpa 'Prostrata'</i>	Prostrate Natal Plum
<i>Ceanothus griseus var. horizontalis</i>	Carmel Ceanothus
<i>Cephalophyllum 'Red Spike'</i>	Red Spike Ice Plant
<i>Chrysactinia mexicana*</i>	Damianita Daisy
<i>Cistus corbariensis</i>	White Rockrose
<i>Cistus salviifolius</i>	Sage Leaf Rockrose
<i>Convolvulus sabatius</i>	Ground Morning Glory
<i>Coprosma kirkii</i>	Coprosma
<i>Coprosma 'Verde Vista'</i>	Verde Vista Coprosma
<i>Cotoneaster adpressus praecox</i>	Creeping Cotoneaster
<i>Cotoneaster apiculatus</i>	Cranberry Cotoneaster
<i>Cotoneaster buxifolius</i> **	Cotoneaster Buxifolius
<i>Cotoneaster dammeri (C. humifusus)</i>	Bearberry Cotoneaster
<i>Cotoneaster horizontalis</i>	Rock Cotoneaster
<i>Dalea greggii</i>	Trailing Indigo Bush
<i>Dodecatheon clevelandii*</i>	Shooting Star
<i>Drosanthemum floribundum</i>	Rosea Ice Plant
<i>Duchesnea indica</i>	Indian Mock Strawberry
<i>Dymondia Margaretae</i>	Dymondia
<i>Dyssodia pentachaeta</i> **	Golden Dyssodia

**TABLE 8: GROUNDCOVER (CONTINUED)**

<b>GROUNDCOVER</b>	
<i>Erigeron glaucus</i>	Beach Aster
<i>Gazania rigens</i> hybrids	Clumping Gazania
<i>Gazania rigens leucolanea</i>	Trailing Gazania
<i>Helleborus orientalis</i>	Lenten Rose
<i>Heuchera micrantha</i>	Alum Root
<i>Hymenoxys acaulis</i> **	Angelita Daisy
<i>Iva hayesiana</i> **	Poverty Weed
<i>Juniperus rigida conferta</i> *	Shore Juniper
<i>Juniperus horizontalis</i> 'Bar Harbor'	Bar Harbor Juniper
<i>Juniperus horizontalis</i> 'Wiltonii' ('Blue Rug')	Blue Carpet Juniper
<i>Juniperus Sabina</i> 'Broadmoor'	Broadmoor
<i>Juniperus Sabina</i> 'Tamariscifolia'	Tamarix Juniper, Tam
<i>Keckiella antirrhinoides</i>	Yellow Penstemmon
<i>Keckiella cordifolia</i>	Heart-Leaved Penstemmon
<i>Lampranthus spectabilis</i>	Trailing Ice Plant
<i>Lonicera japonica</i> 'Halliana'	Hall's Japanese Honeysuckle
<i>Lupinus bicolor</i> **	Bicolor Lupine
<i>Lupinus succulentus</i> ( <i>L. sparsiflorus</i> )*	Arroyo Lupine
<i>Mahonia repens</i>	Creeping Mahonia
<i>Maleophora crocea</i>	Orange Ice Plant
<i>Maleophora lutea</i>	Yellow Ice Plant
<i>Melampodium leucanthum</i>	Blackfoot Daisy
<i>Mimulus guttatus</i> **	Seep Monkey Flower
<i>Myoporum</i> 'Pacificum'	Pacific Myoporum
<i>Myoporum parvifolium</i> 'Pink'	Pink Myoporum
<i>Myoporum parvifolium</i> 'Prostratum'	Prostrate Myoporum
<i>Oenothera caespitosa</i>	White Evening Primrose
<i>Oenothera stubbei</i>	Baja Evening Primrose
<i>Osteospermum fruticosum</i>	Trailing African Daisy
<i>Pelargonium</i> species	Ivy Geranium
<i>Pyracantha</i> hybrid 'Ruby Mount'	Firethorn species
<i>Pyracantha</i> hybrids 'Apache'	Firethorn species
<i>Pyracantha</i> hybrids 'Tiny Tim'	Firethorn species
<i>Rosmarinus officinalis</i> 'Prostratus'	Prostrate Rosemary
<i>Sarcococca hookerana</i> humilis	Sweet Box
<i>Satureja douglasii</i>	Yerba Buena

**TABLE 8: GROUNDCOVER (CONTINUED)**

<b>GROUNDCOVER</b>	
<i>Stachys byzantina</i>	Lamb's Ear
<i>Stachys coccinea*</i>	Texas Betony
<i>Symphoricarpu s mollis</i>	Snow Berry
<i>Teucrium cossonei</i>	Majorcan Germander
<i>Thymus praecox</i>	Mother-of-Thyme
<i>Thymus vulgaris</i>	Common Thyme
<i>Trachelospermum asiaticum</i>	Asiatic jasmine
<i>Trachelospermum jasminoides</i>	Star jasmine
<i>Tradescantia pallida</i>	Purple Heart Plant
<i>Verbena gooddingii</i>	Goodding Verbena
<i>Verbena lilacina</i>	Lilac Verbena
<i>Verbena peruviana</i>	Peruvian Verbena
<i>Verbena rigida</i>	Sandpaper Verbena
<i>Verbena tenuisecta</i>	Moss Verbena
<i>Wedelia trilobata</i>	Wedelia
<i>Zauschneria californica</i>	California Fuschia

**TABLE 9: VINES/ TURF/ NON-ALLOWED PLANTS**

<b>VINES</b>	
<i>Antigonon leptopus</i>	Queens Wreath
<i>Bougainvillea</i> species	Bougainvillea
<i>Campsis radicans</i>	Common Trumpet Creeper
<i>Cissus incise</i>	Texas Grape Ivy
<i>Cissus trifoliata</i>	Native Grape Ivy
<i>Clematis armandii</i>	Evergreen Clematis
<i>Clematis texensis*</i>	Scarlet Clematis
<i>Distictis buccinatoria</i>	Blood Red Trumpet Vine
<i>Ficus pumila</i>	Creeping Fig
<i>Gelsemium sempervirens</i>	Cariolina Jasmine
<i>Hardenbergia violacea</i>	Lilac Vine
<i>Hedera canariensis</i>	Algerian Ivy
<i>Hedera helix</i>	English Ivy
<i>Lonicera hildebrandiana</i>	Giant Burmese Honeysuckle
<i>Lonicera japonica</i>	Japanese Honeysuckle
<i>Lonicera sempervirens</i>	Trumpet Honeysuckle
<i>Macfadyena unguis-cati</i>	Cat's Claw Vine
<i>Mandevilla hybrida</i>	Mandevilla
<i>Mascagnia lilacina</i>	Lavender Orchid Vine
<i>Mascagnia macroptera</i>	Yellow Orchid Vine
<i>Merremia aurea</i>	Yellow Morning Glory
<i>Pandorea jasminoides</i>	Bower Vine
<i>Parthenocissus quinquefolia</i>	Virginia Creeper
<i>Parthenocissus tricuspidata</i>	Boston Ivy
<i>Podranea ricasoliana</i>	Pink Trumpet Vine
<i>Polygonum aubertii</i>	Silver Lace Vine
<i>Rosa banksiae</i>	Lady Bank's Rose
<i>Vigna caracalla</i>	Snail Vine
<i>Vitis californica</i>	Vitis californica
<i>Vitis girdiana</i>	Desert Grape
<i>Wisteria floribunda</i>	Japanese Wisteria
<i>Wisteria sinensis</i>	Chinese Wisteria
<b>TURF</b>	
<i>Cynodon dactylon</i> 'Santa Ana'	Santa Ana Bermuda
<i>Cynodon dactylon</i> 'Tifdwarf'	Tifdwarf Bermuda
<i>Cynodon dactylon</i> 'Tifgreen'	Tifgreen Bermuda

**TABLE 9: VINES/ TURF/ NON-ALLOWED PLANTS (CONTINUED)**

<b>TURF</b>	
Cynodon dactylon 'Tifway'	Tifway Bermuda
Cynodon dactylon 'U-3'	U-3 Bermuda
Cynodon dactylon 'GN-1'	GN-1 Bermuda
Festuca arundinacea	Tall Fescue
Stenotaphrum secundatum	St. Augustine
Zoysia 'Victoria'	Victoria Zoysiagrass
Buchloe dactyloides	UC Verde Buffalograss
<b>PLANTS NOT ALLOWED IN RIVERSIDE COUNTY</b>	
Lobularia maritime	Sweet Alyssum
Oenothera speciosa	Mexican Evening Primrose
Pennisetum spp.	Fountain Grass
<b>PLANTS NOT ALLOWED IN COACHELLA VALLEY MSHCP</b>	
Acacia spp.	Acacia (all species except native cat claw)
Arundo donax	Giant Reed or Arundo Grass
Atriplex semibaccata	Australian Saltbush
Avena barbata	Slender Wild Oat
Avena fatua	Wild Oat
Brassica Tournefortii	African or Saharan Mustard
Bromus madritensis ssp. Rubens	Red Brome
Bromus tectorum	Cheat Grass or Downy Brome
Cordaderia jubata [syn. C. atacamensis]	Jubata Grass or Andean Pampas Grass
Cortaderia dioica [syn. C. selloana]	Pampas Grass
Descurainia Sophia	Tansy Mustard
Eichhornia crassipes	Water Hyacinth
Elaegnus angustifolia	Russian Olive
Foeniculum vulgare	Sweet Fennel
Hirschfeldia incana	Mediterranean or Short-pod Mustard
Lepidium latifolium	Perennial Pepperweed
Lilium multiflorum	Italian Ryegrass
Nerium oleander	Oleander
Nicotiana glauca	Tree Tobacco
Oenothera berlandieri	Mexican Evening Primrose
Olea europaea	European Olive Tree
Parkinsonia aculeate	Mexican Palo Verde

**TABLE 9: VINES/ TURF/ NON-ALLOWED PLANTS (CONTINUED)**

<b>PLANTS NOT ALLOWED IN COACHELLA VALLEY MSHCP</b>	
<i>Pennisetum clandestinum</i>	Kikuyu Grass
<i>Pennisetum setaceum</i>	Fountain Grass
<i>Phoenix canariensis</i>	Canary Island Date Palm
<i>Phoenix dactylifera</i>	Date Palm
<i>Ricinus communis</i>	Castorbean
<i>Salsola tragus</i>	Russian Thistle
<i>Schinus molle</i>	Peruvian Pepper Tree or California Pepper
<i>Schinus terebinthifolius</i>	Brazilian pepper Tree
<i>Schismus arabicus</i>	Mediterranean Grass
<i>Schismus barbatus</i>	Saharan Grass, Abu Mashi
<i>Stipa capensis</i>	No common name
<i>Tamarix</i> spp. (all species)	Tamarisk or Salt Cedar
<i>Taeniatherum caput-medusae</i>	Medusa-Head
<i>Tribulus terrestris</i>	Puncturevine
<i>Vinca major</i>	Periwinkle
<i>Washingtonia robusta</i>	Mexican Fan Palm
<i>Yucca gloriosa</i>	Spanish Dagger
<i>Phoenix dactylifera</i>	Date Palm
<i>Phoenix roebelinii</i>	Pigmy Palm
<i>Citrus</i> spp.	Orange, Lemon, etc.
<b>PLANTS NOT ALLOWED IN THE VINYARD AREAS</b>	
<i>Aleurites fordii</i>	Tung
<i>Althaea</i> spp.	Hollyhock
<i>Amaranthus hybridus. A. spinosus</i>	Pigweed
<i>Ambrosia</i> spp.	Ragweed
<i>Arbutus unedo</i>	Strawberry Tree
<i>Asclepias</i> spp.	Milkweed
<i>Asparagus officinalis</i>	Asparagus
<i>Bauhinia purpurea</i>	Orchid Tree
<i>Betula</i> spp.	Birch
<i>Bougainvillea</i> spp.	Bougainvillea
<i>Buxus</i> spp.	Boxwood
<i>Camellia Japonica</i>	Camellia
<i>Campsis radicans</i>	Trumpet Creeper
<i>Cassia occidentalis. C. tora</i>	Coffeeweed

**TABLE 9: VINES/ TURF/ NON-ALLOWED PLANTS (CONTINUED)**

<b>PLANTS NOT ALLOWED IN THE VINYARD AREAS</b>	
Catalpa bignonioides	Catalpa
Ceratonia spp.	Carob
Cercis spp.	Redbud
Chenopodium spp.	Lambsquarter
Cinnamomum camphora	Camphor tree
Citrus spp.	Citrus
Cotoneaster spp.	Cotoneaster
Cupaniopsis anacardioides	Carrotwood
Elaeagnus spp.	Elaeagnus
Engeron Canadensis	Horseweed
Eriobotrya japonica	Loquat
Erythrina caffra	Coral Tree
Escallonia spp.	Escallonia
Eucalyptus spp.	Eucalyptus
Euonymus spp.	Euonymus
Eupatorium capillifolium	Dogfennel
Eupatorium perfoliatum	Boneset
Ficus spp.	Fig
Fraxinus spp.	Ash
Gelsemium sempervirens	Trumpet Flower
Ginkgo biloba	Maidenhair Tree
Gossypium spp.	Cotton
Hardenbergia spp.	Hardenbergia
Helianthus spp.	Sunflower
Hibiscus spp.	Okra
Hibiscus spp.	Hibiscus
Ilex spp.	Holly
Ilex vomitoria	Yaupon
Jasminum mesnyi	Japanese jasmine
Juglans spp.	Walnut
Lactuca Canadensis	Lettuce, wild
Lagerstroemia spp.	Crape Myrtle
Ligustrum spp.	Privet
Liquidambar styraciflua	Sweetgum
Macadamia spp.	Macadamia
Magnolia spp.	Magnolia

**TABLE 9: VINES/ TURF/ NON-ALLOWED PLANTS (CONTINUED)**

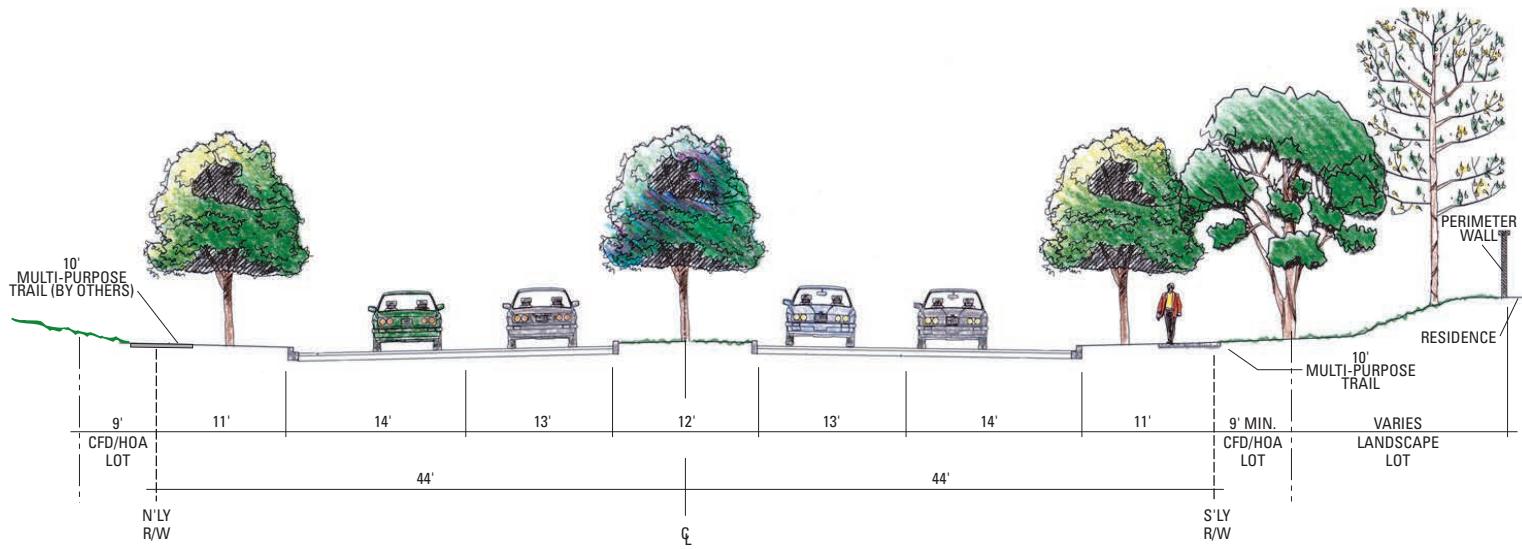
<b>PLANTS NOT ALLOWED IN THE VINYARD AREAS</b>	
<i>Malus sylvestris</i>	Apple
<i>Malva spp.</i>	Mallow
<i>Melaleuca spp.</i>	Bottlebrush
<i>Melia azedarach</i>	Chinaberry
<i>Monarda fistulosa</i>	Wild Bergamot
<i>Myoporum spp.</i>	Myoporum
<i>Nandina domestica</i>	Heavenly Bamboo
<i>Nerium spp.</i>	Oleander
<i>Nicotiana spp.</i>	Tree Tobacco
<i>Nyssa sylvatica</i>	Blackgum
<i>Oenothera laciiniata</i>	Evening-Primrose
<i>Persea spp.</i>	Avocado
<i>Philodendron spp.</i>	Philodendron
<i>Photinia spp.</i>	Photinia
<i>Pinus spp.</i>	Pine
<i>Pittosporum spp.</i>	Pittosporum
<i>Platanus spp.</i>	Sycamore
<i>Phytolacca Americana</i>	Pokeweed
<i>Podocarpus spp.</i>	Podocarpus
<i>Prunus angustifolia</i>	Plum, Chicksaw
<i>Prunus anygdalus</i>	Almond
<i>Prunus armeniaca</i>	Apricot
<i>Prunus avium</i>	Cherry
<i>Prunus caroliniana</i>	Cherry Laurel
<i>Prunus persica</i>	Peach
<i>Prunus spp.</i>	Plum, cultivated
<i>Pyracantha coccinea</i>	Pyracantha/ Firethorn
<i>Pyrus communis</i>	Pear
<i>Quercus spp.</i>	Oak
<i>Rhus spp.</i>	Sumac/ Laurel Sumac
<i>Rubus spp.</i>	Blackberry
<i>Rudbeckia laciniata</i>	Goldenglow
<i>Sambucus spp.</i>	Elderberry
<i>Sassafras albidum</i>	Sassafras
<i>Schefflera spp.</i>	Umbrella Tree
<i>Solidago spp.</i>	Goldenrod

**TABLE 9: VINES/ TURF/ NON-ALLOWED PLANTS (CONTINUED)**

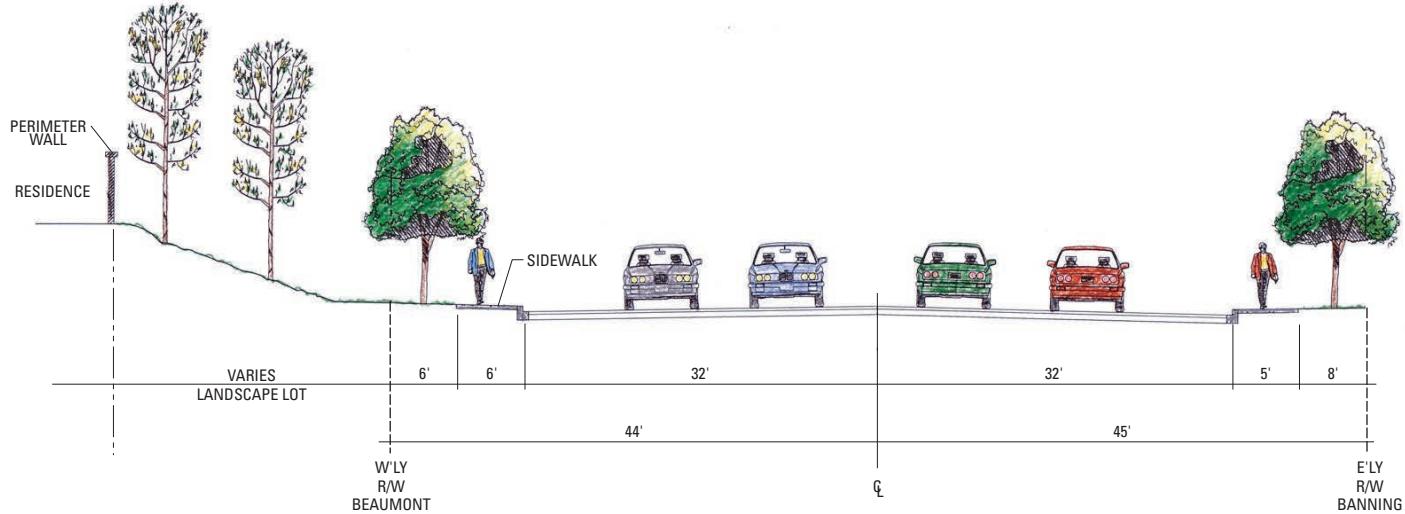
<b>PLANTS NOT ALLOWED IN THE VINYARD AREAS</b>	
Sonchus oleraceus	Sowthistle
Sorghum halepense	Johnsongrass
Thuja spp.	Arborvitae
Tristania laurina	Tristania
Tupidanthus calypratus	Tupidanthus
Viburnum spp.	Viburnum
Vigna sinensis	Cowpea
Vitis spp.	Grape
Xanthium spp.	Cocklebur
Yucca aloifolia	Yucca
Zea mays	Corn

## 2. Main Arterial Access

The main vehicular flow of traffic for the Four Seasons Community should come from Highland Springs Avenue and Potrero Boulevard. Along these roadways, the landscaping will accent and enhance the project perimeter walls, as well as accommodate pedestrian, bike and vehicular traffic. (See Exhibit 15, *Arterial Streets Landscape Concept Sections*, for examples of landscape concepts for Highland Springs Avenue and Potrero Boulevard).



**POTRERO BOULEVARD**  
88' RIGHT OF WAY (PUBLIC)  
NOT TO SCALE



**HIGHLAND SPRINGS AVENUE**  
89' RIGHT OF WAY (PUBLIC)  
NOT TO SCALE

SOURCE: FORMA

K Hovnanian's  
Four Seasons at Beaumont

## ARTERIAL STREETS LANDSCAPE CONCEPT SECTIONS

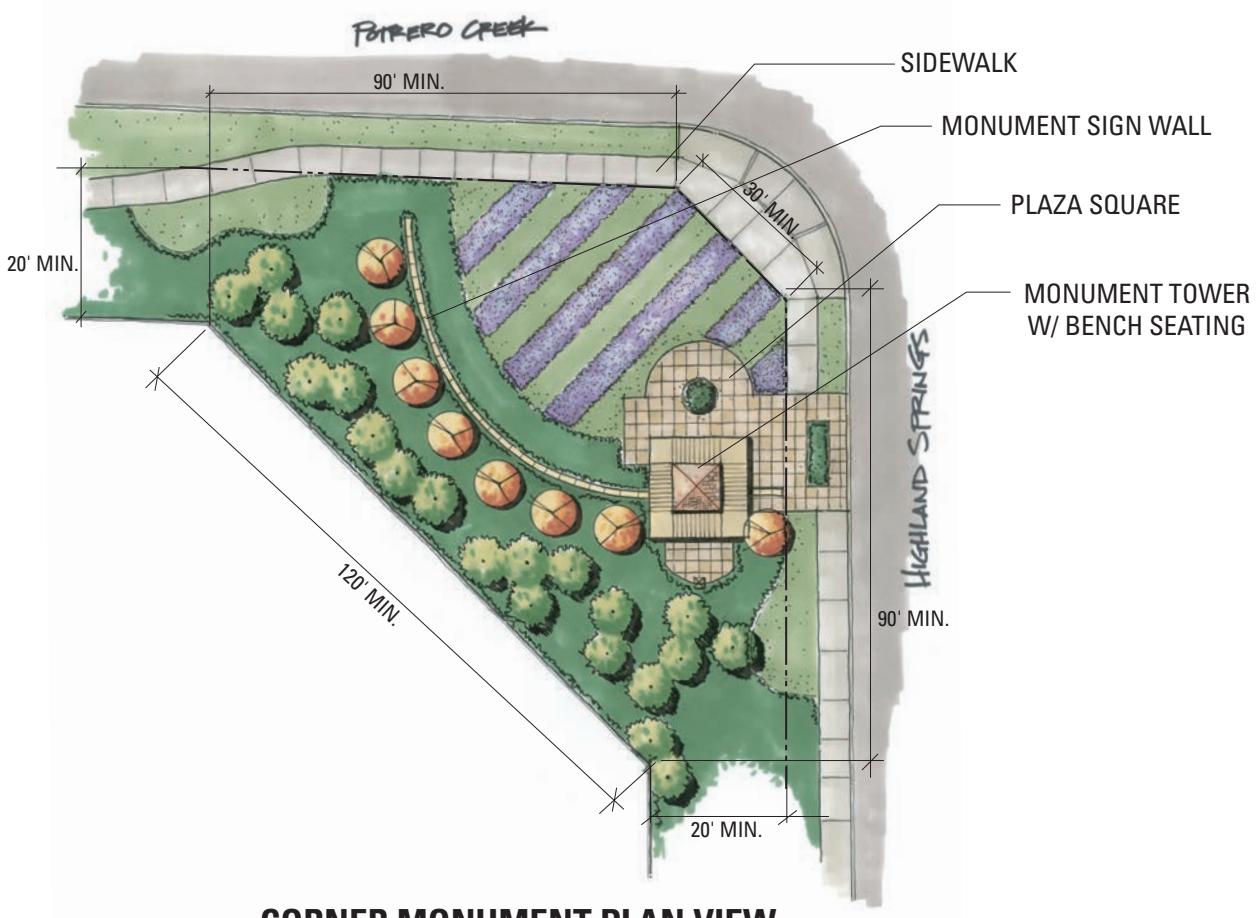
### **3. Community Entries and Monumentation**

- a. A main community identification monument, including landscaping and Four Seasons community signage, is planned for the project corner at Highland Springs Avenue and Potrero Boulevard. Primary community entries will be located on Potrero Boulevard and Highland Springs Avenue. The primary entries are to include further enhanced landscaping, monumentation, architectural features, and community identification signage. A secondary community entry is to be located further south on Highland Springs Avenue. This secondary entry will also include enhanced landscaping, possible monumentation and community identification signage. (See Exhibit 16, *Community Entries*, for a location map of these entries.) (See Exhibits 17 and 18a-f for landscape concept plans and elevations for these entries).

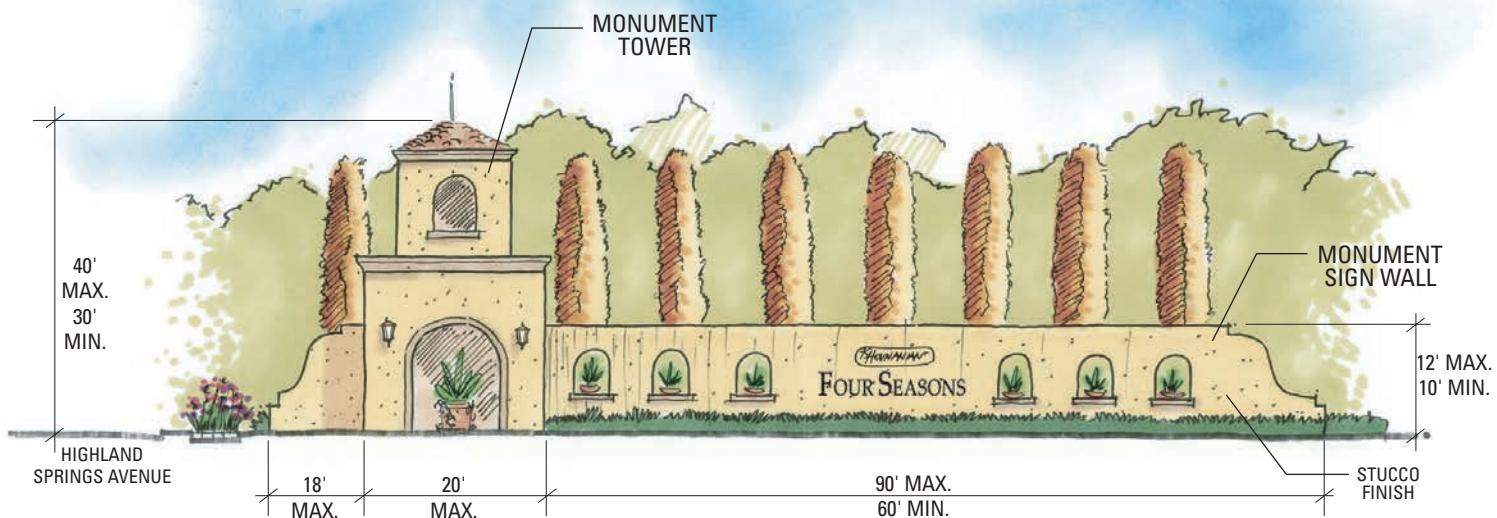
### **4. Project Entry Streets**

- a. The project entry streets connect the primary and secondary entries off of Highland Springs Avenue and Potrero Boulevard with the loop street in the project interior. All of the Project Entry streets will include entry gate complexes. The entry street gate complexes located off primary entries will include guard structures. The secondary entry gate will have no facilities for a guard. The right-of-way for these streets should vary between 66 feet and 90 feet depending on whether a landscaped median is included and the width of landscaped parkways. Additional right-of-way will be provided at the gate complexes for gate facilities, passing lanes, and turn arounds. Each project entry street will have a 22 feet paved half street width which includes a travel lane and additional width for bike lanes. Minimum 11 foot landscaped parkways are to be provided on each side of the street. Additional parkway width and/ or additional landscaping area on either side of the street is encouraged. A 6 feet wide sidewalk will also be provided on at least one side of the street. Landscaped raised medians at 14 feet in width will be included in some of the project entry streets. (See Exhibits 19a-d, for project entry street landscape concept and Exhibit 20, *Project Entry Street Landscape Concept*).
- b. Tall, vertical trees similar to those planted at the entries should line both sides of the street in the parkway areas, as well as in the median. Landscape easements typically located between the pedestrian walkway and project perimeter walls may contain a layering of plant materials including small trees, shrubs and ground cover that will add color and reflect seasonal changes.





**CORNER MONUMENT PLAN VIEW**



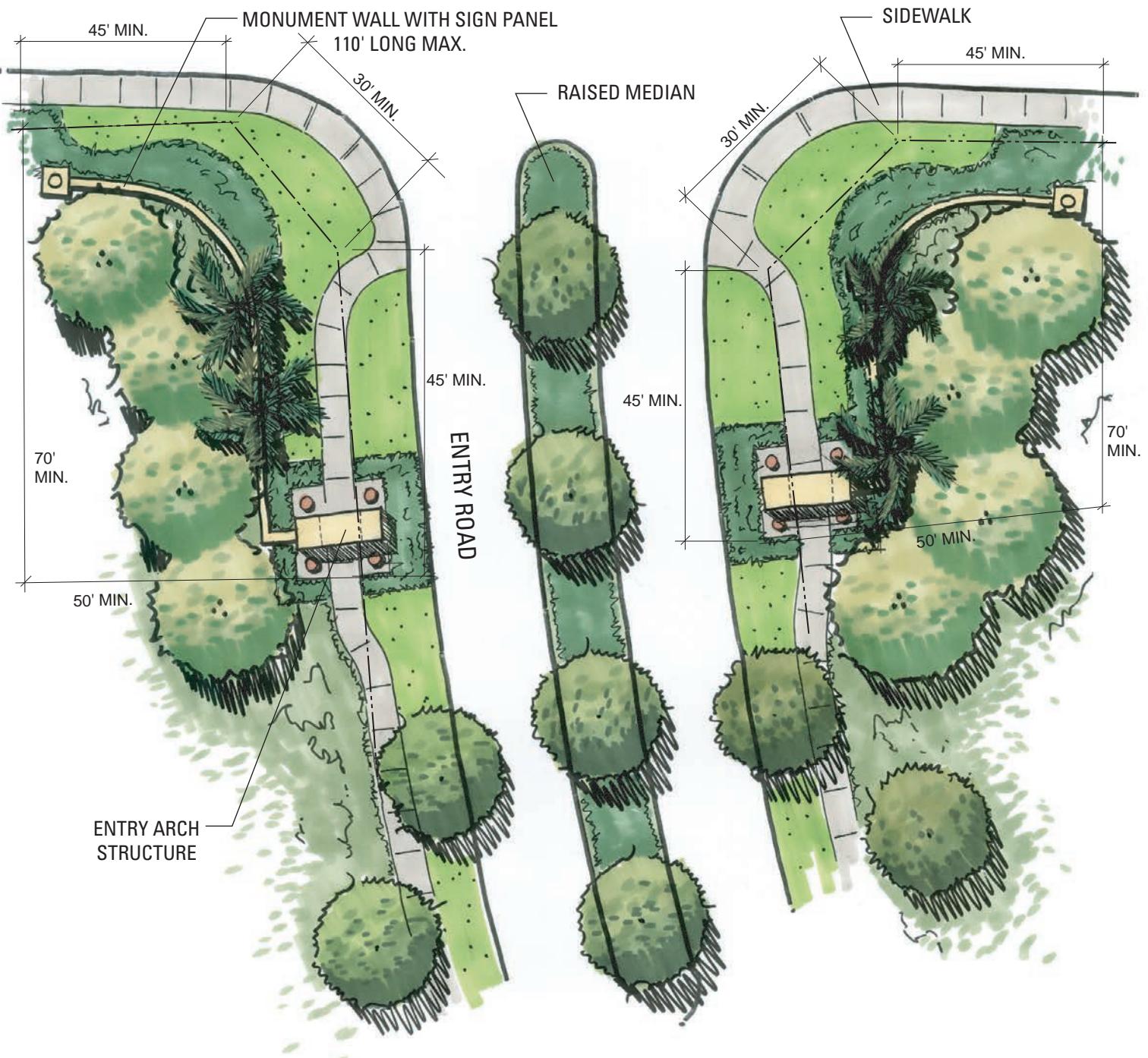
**CORNER MONUMENT ELEVATION**

K Hovnanian's  
Four Seasons at Beaumont

SOURCE: FORMA

## MAIN COMMUNITY MONUMENT LANDSCAPE CONCEPT PLAN

## POTRERO BOULEVARD

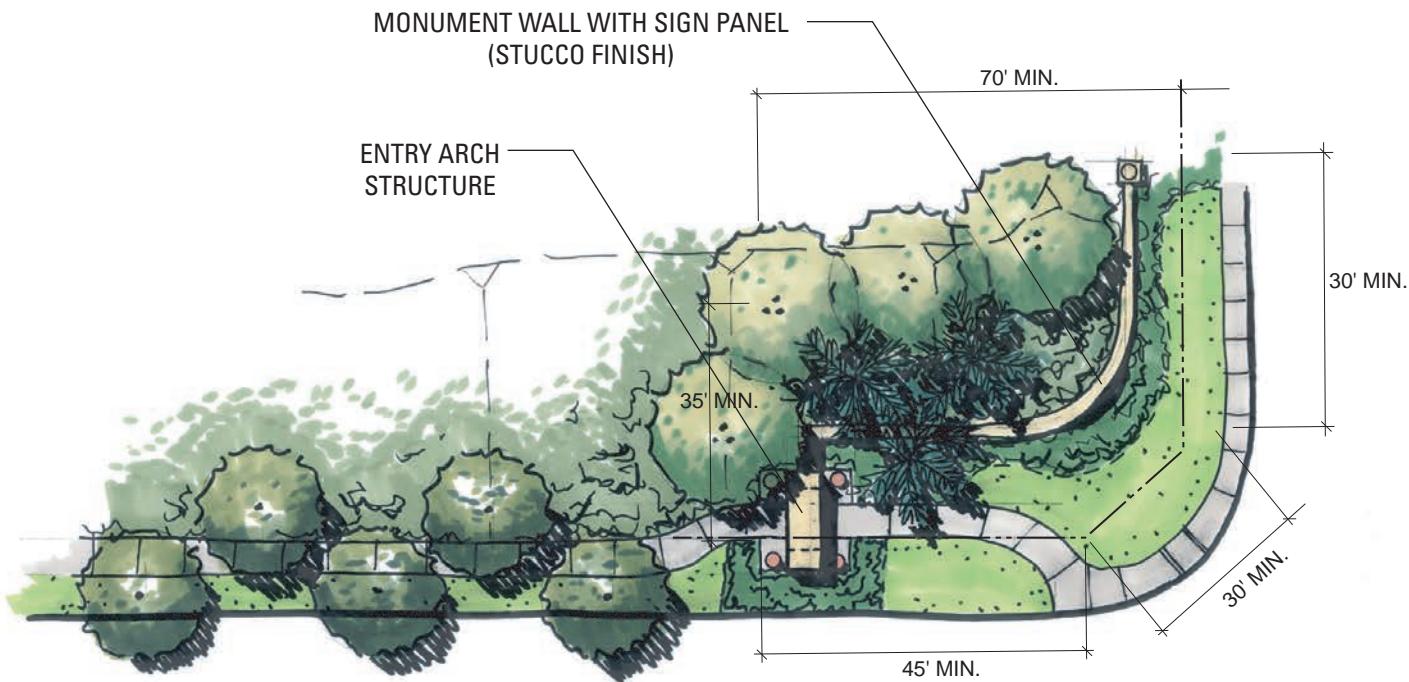


## POTRERO BOULEVARD ENTRY

SOURCE: FORMA

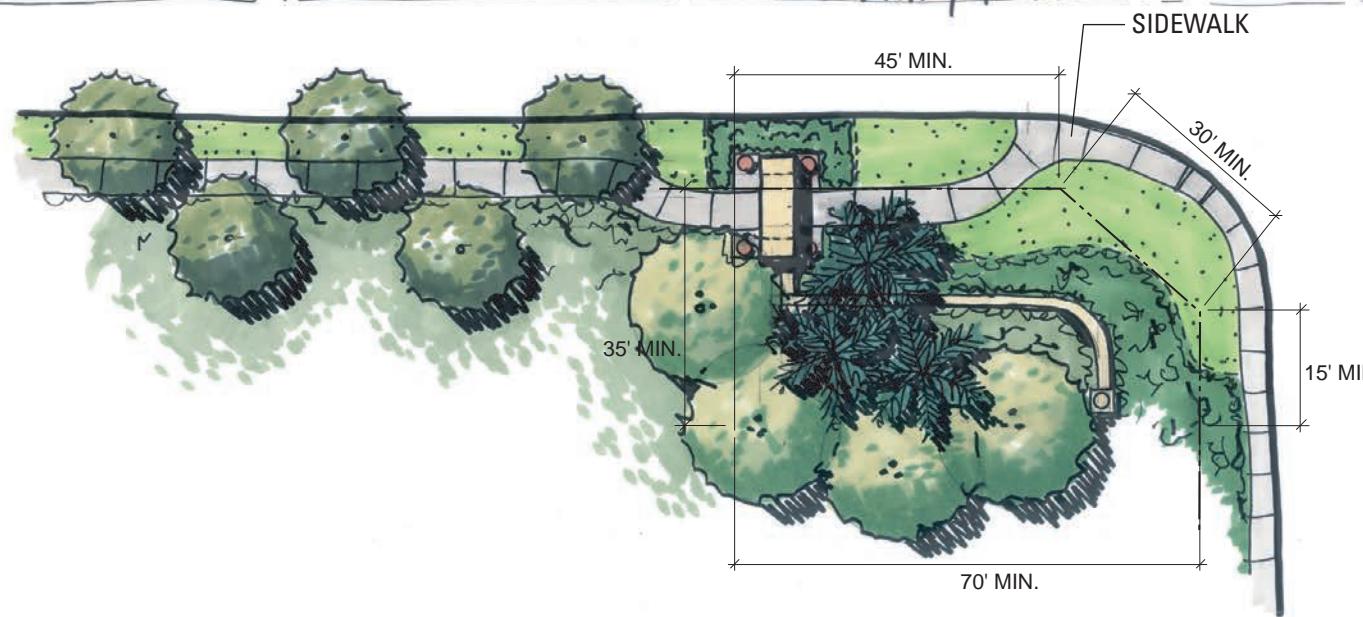
K Hovnanian's  
Four Seasons at Beaumont

## COMMUNITY ENTRY LANDSCAPE CONCEPT PLAN



ENTRY ROAD

HIGHLAND SPRINGS AVENUE



## HIGHLAND SPRINGS AVENUE PRIMARY ENTRY

SOURCE: FORMA

K Hovnanian's  
Four Seasons at Beaumont

## COMMUNITY ENTRY LANDSCAPE CONCEPT PLAN

HIGHLAND SPRINGS AVENUE

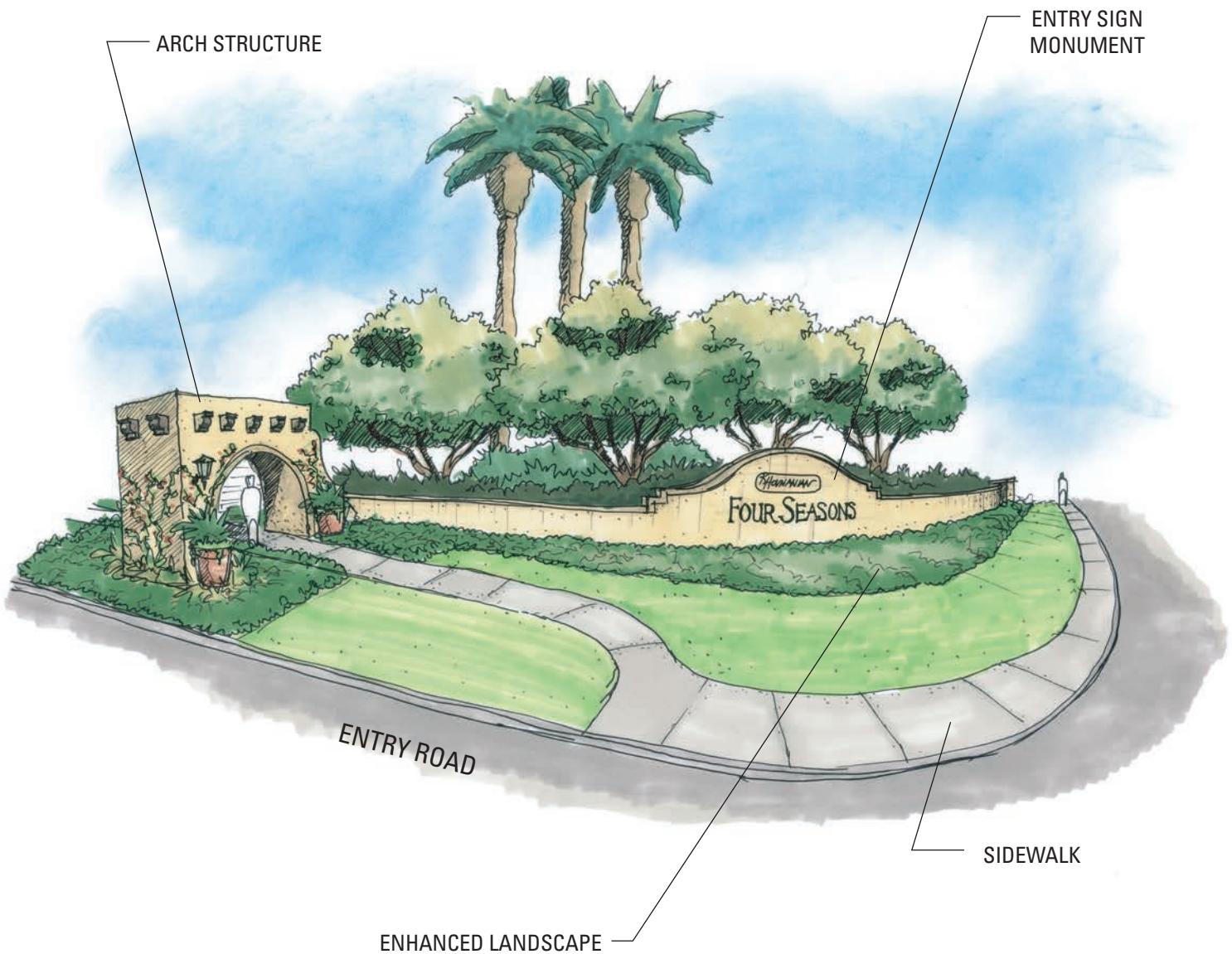


**HIGHLAND SPRINGS AVENUE SECONDARY ENTRY**

K Hovnanian's  
Four Seasons at Beaumont

**COMMUNITY ENTRY  
LANDSCAPE CONCEPT PLAN**

SOURCE: FORMA

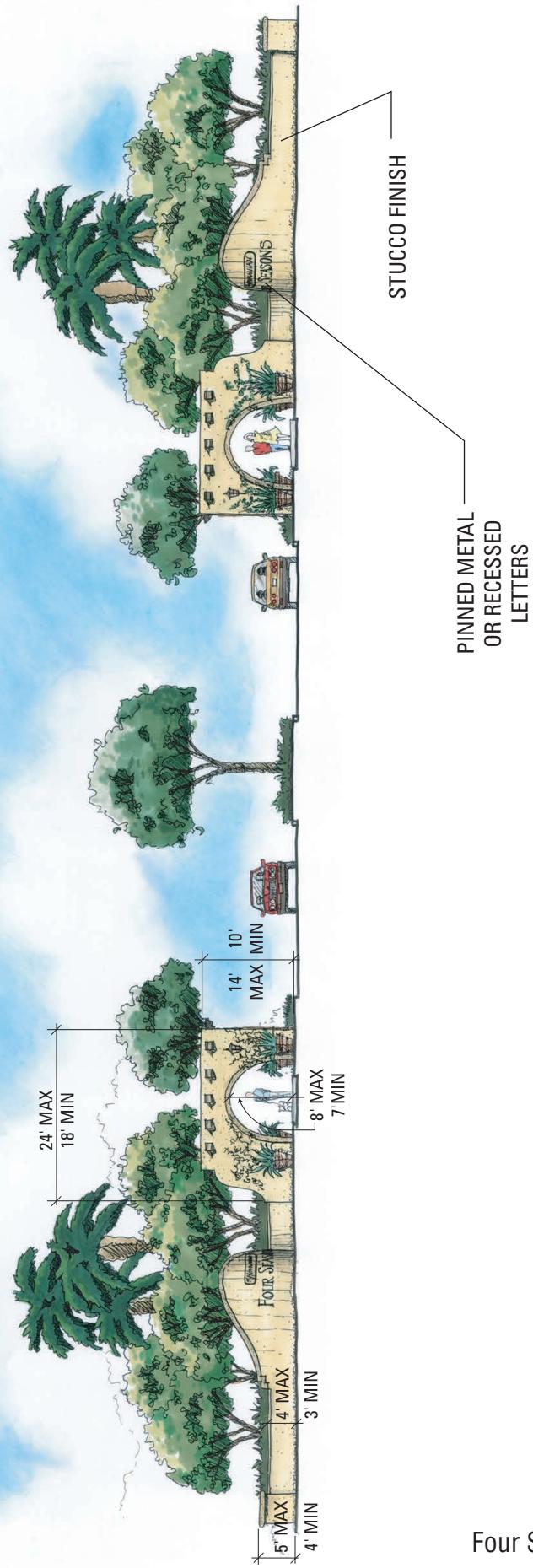


SOURCE: FORMA

K Hovnanian's  
Four Seasons at Beaumont

## COMMUNITY ENTRY LANDSCAPE CONCEPT PLAN - TYPICAL

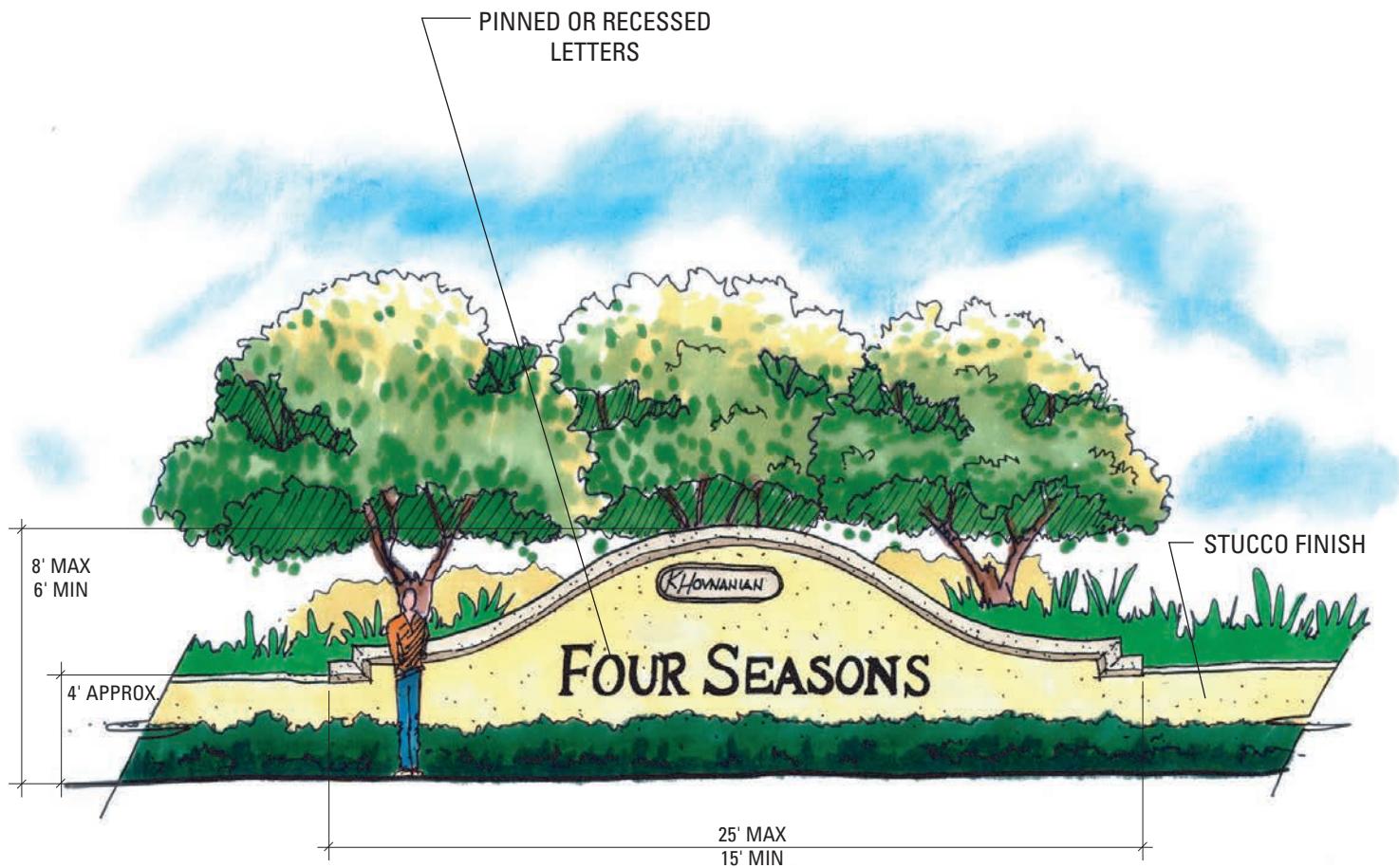
SOURCE: FORMA



K Hovnanian's  
Four Seasons at Beaumont

## COMMUNITY ENTRY CONCEPT PLAN - TYPICAL

Exhibit 18e



SOURCE: FORMA

K Hovnanian's  
Four Seasons at Beaumont

## COMMUNITY ENTRY CONCEPT SIGNAGE PLAN - TYPICAL

POTRERO BOULEVARD



PRIMARY ENTRY CONCEPT FROM POTRERO BOULEVARD

SOURCE: FORMA

K Hovnanian's  
Four Seasons at Beaumont



PRIMARY ENTRY CONCEPT FROM HIGHLAND SPRINGS AVENUE

SOURCE: FORMA

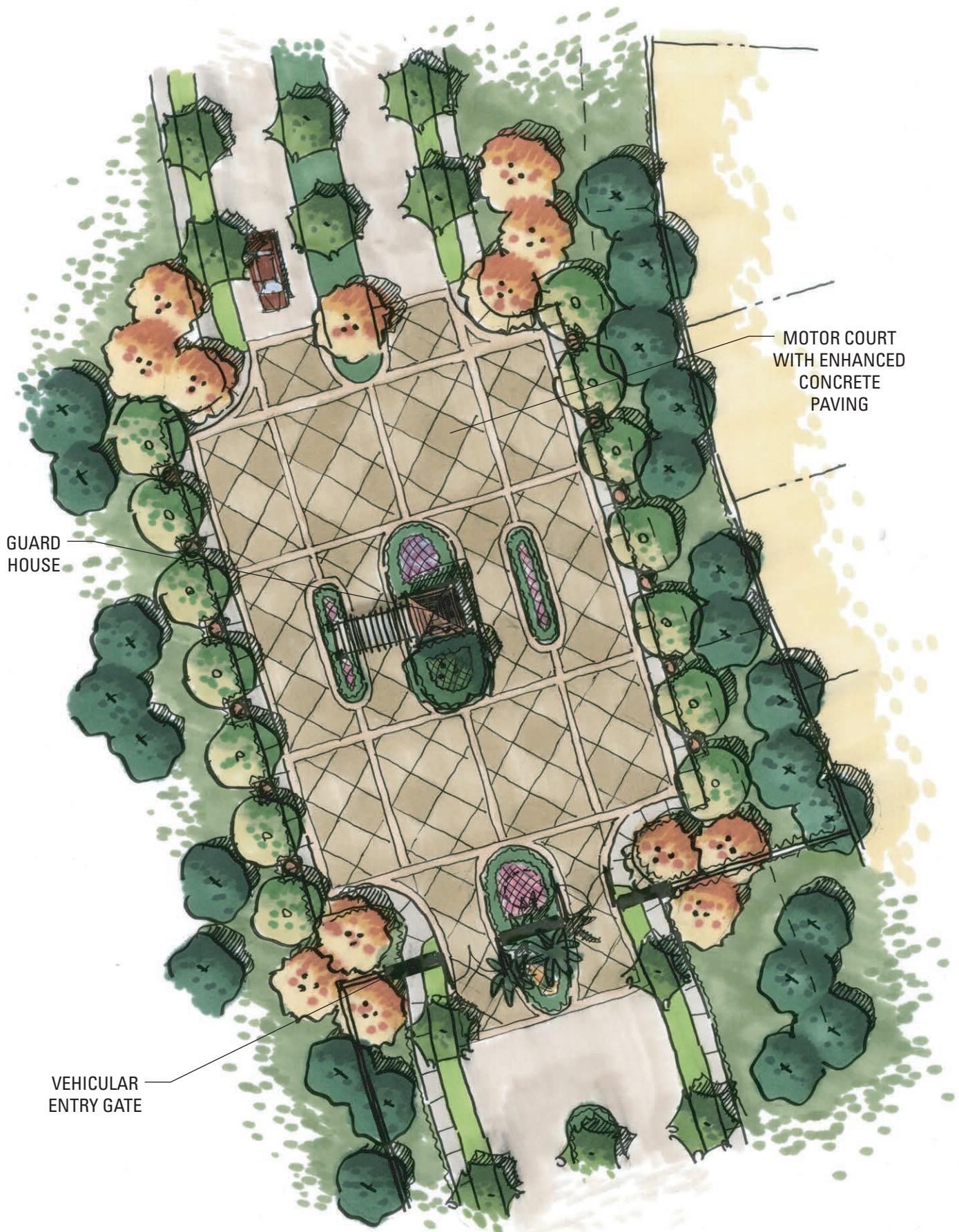
K Hovnanian's  
Four Seasons at Beaumont



SECONDARY ENTRY CONCEPT FROM HIGHLAND SPRINGS AVENUE

SOURCE: FORMA

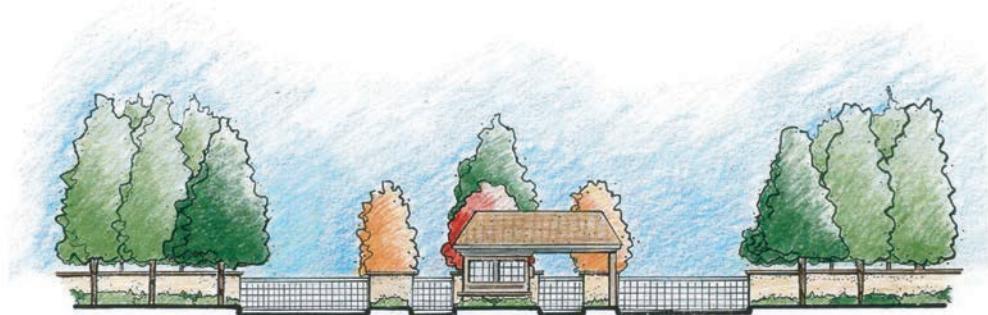
K Hovnanian's  
Four Seasons at Beaumont



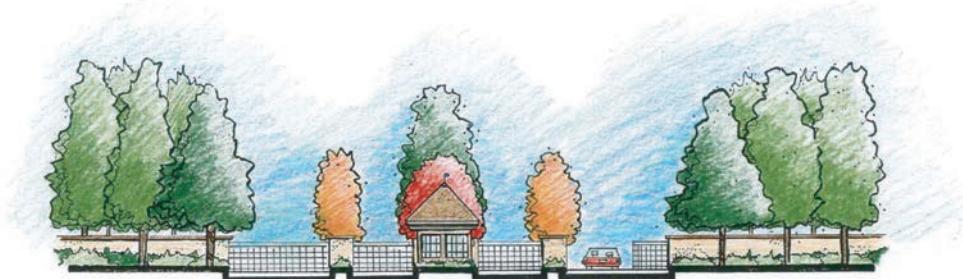
SOURCE: FORMA

K Hovnanian's  
Four Seasons at Beaumont

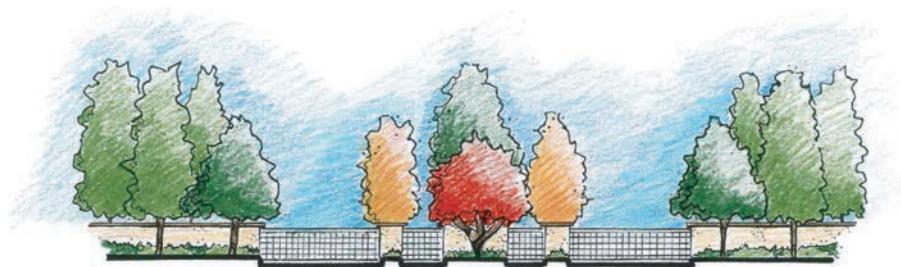
## PROJECT ENTRY STREET CONCEPT TYPICAL GATE AREA



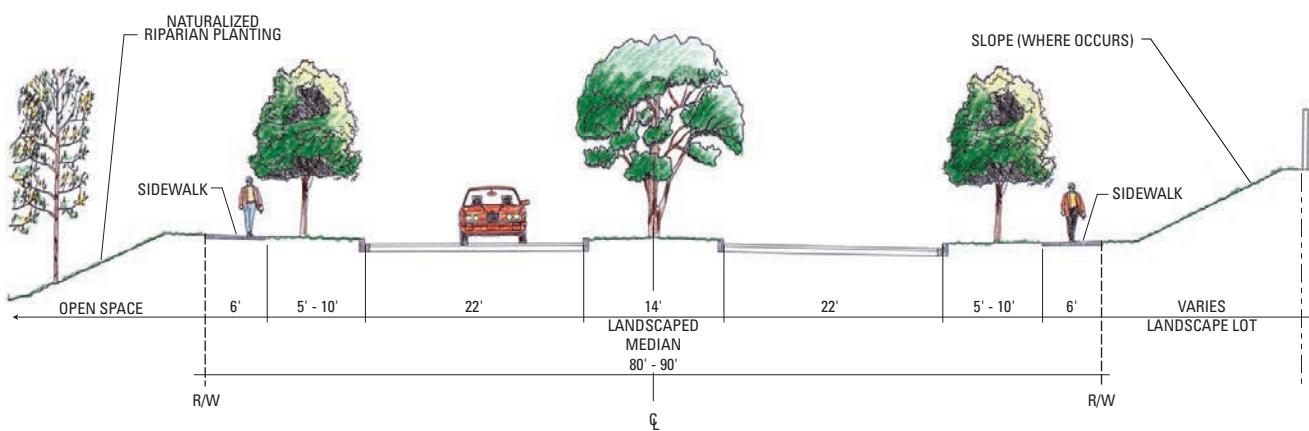
ENTRY STREET GATE OFF OF POTRERO BLVD.



NORTHERLY ENTRY STREET GATE OFF OF HIGHLAND SPRINGS AVE.



SOUTHERLY ENTRY STREET GATE OFF OF HIGHLAND SPRINGS AVE.



TYPICAL PROJECT ENTRY STREET LANDSCAPE CROSS SECTION WITH MEDIAN

SOURCE: FORMA

K Hovnanian's  
Four Seasons at Beaumont

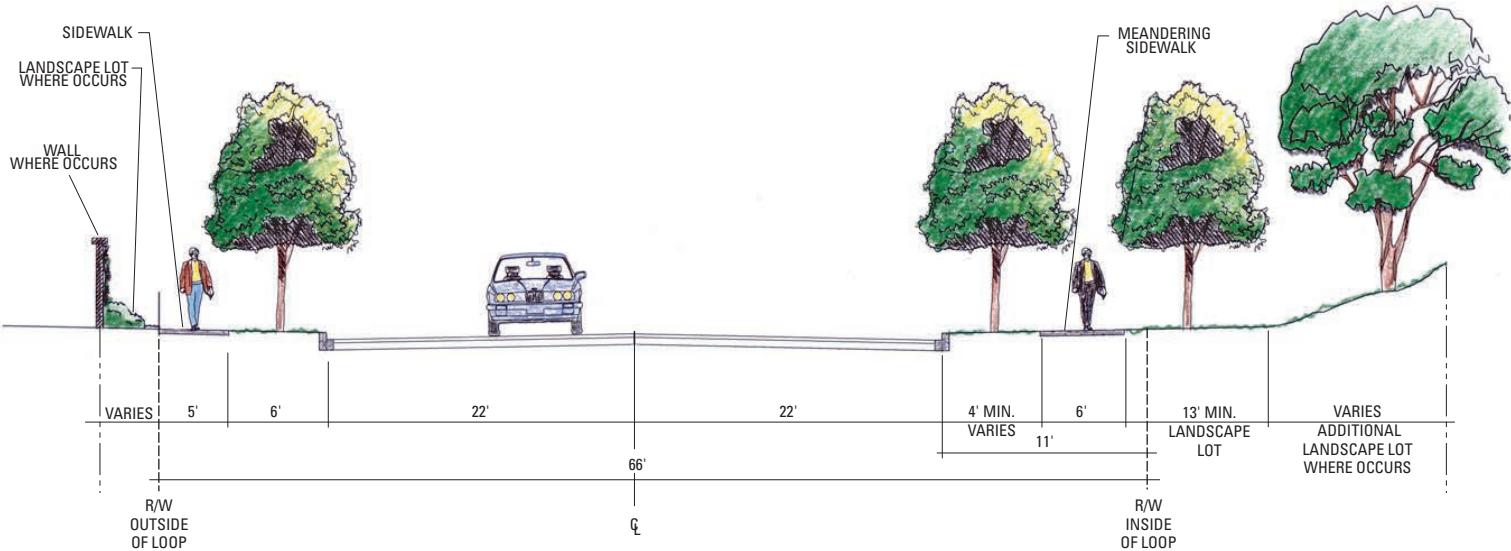
## PROJECT ENTRY STREETS LANDSCAPE CONCEPTS

## **5. Loop Street**

This street provides a collector street that makes a loop through the project area, connecting with the Project Entry streets and Local Streets into individual Planning Areas. The minimum right-of-way width for this street is 66 feet. A minimum 11 feet wide landscaped parkway will be provided on the outside of the Loop Street. This parkway will include a 5 feet wide sidewalk. Additional landscaped area or parkway right-of-way will be provided on this side of the street where possible. A minimum 24 feet wide parkway or landscaped area will be provided on the inside of the Loop Street (11' within right-of-way, 13' outside of right-of-way). This parkway/ landscaped area will include a 6 feet wide meandering sidewalk. Additional landscaped area will be provided on this side of the street where possible. (See Exhibit 21a-c, for loop street landscape concept).

## **6. Loop Street Roundabouts**

Roundabouts are proposed within the Loop Street at intersections with the Project Entry Streets and at the entry of the Planning Area 16 Village Center. The roundabouts are proposed as both a traffic-calming feature and as enhanced landscaped focal point feature. The landscaped center of the roundabouts are proposed to be 110 feet in diameter. The travel lane widths (curb to curb) around the roundabouts are 28 feet. See Exhibits 19a-c, *Project Entry Street Landscape Concept Plans* for plan views of the roundabouts and see Exhibit 22, *Loop Street Roundabouts Landscape Concept Section*). Painted or raised median traffic diverters could be added to the approaches to the roundabouts to help guide traffic into the roundabouts.



**TYPICAL LOOP STREET**  
66' RIGHT OF WAY (PRIVATE)  
NOT TO SCALE

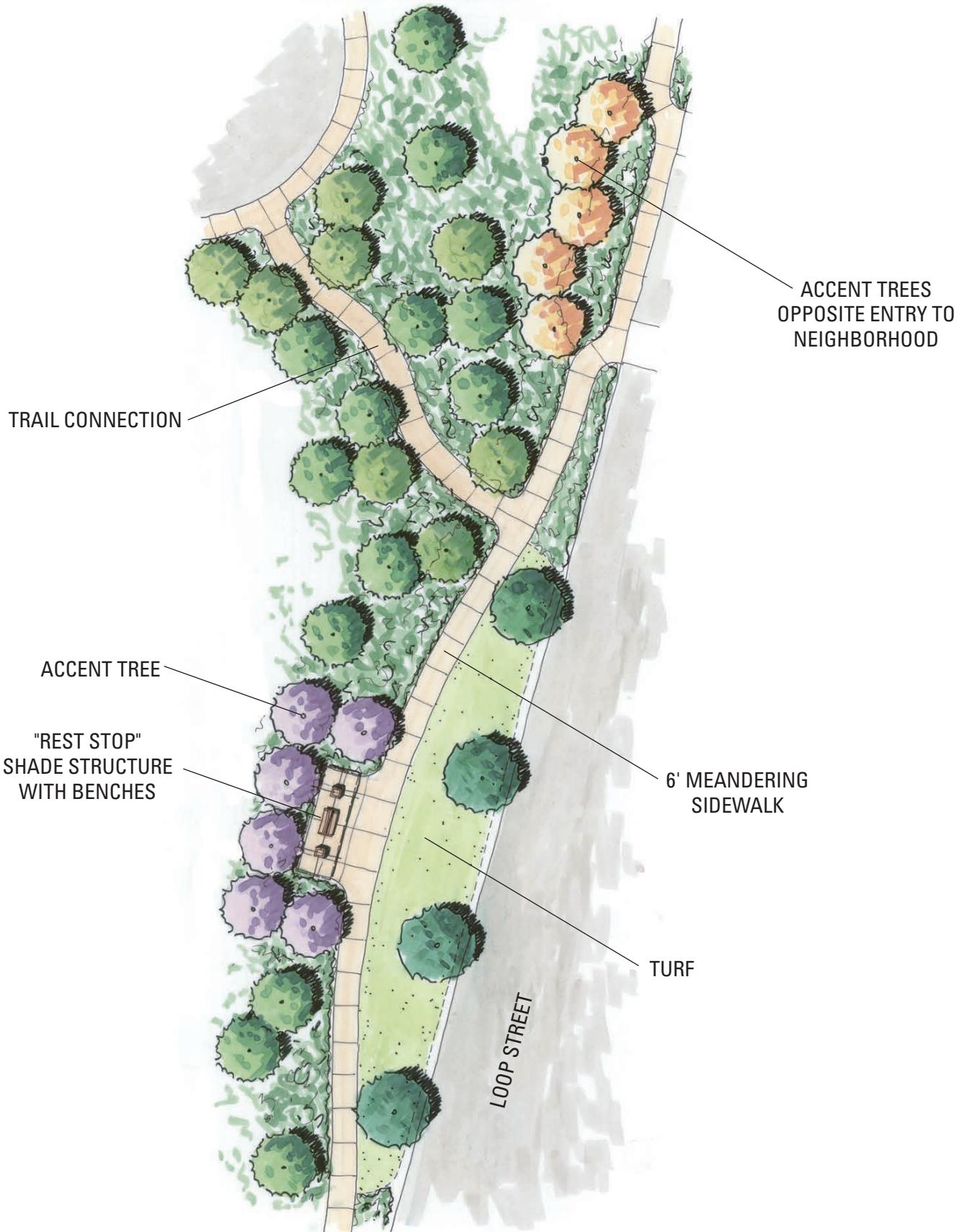


**LANDSCAPE CONCEPT PLAN**  
NOT TO SCALE

SOURCE: FORMA

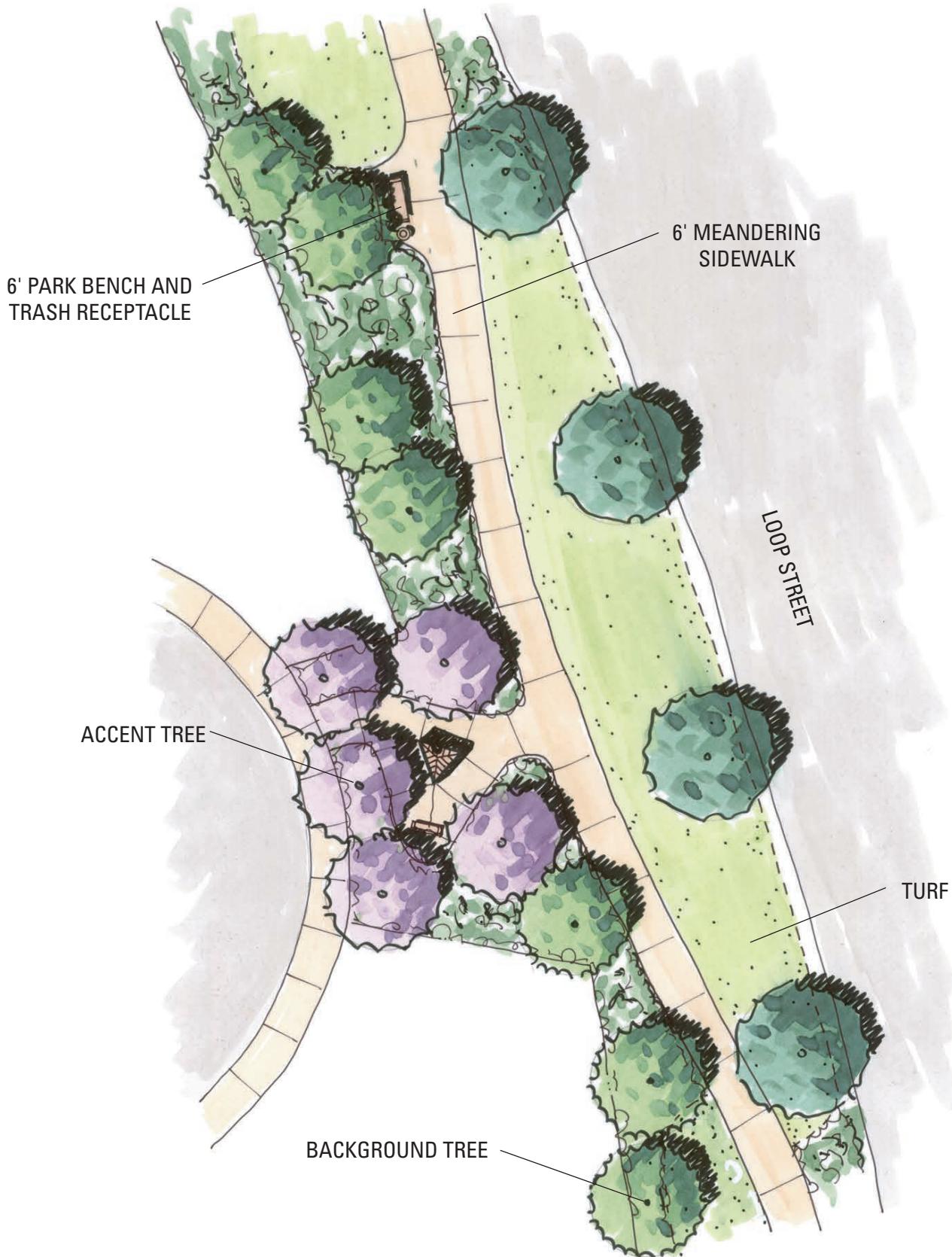
K Hovnanian's  
Four Seasons at Beaumont

**LOOP STREET**  
**LANDSCAPE CONCEPT PLAN/SECTION**



SOURCE: FORMA

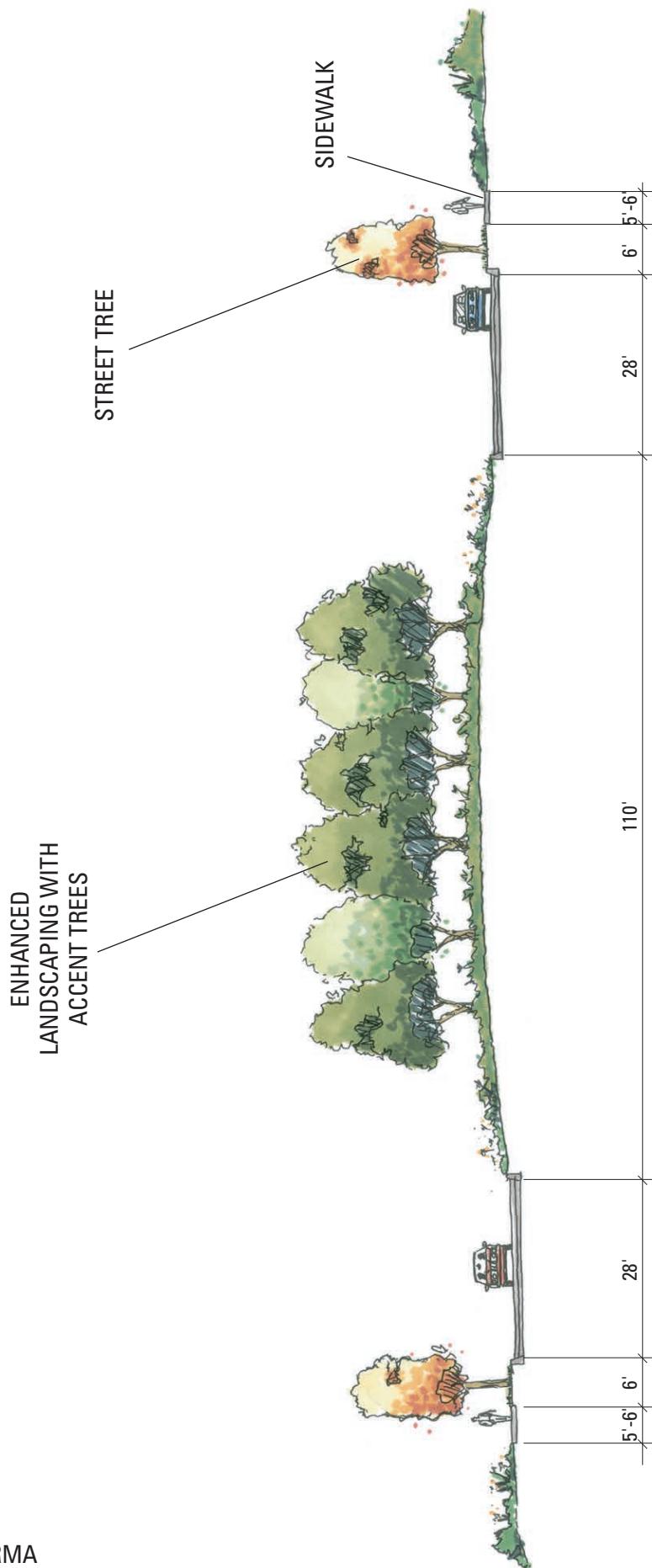
K Hovnanian's  
Four Seasons at Beaumont  
**LOOP STREET**  
**LANDSCAPE CONCEPT PLAN**



SOURCE: FORMA

K Hovnanian's  
Four Seasons at Beaumont

## LOOP STREET LANDSCAPE CONCEPT PLAN



SOURCE: FORMA

K Hovnanian's  
Four Seasons at Beaumont

## LOOP STREET ROUNDABOUTS LANDSCAPE CONCEPT SECTION

## 7. Village Centers

Within the Four Seasons Community there will be three (3) Village Centers (Planning Areas 9, 16 & 28). The proposed three village centers range in size from 2.4 to 10.4 acres, and are the centers for recreational and social activities within the neighborhood areas. The Village Centers will facilitate common recreational and social activities such as tennis, swimming, spa and fitness centers, assembly areas, bocce ball, horseshoes, shuffle board, billiards in the billiard room and computer labs. Also, the Village Centers will provide a social terrace with outdoor fireplace, picnic tables with BBQ grills, gazebos/arbors, putting greens, open lawn areas and parking for the local community. (See Exhibit 23a-c for landscape concept plans of the Village Centers).

The Village Centers shall incorporate the following design elements:

- a. Clearly delineated crosswalks should be provided to and from the Village Center and adjacent uses, where appropriate.
- b. Provide recreational/ park-like amenities as appropriate (i.e. seating, tables, drinking fountains, barbeques, lighting, shade structures, etc.).
- c. Landscaping should consider the use of drought resistant species and planted to conserve water and reduce irrigation needs. Creative use of reclaimed water or other water conserving strategies is encouraged.
- d. Use appropriate lighting in high use areas for safety purposes.
- f. Provide active recreational court or swimming facilities where appropriate (i.e., swimming, tennis, basketball or volleyball, etc.).



SOURCE: FORMA

K Hovnanian's  
Four Seasons at Beaumont

## MAIN VILLAGE CENTER (PA 9) LANDSCAPE CONCEPT PLAN



SOURCE: FORMA

K Hovnanian's  
Four Seasons at Beaumont



SOURCE: FORMA

K Hovnanian's  
Four Seasons at Beaumont

## VILLAGE CENTER WEST (PA 16) LANDSCAPE CONCEPT PLAN

## **8. Trail/ Riparian Corridor Open Space**

The Trail/ Riparian Corridor Open Spaces are intended to incorporate the following elements (See Exhibits 24 and 25):

- a. Preservation of existing natural water courses, enhanced with additional native riparian vegetation.
- b. Additional landscaping that will be compatible with a riparian area.
- c. Water features, added outside of the existing natural water courses, which may include ponds and running streams.
- d. A pedestrian trail system to allow for enjoyment of the preserved and enhanced natural environment in the corridors, and connecting the residential neighborhoods and Village Centers within the project area.
- e. Rest areas, including benches, picnic tables, shade structures and interpretive signage, should be placed along the trail system.
- f. Pedestrian bridges and other architectural features within the corridor shall adhere to rustic ranch theme, complimentary to the natural environment.
- g. Water quality basins are to be provided in the corridor areas that will allow for storm water runoff filtering and detention before being allowed to enter the natural water courses and Potrero Creek. The basins shall provide filtration of nuisance flow runoff. The basins shall be landscaped to be compatible with other corridor landscaping.

## **9. Neighborhood Local Streets**

- a. Neighborhood local streets should be tree-lined avenues and should continue the landscape theme into the residential neighborhoods. (See Exhibit 26 for a landscape concept typical section of the Local Streets).
- b. Parkways where there is no sidewalk will be planted by the developer/builder and will be maintained by Homeowners.

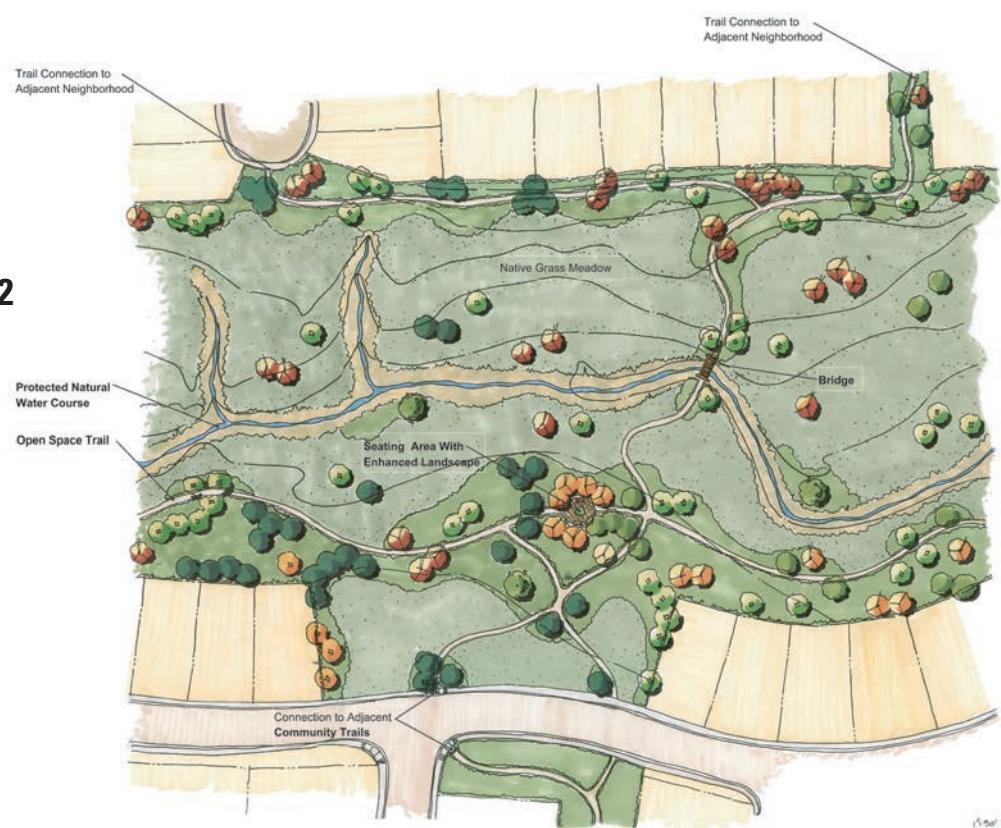
## TYPICAL CONCEPT PLAN 1

NOT TO SCALE



## TYPICAL CONCEPT PLAN 2

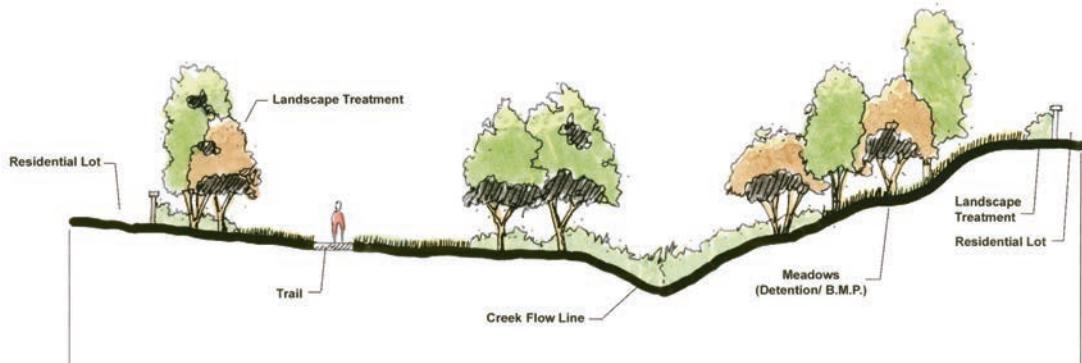
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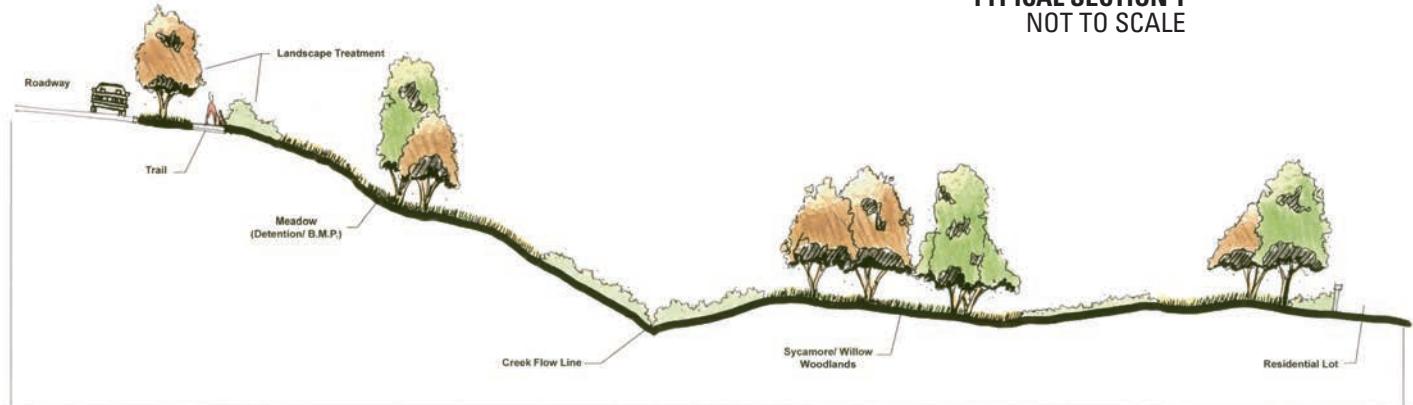
SOURCE: FORMA

K Hovnanian's  
Four Seasons at Beaumont

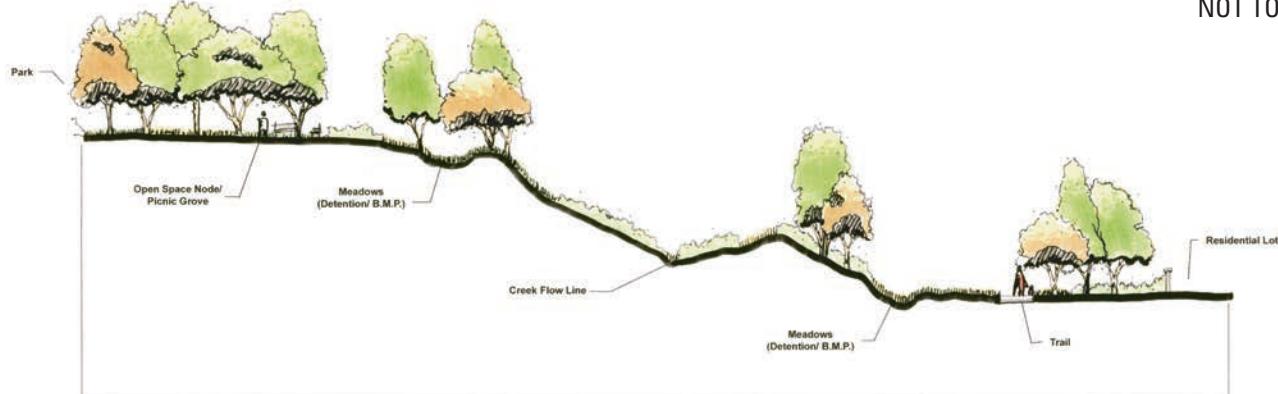
## TRAILS/RIPARIAN CORRIDOR LANDSCAPE CONCEPT PLANS



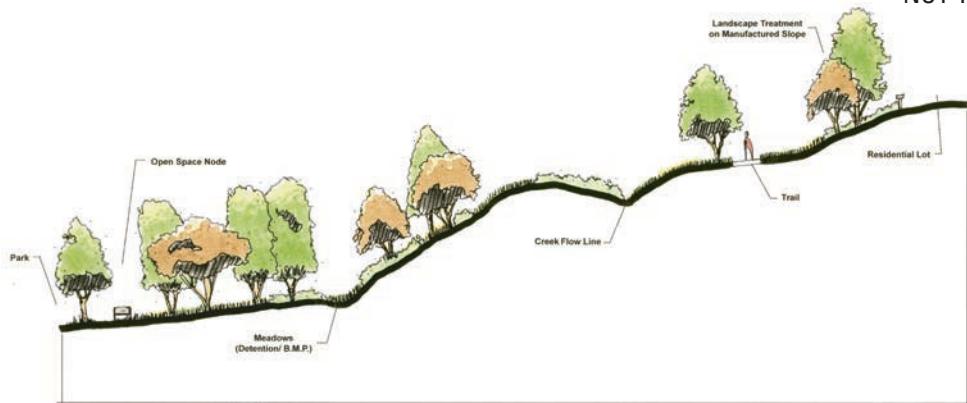
**TYPICAL SECTION 1**  
NOT TO SCALE



**TYPICAL SECTION 2**  
NOT TO SCALE



**TYPICAL SECTION 3**  
NOT TO SCALE

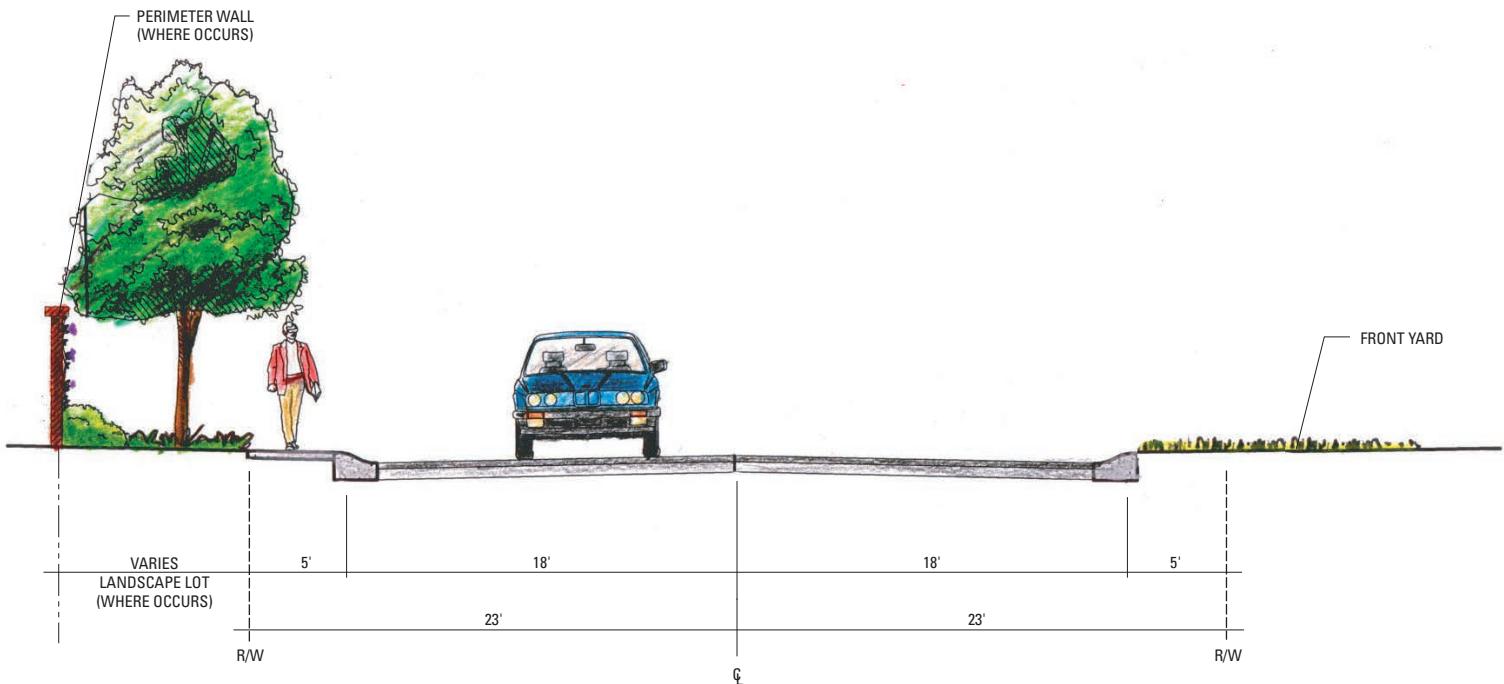


**TYPICAL SECTION 4**  
NOT TO SCALE

SOURCE: FORMA

K Hovnanian's  
Four Seasons at Beaumont

## TRAILS/RIPARIAN CORRIDOR LANDSCAPE CONCEPT SECTIONS



**TYPICAL LOCAL STREET**  
 46' RIGHT OF WAY (PRIVATE)  
 NOT TO SCALE

SOURCE: FORMA

K Hovnanian's  
 Four Seasons at Beaumont  
**LOCAL STREET  
 LANDSCAPE CONCEPT SECTION**

## **10. Common Drive Lanes**

Common drive lanes will have intermittent landscape areas located outside of the 25' right-of-way as part of individual lot landscaping or common area landscaping.

## **11. Front Yard Landscaping**

- a. The Developer/Builder will provide full front yard landscaping and automatic irrigation systems for all homes subject to City approval. Front yard landscape design and installation in the Four Seasons Specific Plan shall be subject to the Landscaping Standards as set forth in Title 17 of the Beaumont Municipal Code, or pursuant to subsequent requirements, as deemed applicable by the City of Beaumont.
- b. Landscape areas shall be automatically irrigated and planted in an appropriate manner, which meets or exceeds industry standards, and shall comply with the design intent and minimum set forth in these guidelines.

All lots shall provide for a minimum of one 15 gallon front yard tree and one 15 gallon accent tree. The requirement for maintaining two trees may be waived if one of the following conditions are met:

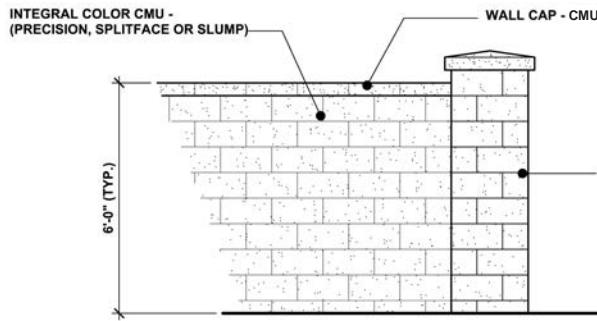
1. The tree(s) has been removed due to property maintenance issues; or
2. The front yard depth is less than 20 feet

## **F. WALLS AND FENCES**

1. The wall and fence design criteria is intended to provide variety and privacy for each lot while providing continuity of design within Four Seasons at Beaumont. Refer to the Architectural Guidelines section for all allowable materials. All wall and fence heights are measured from the highest-grade elevation on either side of the wall or fence.

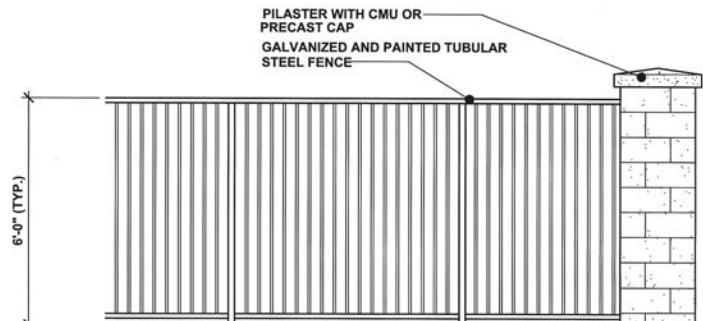
- Front Yard: Fencing and walls may not exceed 42 inches in height when located within the required front yard setback except as otherwise allowed in the Specific Plan Development Regulations (Section V). Fencing and walls between the edge of the setback and a dwelling unit shall not exceed six (6) feet in height and may be solid or transparent.
- Side Yard: Solid fencing is permitted to a maximum height of six (6) feet between the front yard setback and rear yard propertyline.
- Rear Yard: Fencing along rear yards and top of slope shall be a maximum of six (6) feet in height.
- Sound Attenuation: When required for sound attenuation, solid walls in side and rear yards may exceed six (6) feet in height.

2. Side yard, rear yard or other privacy walls along block end conditions of a neighborhood or facing any street shall be constructed of masonry block of a color to match village perimeter walls. Fence returns or inter connects from a side property line to the house may be constructed of wood or other allowed material.
3. Combination retaining and privacy walls at block end conditions may be used.
4. Vinyl fencing is now required for all interior fencing in place of wood for all new construction. Vinyl fencing when replaced shall be replaced only with vinyl fencing. All wood fences should be painted and conform to the approved fence detail (See Exhibit 27, *Project Wall/ Fence Examples*). Existing wood fencing when replaced should be replaced with vinyl fencing.
5. The interconnect fencing should occur within the front 50% of the building footprint.
6. All fencing between HOA top of slope greater than 15 feet shall be view fencing. View fencing materials include tubular steel or combination tubular steel and block wall (See Exhibit 27, *Project Wall/ Fence Examples*).
7. Fencing on 2:1 slopes may be tubular steel or other view-type of fence. This type of fencing shall incorporate decorative masonry pilasters at least every six (6) residential lots and at corners and significant redirections in the fence line.



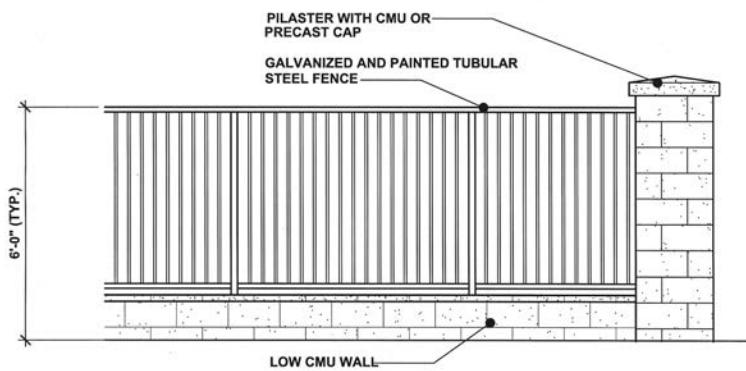
**MASONRY WALL**

**NOTE:**  
 1. WALL HEIGHTS MAY VARY (5' - 6' MINIMUM)  
 2. OTHER MATERIALS MAY BE APPROVED BY  
 THE PLANNING DIRECTOR.



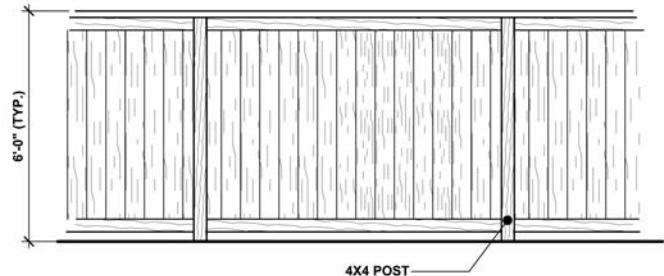
**VIEW FENCE - TUBULAR STEEL**

**NOTE:**  
 1. OTHER MATERIALS MAY BE APPROVED BY  
 THE PLANNING DIRECTOR.



**VIEW FENCE - TUBULAR STEEL**

**NOTE:**  
 1. WALL HEIGHTS MAY VARY (5'-6" MINIMUM)  
 2. OTHER MATERIALS MAY BE APPROVED BY  
 THE PLANNING DIRECTOR.



**WOOD FENCE**

**NOTE:**  
 1. VINYL FENCING MAY BE SUBSTITUTED FOR  
 WOOD FENCING.  
 2. OTHER MATERIALS MAY BE APPROVED BY  
 THE PLANNING DIRECTOR.

SOURCE: FORMA

## **G. SIGNAGE**

The design and location of all signage within the Four Seasons at Beaumont Community shall conform to guidelines to be developed for the Four Seasons Master Marketing Program. All planning area sign designs and specifications must be submitted to the City for approval and shall otherwise comply with the Beaumont Municipal Code.

## **H. LIGHTING**

1. Streets and intersections should be well lighted in accordance with City standard illumination levels. Low-level lighting for pedestrian safety should be installed where appropriate. Intersections might have increased wattage for definition and to mitigate automobile/ pedestrian conflicts. Lights that may shine across to resident's homes should be shielded or hooded to prevent too much glare.
2. Accent lighting should be installed at all primary entry monuments, and secondary entry monuments.
3. Streetlights shall conform with the overall project theme and City standards.
4. All exterior lighting for identification, pools, water features, and landscaping should be subdued and indirect to prevent spillover onto adjacent lots and streets. Exposed bulbs, spotlights, and reflectors are prohibited.
5. The type and location of buildings lighting should preclude direct glare onto adjacent property, streets, or skyward.
6. Pedestrian scale light fixtures are encouraged over "high mast" poles.
7. Outdoor lighting shall adhere with the requirements of Chapter 8.5, Outdoor Lighting, of the Beaumont Municipal Code.

## **I. MODEL HOME SITES**

Preliminary plans for Model Home sites must be submitted for City approval in the form of a Minor Plot Plan. The following minimum requirements will apply:

1. Model compounds must comply with all City, State, Federal, and American Disability Act (ADA) requirements.
2. All yards, common areas and open spaces within a model home area, including parking areas, shall be fully landscaped.

3. Minimum tree size: 15 gallon.
4. At a very minimum, two (2) 24" box trees and one (1) 36" box tree per lot shall be installed in the front of the compound in addition to other full landscaping of the site.
5. Adequate parking shall be provided for all model home sites. If a sales office is located in a Village Center, a portion of the parking area for the Center may be used for the sales activity.

**SECTION V**  
**DEVELOPMENT**  
**REGULATIONS**

## **V. DEVELOPMENT REGULATIONS**

### **A. PURPOSE AND INTENT**

This section has been prepared in accordance with California Government Code Section 65450, et seq. and the City of Beaumont Zoning Ordinance (Title 17 of the Municipal Code). The following text and Tables 10 - 13 for residential and village centers development set forth the standards for development of all uses within the Four Seasons Community. Regulations are proposed for residential, open space, recreational and associated uses.

Individual development areas are defined by density, lot size and Planning Area and have been included in accordance with the goals and objectives of this document.

Application of these regulations is specifically intended to provide the most appropriate use of the land, create a harmonious relationship among land uses and protect the health, safety and welfare of the community. The regulations set forth in this chapter have been established to provide for orderly development of the Four Seasons Community. These standards provide for the arrangement, development and use of a variety of residential housing types, consistent with the intent, purpose and goals of the City's General Plan.

### **B. GENERAL PROVISIONS**

The following provisions establish use restrictions and development standards for each land use within the Four Seasons Specific Plan project area. These provisions should be used in conjunction with the general development standards in Section III of this Specific Plan.

#### **1. Applicability**

The Four Seasons Specific Plan is a regulatory plan, which, upon adoption will constitute the zoning of the property. Development plans or agreements, tract or parcel maps, plot plans, conditional use permits or any other action requiring ministerial or discretionary approval of the subject property must be consistent with the Specific Plan. Actions deemed to be consistent with the Specific Plan shall be judged to be consistent with the City of Beaumont General Plan as mandated in California Government Code, Section 65454.

Should the regulations contained herein differ from the regulations of the City of Beaumont Zoning Ordinance, the regulations of the Four Seasons Specific Plan shall take precedence. Any land use proposal not specifically covered by the provisions contained herein shall be subject to the regulations of the City of Beaumont Zoning Ordinance for the closest relevant zone as determined by the Planning Director.

## **2. Interpretation**

Any ambiguities related to the implementation of the provisions of this Specific Plan shall be resolved by the Planning Director of the City of Beaumont. Such interpretations shall take into account the stated goals and intent of the Specific Plan. Any interpretation made by the Planning Director may be appealed to the Planning Commission. The decision of the Planning Commission shall be final unless appealed to the City Council.

## **3. Boundaries**

The boundaries and acreage of the individual planning areas are approximate. Precise Planning Area boundaries and acreages will be established in conjunction with the subdivision map for each planning area/ neighborhood within the project. Minor boundary and acreage variations shall be permitted, subject to review by the Planning Director for conformance with the intent of the Specific Plan, without an amendment to this Specific Plan.

## **4. Grading**

Grading plans for all projects within the Specific Plan area shall comply with the current City of Beaumont standards except as modified by this document. A preliminary geotechnical engineering report and soil engineering investigation showing evidence of recommendations for a safe and stable development shall be submitted with subdivision maps. The recommendations of the engineering geologist and soil engineer shall be incorporated into the grading plan design, prior to grading permit approval.

Grading techniques shall meet applicable City of Beaumont codes, as set forth in the Grading Plan section of this document.

## **5. Construction**

Infrastructure facilities (water, sewer, and storm drainage) shall comply with the requirements of the City of Beaumont and the relevant service agencies. All construction shall comply with all provisions of applicable codes.

## **6. Definitions**

Unless otherwise specified herein, terms used in this document shall have the same definitions provided in the City of Beaumont Zoning Ordinance Title 17 of the Municipal Code, "Definitions."

## 7. **Severability**

In the event that any regulation, condition, program, portion or policy of this Specific Plan or the application thereof to any person or circumstance is held to be invalid or unconstitutional by any court of competent jurisdiction, such portions shall be deemed separate, distinct and independent provisions and shall not affect the validity of the remaining provisions of this Specific Plan or applications thereof which can be implemented without the invalid provision or application.

## 8. **Unit Transfers**

The transfer of residential dwelling units (DU's) anticipated to be developed from one residential planning area to another is permitted, based on the following, without amending the Specific Plan:

- a. The total number of dwelling units developed within the entire Four Seasons Specific Plan shall not exceed 2,400 DU's (as analyzed in the Four Seasons Specific Plan Addendum Environmental Impact Report).
- b. The total number of dwelling units developed in an individual residential planning area may exceed the Maximum DU's allowed for that planning area as indicated in Table 3, *Land Use Table* on Exhibit 3 on Page 2 of Section III of this Specific Plan by a maximum of 15%; however, the total number of dwelling units developed within the entire Specific Plan area shall not exceed 2,400 DU's.
- c. An increase to the number of maximum dwelling units developed in any of the individual residential planning areas must be off-set by a decrease in similar number of Maximum DU's developed in other planning areas of this Specific Plan. The off-setting transfer of units is intended to ensure the total number of dwelling units in the entire Specific Plan area does not exceed 2,400 DU's.
- d. Upon application of the project applicant, transfer of units may be authorized by the Planning Director, thereby specifying a lower density residential use in one or more of the planning areas from the use otherwise indicated in Table 3 (*Land Use Table* of Exhibit 3 herein), or by amendment of the herein density provisions in accordance with Section VI. C. of this Specific Plan and with the City's procedures for amending specific plans generally.
- e. Residential dwelling units may be transferred from any planning area to another planning area regardless of planning area location or designation.
- f. The Planning Director or designee shall approve the unit transfer if he or she finds the following:

- 1) That the above provisions are being met.
- 2) That the overall goals and objectives of the Specific Plan are maintained.
- 3) That the full range of housing stock anticipated remains available.
- 4) That adequate community facilities, including, but not limited to schools and parks, can accommodate the additional units in the affected area.
- 5) That the infrastructure facilities such as roads, sewer, and water can accommodate the additional units in the affected area.
- 6) That the proposed densities are compatible with existing land use designations.

## 8. Age Restricted Development

The project is specifically to be developed as an active adult/ age restricted community. Development in a manner inconsistent with an active adult/ age restricted community shall require the approval of a Specific Plan Amendment by the City of Beaumont.

## C. SITE DEVELOPMENT REGULATIONS

### 1. Residential Uses

#### a. *Planning Areas*

This category includes the development of residential dwellings in the Specific Plan Land Use Plan in the Very Low, Low, Low-Medium, Medium, and High Density residential categories as outlined below in Table 10, *Residential Planning Areas*.

**Table 10**  
**Residential Planning Areas**

<i>Residential Category</i>	<i>Planning Areas</i>	<i>Maximum Density*</i>
Low Density	5, 12B, 14, 20, 22B, 25, 31	4.5 du/ acre
Low-Medium Density	1, 3, 6, 10, 12A, 13A, 15, 17, 19, 21, 22A, 26, 27, 30, 34	6 du/ acre
Medium Density	2, 7, 11A, 11B, 13B, 18A, 18B, 23, 24, 29, 33	7.5 du/ acre
Medium-High Density	4, 8, 32	9 du/ acre

\* Gross density

**b. Permitted Uses**

The following uses, as defined in Table 11, Residential Permitted Uses, shall be permitted within the residential planning areas of the Four Seasons community.

**Table 11**  
**Residential Permitted Uses**

Residential Uses	Low Density	Low-Medium Density	Medium Density	Medium-High Density
Single family dwellings, detached	P	P	P/ PP <sup>5</sup>	P/ PP <sup>5</sup>
Single lot subdivisions (condos/ apts.)	X	X	X	P/ PP <sup>5</sup>
Duplex condominiums (for sale units) <sup>1</sup>	X	X	X	P/ PP <sup>5</sup>
Duplex apartments (rental units) <sup>1</sup>	X	X	X	P/ PP <sup>5</sup>
Open Space, parks, recreational facilities, trails	P	P	P	P
Daycare (small family)	H	H	H	H
Daycare (Large family)	C	C	C	C
Governmental Uses	C	C	C	C
Public Utilities	C	C	C	C
Accessory buildings, structures and uses related to a permitted use (including swimming pools, spas, sports courts, patios and patio covers, mail boxes, garden structures, storage sheds, greenhouses) <sup>1</sup>	P	P	P	P
Temporary real estate offices including temporary trailer facilities or within model homes, for lot home sales or sales information within the subject project area for not more than two years. <sup>2</sup> Temporary facilities may also include the use of temporary power service. <sup>2</sup>	MPP	MPP	MPP	MPP
Home Occupations	H	H	H	H
Construction trailer during active construction only, including with the use of temporary power service	MPP	MPP	MPP	MPP
Nurseries, Horticultural uses, during the development of the Specific Plan area	PP	PP	PP	PP
Detention basins/ flood control facilities	P	P	P	P
Model Home Complex <sup>4</sup>	MPP	MPP	MPP	MPP

P = Permitted, C = Conditional Use Permit, H= Home Occupation Permit, PP=Plot Plan, MPP=Minor Plot Plan, approval required X=Not Permitted

<sup>1</sup> A duplex shall mean two single family dwelling units attached together in a single structure.

<sup>2</sup> Allowed in accordance with the site development standards outlined in this section.

<sup>3</sup> Extensions may be granted by the Planning Commission.

<sup>4</sup> May include temporary sales office and design center.

<sup>5</sup> Plot Plan approval by the Planning Commission is required only for residential development on lots less than 4,300 s.f.; or alley-loaded residential units; or duplex residential units; or other types of multi-family residential units.

*c. Accessory Buildings*

Accessory buildings and structures as permitted in Table 10 shall be developed under the following site development standards:

- ❖ No accessory building shall occupy any part of a required front and side yard and no accessory building shall occupy more than 50% of a required rear yard.
- ❖ No accessory building shall be located closer than 5 feet to the nearest part of a main building.
- ❖ Accessory buildings shall have a maximum height of 17 feet, except storage sheds shall not exceed 10 feet in height.
- ❖ In the case of a reversed corner lot, no building shall be erected upon such lot closer than five feet to the property line of any abutting lot to the rear.

*d. Encroachments*

Roof overhangs and decorative architectural features such as fireplaces, bay windows, media niche pop-outs, and similar elements may project a maximum of 2 feet into any required yard setback. Structural features such as exposed staircases, patio covers and balconies may encroach a maximum of 6 feet into any required rear yard setback. Covered porches, patios and loggia may encroach a maximum of 6 feet into required front yard setback in the Medium Density - 3400 and Medium-High Density - Duplex categories. However, in no case shall any projection encroach closer than 3 feet to a property line.

*e. Site Development Standards*

Residential uses shall be developed in accordance with the standards set forth in Table 12 on Page V-7. Setbacks shall be measured from the property lines except as otherwise noted in Table 12.

**Table 12**  
**Residential Development Standards by Land Use**

A. General Requirements	Low Density 6300	Low-Medium Density 5000 & 5500	Medium Density 4500	Medium Density 4300	Medium Density 4185	Medium Density 3400	Medium-High Density Duplex
Density-max. (Gross)	4.5 du/ acre	6 du/ acre	7.5 du/ ac	7.5 du/ ac	7.5 du/ ac.	7.5 du/ ac.	9 du/ ac
Minimum lot area (in square feet)	6,300	5,000	4,500	4,300	4,185	3,400	Duplex Lot: 5,300 Single Lot: 2,600
a. Minimum Lot Dimensions (width x depth in feet)	60 x 100	50 x 100 55 x 100	45 x 100	43 x 100	45 x 93	41 x 83	Duplex Lot: 85 x 62.5 Single Lot: 42 x 62.5
b. Cul-de-sac/ knuckle/ curved streets lot width	The above minimum lot width is to be measured at a point across the lot 20 feet back from the front property line, except in the case of flag lots where the minimum width is to be measured in the main body of the lot. All lots shall have minimum lot frontage and width of 20 feet. Lots in the Medium and Medium-High density land uses may front on common area or common driveways.						
Minimum front yard setbacks <sup>1,3</sup>							
a. To front of garage door from back of sidewalk or curb if no sidewalk	20'	20'	20'	20'	20'	NA	NA
b. With side entry garage as measured from property line	10'	10'	10'	10'	NA	NA	NA
c. Any other part of the main structure, except allowed projections, as measured from property line	10'	10'	10'	10'	10'	7' (2' for patio walls)	8' (2' for patio walls)
Minimum side yard setback	5'	5'	5'	5'	5'	4'	5' (min. 12 feet between buildings <sup>3</sup> )
Minimum side yard setback, street side on a corner lot <sup>3</sup>	10'	10'	10'	10'	10'	10'	10'
Rear yard setback <sup>1,3</sup>							
a. To main structure	10'	15'	10'	15'	10'	3'	3'
b. To accessory structure	5'	9'	5'	9'	5'	3'	3'
Maximum height of main structure <sup>3</sup>	34'	34'	28'	28'	28'	28'	28'
Maximum height of accessory structures	18'	18'	18'	18'	18'	18'	18'
Minimum distance between main and accessory or other structures <sup>3</sup>	5'	5'	5'	5'	5'	5'	12'
Parking Spaces required	2 enclosed	2 enclosed	2 enclosed	2 enclosed	2 enclosed	2 enclosed plus 0.2 guest spaces/ du <sup>2</sup>	2 enclosed plus 0.2 guest spaces/ du <sup>2</sup>
Signage	City Code, Title 17	City Code, Title 17	City Code, Title 17	City Code, Title 17	City Code, Title 17	City Code, Title 17	City Code, Title 17
Max Fence Height (Fences in required front yard shall not exceed 3.5 ft. in height except where otherwise specifically allowed. See Medium Density – 3400 and Medium-High density-duplex front yard setback standards above.)	6'	6'	6'	6'	6'	6'	6'

<sup>1</sup>The front of a lot with garage access via a common lane is considered to be on the side of the lot opposite the common lane. The rear of a lot on a common lane is considered to face the common lane.

<sup>2</sup> Required guest spaces may be provided via on-street parking and off-street parking.

<sup>3</sup> Except allowed projections. (See Section V.C.1.d., Encroachments)

## 2. Village Centers

This land use category is intended to provide common private recreational centers and open space areas for residents of the Four Seasons Specific Plan area.

### *a. Planning Areas*

The Village Centers shall be permitted within Planning Areas 9, 16, and 28.

### *b. Permitted Uses*

Uses permitted within the Village Centers shall require the approval of an Administrative Plot Plan prepared in accordance with the requirements of Title 17 of the Municipal Code.

Permitted uses within the Village Centers can be characterized as providing common recreational, social and administrative facilities for the residents of the Four Seasons community. The following is a list of representative permitted uses. Uses deemed similar in nature to these uses shall be allowable at the discretion of the Planning Director.

- Community clubhouses, including: assembly and reception areas; entertainment areas; ball rooms; card and game rooms; computer labs; and administrative offices for a homeowner association.
- Spa and fitness centers
- Crafts and hobby centers
- Swimming pools and related facilities, including pools in enclosed buildings
- Outdoor game courts, including: tennis; basketball; bocce ball; lawn bowling; shuffle board; croquet courts; putting greens; and horseshoe pits.
- Tot lots and playground equipment areas
- Outdoor entertainment and social areas, including: plazas; patios; terraces; stages; picnic tables with BBQ grills; fire pits; gazebos and arbors; and open lawn area
- Themed gardens and water features
- Parking
- Temporary sales office and design center for Four Seasons residential sales
- Decorative and functional windmill structures

*c. Site Development Standards*

Village Center uses shall be developed in accordance with the following standards set forth in Table 13. Setbacks shall be measured from the property lines.

**Table 13**  
**Village (Recreation) Centers Development Standards**

Building Front setback <sup>1</sup>	25' Fully landscaped 50' If onsite parking in front of building
Building Side setback <sup>1</sup>	15'
Building Corner Lot setback <sup>1</sup>	25'
Building Rear setback <sup>1</sup>	15'
Maximum height of structures <sup>1</sup>	40'
Minimum distance between buildings on one lot	10' / UBC
Parking Spaces required	The greater number of parking spaces based on 1 space per 4,100 sq. ft. of site area or 1 space per 200 sq. ft. of enclosed building area.
Signage	Per Title 17 of City Code and signage design guidelines section (IV.G.) of the Four Seasons Specific Plan.
Trash Enclosures	Enclosed by a wall no less than 6 feet in height with metal gates. (No chain link).
Roof mounted equipment	Screened from view to a distance of 1,000 feet
Fences/ walls, maximum <sup>2</sup>	6'

<sup>1</sup> Any portion of a building, which exceeds 35 feet in height shall be set back an additional one foot from the front, side and rear for each foot the height exceeds 35 feet.

<sup>2</sup> Wall heights may exceed six feet if required for sound attenuation purposes.

**3. Trails/ Riparian Corridor Open Space**

This land use category is intended to provide common area open space corridors that run throughout the Four Seasons community providing a visual amenity, a recreational trail system, water features, riparian habitat creation and preservation, and drainage improvements.

*a. Planning Areas*

The Trails/ Riparian Corridors Open Space run in between planning area groups as shown on Exhibit 3, *Land Use Plan*.

***b. Permitted Uses***

The following uses are permitted within Four Seasons Trail/ Riparian Corridor Open Space areas:

- Landscaped green belt corridors and riparian habitat enhancement areas
- Walking and jogging trails
- Benches and picnic tables
- Shade structures, arbors, gazebos, archways and other similar small architectural features
- Community gardens
- Decorative and functional windmill structures that may include working water well pumps (wind driven and electric)
- Vehicular and pedestrian crossings of drainage ways, including bridge and culver crossings
- Water features, including streams, ponds and water falls
- Drainage ways, drainage detention/ retention, and water recharge and percolation
- Other uses deemed similar and compatible as allowed by the Planning Director

**SECTION VI**  
**ADMINISTRATION AND**  
**IMPLEMENTATION**

## **VI. ADMINISTRATION AND IMPLEMENTATION**

Development in the Four Seasons Specific Plan area will be implemented in conformance with the regulations and guidance contained within the Specific Plan document. This section contains the procedures for administration of the provisions contained within the Specific Plan and defines the relationship between the provisions of the Specific Plan and City code requirements.

### **A. ADMINISTRATION**

#### **1. Regulatory Effect**

Upon approval by the City Council, the Four Seasons Specific Plan (Amendment No. 2 of the Hovchild Specific Plan) shall serve as the land use and zoning document for the land within its boundaries. Whenever the provisions contained in the Specific Plan conflict with the Beaumont Zoning Ordinance, the provisions of this Specific Plan shall prevail. However, except as otherwise provided herein, where the zoning ordinance contains provisions that establish requirements that are not specifically covered by this Specific Plan, the applicable provisions in the Municipal Code shall control.

#### **2. Interpretation**

The Four Seasons Specific Plan will be implemented through City approval of tract map(s) and associated improvement plans. Any development proposals for Four Seasons shall be subject to the review procedures established in this Specific Plan. The Planning Director of the City of Beaumont shall resolve any ambiguities related to the implementation of the provisions of this Specific Plan. Such interpretations shall take into account the stated goals and intent of the Specific Plan. Any interpretation made by the Planning Director may be appealed to the Planning Commission. The decision of the Planning Commission shall be final unless appealed to the City Council.

#### **3. Enforcement**

Following approval of the Four Seasons Specific Plan (Amendment No. 1 of the Hovchild Specific Plan) by the City of Beaumont, the Four Seasons Specific Plan will serve as the implementation tool for the General Plan as well as the zoning for the Four Seasons Specific Plan area. The Specific Plan addresses general provisions, permitted uses, development standards, and community design guidelines. The City shall enforce the provisions of this Specific Plan in the same manner that the City enforces the provisions of the Zoning Ordinance.

#### **4. Development Agreement**

The Four Seasons Specific Plan is the subject of an approved Development Agreement. This Development Agreement provides vested development rights for the project based on the General Plan, Zoning, and fee structure (where applicable) in effect at the

time of the Development Agreement's effective date. The Development Agreement establishes provisions for the development of the project related to timing, duration of development approvals, density and intensity of development, required improvements, amendments, and public benefit. It is anticipated that this development agreement will be updated and amended in conjunction with approval of this Specific Plan.

## **B. IMPLEMENTATION**

Subsequent to approval of the Specific Plan, individual development proposals will be subject to one or more additional approvals and/ or permit processes, including the following:

- Subdivision Maps
- Use Permits
- Plot Plan Review
- Variances

Uses requiring special permits are listed in the Development Regulations section of this Specific Plan document.

### **1. Subdivision Maps – Tentative Tract/ Parcel Maps**

Approval of the Four Seasons Specific Plan will be followed by Tentative Tract or Parcel Maps, which provide a subdivision proposal for the residential and open space components of each planning area within the Specific Plan. When approved, each Tentative Tract Map will have a term as set forth by the City Subdivision Ordinance and State Subdivision Map Act and by the Development Agreement. Final Tract Maps will create legal parcels for development purposes, subject to approval. Any tentative tract maps within the Specific Plan area will be reviewed against the provisions of the Specific Plan, and approved pursuant to the provisions of the City Subdivision Ordinance and the State Subdivision Map Act.

### **2. Conditional Use Permits**

Use permits applicable to the Four Seasons Specific Plan include Conditional Use Permits. The Development Regulations section of this Specific Plan (Section V) outlines uses, which require approval of a Conditional Use Permit (CUP). A CUP is a discretionary permit requiring scrutiny of use or physical effects (e.g. noise) to ensure that the project or use is appropriate for the proposed location. As a discretionary permit, it requires a public hearing of detailed plans for the proposed development, and is typically accompanied by conditions of approval. A CUP within the Four Seasons Specific Plan area is subject to the application requirements, review, approval, and appeal process outlined in Title 17 of the Beaumont Municipal Code.

### **3. Plot Plan Review**

Plot Plan review is required prior to issuance of a building permit, in accordance with the provisions of Title 17 of the Beaumont Municipal Code. This review ensures that a development proposal complies with the provisions of the Development Regulations and design guidelines, including required setbacks, parking, landscaping, etc. Plot Plans are approved via two mechanisms: administrative and minor plot plans by the Planning Director or by public hearing by the Planning Commission for plot plans in general.

### **4. Variations in Development Standards**

Minor modifications or deviations from the development standards set forth in this specific plan may be approved as outlined in the General Provisions section of the Development Regulations section of this document by written request to the Planning Director. Deviations in excess of those set forth in this document require a formal variance application to the City in accordance with the provisions of Title 17 of the Beaumont Municipal Code.

## **C. AMENDMENTS**

Amendments to the Four Seasons Specific Plan may be requested by the applicant at any time pursuant to Section 65453 (a) of the Government Code.

### **1. Major Modifications**

The Specific Plan document may be amended utilizing the procedure by which it was originally adopted. All sections or portions of the Specific Plan to be changed or affected must be included in the amendment. A concurrent amendment to the General Plan would not be required unless the Planning Director determines that substantive changes would influence the goals, objectives, policies or programs of the General Plan. Additional environmental review may also be required if changes are significant.

The project is specifically to be developed as an active adult/ age restricted community. Development in a manner inconsistent with an active adult/ age restricted community shall require the approval of the Specific Plan Amendment by the City of Beaumont.

### **2. Minor/ Administrative Amendments**

The following minor modifications to the Specific Plan would not require a Specific Amendment, subject to the review and approval of the Planning Director. If deemed to be a substantial modification of the Specific Plan, the Planning Director shall have the discretion to refer any such requests to the Planning Commission. The site plan shown on the Land Use Plan is for illustration purposes only, based upon current lotting

studies. The final site plan for each planning area for the project may be different, based upon final engineering and the precise plans of a project developer.

- Unit Transfers between planning areas as allowed in the General Provisions of the Four Seasons Development Regulations, Section V.B.8.
- Changes in the location of infrastructure and public facilities (such as roads, drainage facilities, etc.).
- Change in roadway alignment and grade.
- Adjustment of planning area boundaries provided the total acreage of the affected planning area does not increase or decrease by more than 20% of the total stated in the approved Specific Plan.
- Revision to the number of dwelling units within a planning area if the total number of units for the Specific Plan area does not exceed the maximum number of units allowed by Table 3, *Land Use Table* on Exhibit 3 (Page III-2), and the maximum densities allowed in each planning area; and subject to the Unit Transfer provisions of Section V.B.8. of this Specific Plan.
- Change of landscaping materials and/or locations, wall materials, wall alignment, entry design, and streetscape design which are consistent with the conceptual designs set forth in the Specific Plan Design Guidelines.
- Minor changes to the Design Guidelines set forth in Section IV, which are intended to be flexible in nature.
- Changes in the sequencing of the development phasing as discussed in Section III.I.
- Other minor modifications similar to those listed above and deemed minor by the Planning Director, which are in keeping with the intent of the Four Seasons Specific Plan.

## **D. MAINTENANCE**

The improvements constructed within the Four Seasons Specific Plan will be maintained through a combination of public and private entities, including the following:

### **1. City of Beaumont**

Public streets Highland Springs Ave. and Potrero Blvd. as they front the project will be publicly maintained. The City will assume maintenance responsibilities for these improvements. Infrastructure facilities (sewer and storm drain) will be dedicated to the City and maintained by the responsible department.

Water facilities will be dedicated to and maintained by the Beaumont -Cherry Valley Water District.

## **2. Homeowners Association**

It is anticipated that a Master Homeowners Association (HOA) will be formed for the oversight of architectural and landscape design elements within the Four Seasons community and maintenance of private improvements within the project. Maintenance responsibilities of the HOA include the following private facilities:

- All interior streets
- Private common slope or open space areas including trail systems
- Common areas at entries, including monument signage
- Private drainage facilities
- Private recreational facilities (Village Centers)

## **3. Community Facilities District 93-1**

Street landscaping on Highland Springs Ave. and Potrero Blvd. may also be maintained by the City of Beaumont Community Facilities District.

## **E. FINANCING**

All or a portion of the public infrastructure within the site may be financed through formation of new, or amendment of existing assessment districts and/ or Community Facilities Districts ("Mello-Roos Districts"), or by any other mechanism provided by State Law which allows for financing of public facilities.

**SECTION VII  
GENERAL PLAN  
ANALYSIS**

## VII. GENERAL PLAN ANALYSIS

### A. INTRODUCTION

The Four Seasons at Beaumont Specific Plan project site is located within the southeastern portion of the City of Beaumont in the County of Riverside, just west of the City of Banning at Highland Springs Avenue and adjacent to the Sun Lakes Planned Community. The Four Seasons at Beaumont Specific Plan when approved in 2004 was considered in context with the goals, policies, and objectives of the City of Beaumont General Plan. This section iterates the general plan goals and objectives of the City in effect in 2004, and includes discussion and comments on the consistency of the Four Seasons at Beaumont Specific Plan with each applicable implementation policy.

### B. GENERAL PLAN ELEMENTS

The City of Beaumont General Plan in place in 2004 was comprised of six major elements: land use, circulation, housing, natural resources and conservation element, public safety element, and public services and facilities. The applicable goals, objectives, and policies are shown below in *italics*, with the consistency of the Four Seasons at Beaumont Specific Plan noted following each policy statement.

#### LAND USE ELEMENT

**Policy:** *The purpose of the Balanced Land Use Policy is to ensure that planned employment and residential opportunities make progress toward a balance of jobs and workers, that adequate medical, dental, shopping and retail services are located within convenient distance of each residential planning area, that public services and facilities have adequate capacity to serve development, and that parks and recreation services are provided to meet existing and future demand. [Land Use, B.1.a]*

**Consistency:** The Four Seasons at Beaumont Specific Plan achieves a balanced land use plan through a mixed-use development consisting of residential and recreational uses. A variety of residential uses are provided from duplexes (maximum 9 dwelling units/ acre) to single family residential units. The proposed village centers provide recreational opportunity close to the residents of each section of the development, with pedestrian access provided through an extensive sidewalk and trails system. Public services and facilities have been adequately sized to meet the existing and future needs of the community.

**Policy:** *The purpose of the Phased Development Policy is to ensure that development coincides with the adequacy of public services and facilities, especially where the public health, safety and welfare are concerned. Proper phasing of new development within the designated General Plan capacity through the provision of public services and facilities development is necessary to ensure that new development will not overload the existing facilities or be allowed to be completed without adequate facilities. [Land Use, B.1.b]*

**Consistency:** The proposed phasing of the development ensures that adequate public services and facilities are provided and will not result in the overload of existing facilities. Development of necessary and adequate public infrastructure will be provided with each phase of the development as required. The Phasing Plan is provided in the Phasing Section of the Four Seasons at Beaumont Specific Plan.

**Policy:** *The purpose of the Housing Densities Policies is to provide a wide range of housing densities that will permit a mix of housing opportunities, including both rental and ownership housing. The mix of densities is intended to make it possible to develop housing which is affordable to the labor force and offer those who work here a reasonable choice of living accommodations. [Land Use, B.1]*

**Consistency:** The Four Seasons at Beaumont development includes a variety of housing densities that will permit a diverse mix of housing opportunities. Housing densities range from higher-density duplexes to lower-density single-family residential units.

**Policy:** *The purpose of the Land Use/ Transportation Integration Policy is to ensure that transportation planning is assimilated into the land use planning process. The transportation system should support the land use plan as a whole, and individual circulation links should be in balance with localized land uses to provide an adequate transportation system for the City. When local or regional imbalances occur, appropriate improvements to the circulation system shall be provided or adequate project mitigation measures shall be developed. [Land Use, B.1.]*

**Consistency:** The Four Seasons at Beaumont development has incorporated a comprehensive roadway system that extends the existing traffic circulation and is consistent with the City's Circulation Element.

**Policy:** *The purpose of the New Development Compatibility Policy is to ensure that new development is compatible with adjacent areas and that it provides either a compatible land use buffer or transition use adjacent to such areas. Sensitive design treatment is required where one urban use transitions to another. [Land Use, B.1.f]*

**Consistency:** The Four Seasons at Beaumont Specific Plan incorporates buffers (e.g. slopes, berms and landscaping) and compatible transitional land uses along the development perimeter.

**Policy:** *The purpose of the Enhancement of Environment Policy is to ensure that all land use activities seek to enhance the physical environment, including the air, water, sound levels, landscape, and plant and animal life. This policy does not mean that environmental enhancement precludes development. It recognizes the need to improve both the manmade and natural environments. Where aspects of the natural environment are deemed to be rare, endangered or unique, this policy requires measures be taken to preserve these aspects. Specifically, a beautification policy would guide the design of scenic highways and other details for new developments in specific plans. [Land Use, B.1.]*

**Consistency:** Implementation of the Four Seasons at Beaumont Specific Plan design guidelines will ensure the enhancement of both the manmade and natural environment. The Four Seasons development plan is designed to implement a livable community for active adults by providing activity centers (such as the recreational Village Centers) easily accessible on foot by residents. This emphasis will serve to reduce vehicle trips, enhance air and water quality, and to expand residents' awareness of their physical environment. Extensive natural open space in the southwestern part of the project site will be preserved. Also, existing ephemeral drainage courses will be enhanced to create riparian/ drainage corridors which possess significant habitat, flood control, and contemplative recreational enjoyment value. The beautification policy for scenic highways does not apply, since no scenic highways are located within or adjacent to the proposed project site.

**Policy:** *Development Phasing - Development shall be phased in accordance with any applicable Comprehensive Phasing Plan (CPP). [Growth Management Component, E.4.a]*

**Consistency:** The proposed project will be constructed over a period of approximately 8 years, consistent with Exhibit 13 of this Specific Plan, as such phasing may be modified in the future as provided herein. Phase I is expected to be completed in 2005.

**Policy:** *Water/ Wastewater: Comprehensive water and wastewater management programs shall be established to ensure that all development projects are required to participate on a pro rata basis in the financing and construction of required facilities. [Growth Management Component, E.4.b]*

**Consistency:** The Four Seasons at Beaumont development will participate on a pro rata basis in the financing and construction of required facilities. The project will include both water and sewer systems to be constructed on- and off-site.

**Policy:** *Traffic Level of Service Policy: Within three years of the issuance of the first use and occupancy permit for a development project, or within five years of the issuance of a finished grading permit or building permit for said development project, whichever occurs first, all improvements to arterial highway facilities to which the project contributes measurable traffic shall be constructed to attain Level Of Service (LOS) "D" at the intersections under the sole control of the City, except intersections where the existing LOS is worse than "D", which shall be known as "Deficient Intersections". Development Projects should be conditioned to maintain the existing LOS at these Deficient Intersections. Deficient Intersections improvements to LOS "D" or better shall be addressed in the City's Capital Improvement Program. The City should work cooperatively with the State, County, or other cities to maintain LOS "D" on intersections under their jurisdiction. [Growth Management Component, E.4.]*

**Consistency:** The project site is bounded on the north by Potrero Boulevard, which is designated within the City's General Plan as a Major Highway. Highland Springs Avenue will be improved to accommodate a Secondary Highway with an ultimate right-of-way of 88 feet, along the project site's eastern boundary. The Four Seasons

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at Beaumont Specific Plan will be developed in conformance with the latest Traffic Impact Analysis prepared for the project as approved by the City. The Analysis has been prepared consistent with the City's General Plan and Circulation Element Update.

**Policy:** *Traffic Improvement Programs: Comprehensive traffic improvement programs shall be established to ensure that all new development provides necessary transportation facilities and intersection improvements as a condition of development approval. Participation in such programs shall be on a pro rata basis and be required of all development projects except where an increased level of participation exceeding their requirements is established through development agreements. [Growth Management Component, E.4.]*

**Consistency:** The Four Seasons at Beaumont Specific Plan applicant will participate in the City's comprehensive traffic improvement program on a pro rata basis. A traffic study update for the project will be prepared to ensure that the project is consistent with applicable reimbursements.

**Policy:** *Public Facility Plans: Comprehensive public facility plans shall be established for water and wastewater facilities. All development projects shall participate in such plans on a pro-rata basis and as a condition of development approval except where an increased level of participation exceeding these requirements is established in development agreements. [Growth Management Component, E.4.]*

**Consistency:** The Four Seasons at Beaumont Specific Plan applicant will participate in the City's comprehensive public facility plan on a pro rata basis.

**Policy:** *Private Street Standards: The development of private streets may be preferred for new developments that have a special overall design concept, and therefore require control of access to enhance a certain neighborhood identification. To make certain that the street designs are constructed without creating emergency access traffic hazards, and that maintenance problems will be mitigated, standards shall be adhered to.*

**Consistency:** The Four Seasons at Beaumont development will adhere to the private street standards deemed acceptable by the City of Beaumont for any private streets incorporated into the Specific Plan.

## CIRCULATION ELEMENT

**Policy:** *Upgrade the City's street standards and require that all new road facilities be constructed or upgraded, where feasible, to meet City standards. [Plan Policy C.1.1.1]*

**Consistency:** The Four Seasons at Beaumont development will improve half-section of Highland Springs Avenue along the project's eastern border between Potrero Boulevard and the southernmost project entry road from Highland Springs Avenue, improve a full section of Potrero Boulevard from Highland Springs Avenue to the project's northwestern corner, and four main roadways (the loop road and three project entry roads) within the project per the General Plan roadway designations.

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**Policy:** *Require an adequate evaluation of potential traffic impacts associated with proposed new developments prior to project approval, and implementation of appropriate mitigation measures prior to or in conjunction with project development. [Plan Policy C.1.1.2]*

**Consistency:** A traffic impact analysis was performed for the Four Seasons at Beaumont development to determine what roadway and intersection improvements are required to the existing network with the new development, and to determine the required new circulation improvements to be constructed with the development. The traffic analysis prepared by Mr. John Kain of Urban Crossroads concluded certain improvements are required to maintain the level of service objectives outlined in Objective C-1.1. These improvements are outlined on pages 7-1 through 7-8, in Technical Appendix E to the Addendum EIR.

**Policy:** *Require new developments to be served by roads of adequate capacity and design standards to provide reasonable access by car, truck, transit, or bicycle. [Plan Policy C.1.2.1]*

**Consistency:** The Four Seasons at Beaumont development identifies network of roadways that are substantially consistent with the City's design requirements, which are anticipated to provide adequate capacity per the traffic study findings. In addition, the roadway network has been designed to provide a hierarchy of access based on the use it is serving.

**Policy:** *Discourage parking on all Urban Arterial, Arterial and Major roadways to increase the traffic capacity of these roadways and provide for bike lanes. [Circulation Element Policy C-1.2.2.]*

**Consistency:** Within the Circulation Plan of this Specific Plan, Highland Springs Avenue and Potrero Boulevard are proposed to provide on-street bicycle lanes with no on street parking permitted.

**Policy:** *Require that future roads and improvements to existing roads be designed to minimize conflicting traffic movements such as turning, curb parking, and frequent stops. [Circulation Element Policy C-1.2.4]*

**Consistency:** The circulation network within the Four Seasons at Beaumont development minimizes vehicular conflict by prohibiting on-street parking along primary routes of travel, such as Highland Springs Avenue, Potrero Boulevard, project entry streets, and the main loop street. Also, roundabouts will be provided along the main loop street.

**Policy:** *Require that the development of new private driveways do not introduce significant traffic conflicts along General Plan roadway and collector and arterial streets. [Circulation Element Policy C-1.2.5]*

**Consistency:** As noted above, the Four Seasons at Beaumont development identifies a network of roads with a hierarchy of access consistent with the design speed. With the proposed network, residential vehicular access is taken from residential local

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streets (design speed of 20 to 25 mph) or from common lanes (design speed of 10 to 15 mph) to avoid conflict with higher speed vehicles along the Major, Secondary and Collector highways.

**Policy:** *Review the design of all proposed new residential neighborhoods to ensure that "cut through" routes are minimized. [Circulation Element Policy C-1.3.3]*

**Consistency:** The circulation network within the Four Seasons at Beaumont development uses a sub-system of loop roads and cul-de-sac within each of the residential communities, which filter traffic to and from project entry roads. Access to and from the Planning Areas is filtered from the highway system and designated intersections. With this network, "cut through" routes between residential neighborhoods are avoided.

**Policy:** *Implement street widenings and other circulation improvements, which are related to new development in conjunction with citywide growth management efforts. [Circulation Element Policy C-1.4.3]*

**Consistency:** As noted above, with the Four Seasons at Beaumont development, several roadway improvements will be implemented. These improvements include both new roadways and improvement of half-section of existing roadways. The required improvements are outlined within Section III.C., *Circulation Plan*, herein and have been made a condition of development.

**Policy:** *Review site plans to determine if pedestrian access from the interior of new residential areas to public transit stops will be direct and convenient and in conformance with the Americans with Disabilities Act (ADA). [Circulation Element Policy C-3.1.5]*

**Consistency:** The non-vehicular circulation provisions within this Specific Plan provide for a comprehensive pedestrian circulation system. The Four Seasons at Beaumont Specific Plan proposes sidewalks and an off-street pedestrian trail along the project's major loop street. Sidewalks along all other streets and an interior trail system will lead to the loop street. This off-street trail will assist in providing connections to the three Village Centers and the residential neighborhoods within the project. The project entry streets will include sidewalks linking the loop street to the perimeter highway streets. For those roads designated as either a Major or a Secondary Highway, adequate provision will be made for safe and convenient pedestrian and wheelchair crossings. Also, Pass Area Transit & Riverside County Transit authorities will be consulted with to expand scheduled bus service, to implement long-term public transportation projects, and to develop vanpools and subscription bus service.

**Policy:** *Create a system of bicycle lanes within the street right-of-way to meet the needs of both the local and commuter cyclist. The lanes shall be designed for the safety of the cyclist. [Circulation Element Policy C-3.2.1]*

**Consistency:** The Four Seasons at Beaumont Specific Plan establishes a system of bicycle lanes within the street right-of-way along Potrero Boulevard, Highland Springs Avenue, project entry streets, and the major loop street serving the project. These bike lanes will provide opportunities for both the local and commuter cyclist by connecting to the City's existing on-street bicycle lanes. The bicycle lanes will be designed to engineering standards for the safety of cyclists.

**Policy:** *Adequate traffic control devices shall be provided for bicycle crossings. [Circulation Element Policy C-3.2.2]*

**Consistency:** All pedestrian pathways and off-street trails will provide crossings at intersections, providing safe pedestrian and bicycle crossings. Any off-street trails that will cross Potrero Boulevard or Highland Springs Avenue at grade will provide traffic control devices as required by the City Engineer. Specific traffic control devices will be determined at time of the improvement plans and incorporated therein.

**Policy:** *Off-street bicycle trails should use open space corridors, flood control, and utility easements where possible. Such trails shall minimize automobile cross traffic. [Circulation Element Policy C-3.2.4]*

**Consistency:** The Four Seasons at Beaumont development primarily incorporates on-street bicycle trails. In addition, the Four Seasons at Beaumont development incorporates off-street pedestrian/ bike pathways as a part of its riparian corridor trail system consistent with Exhibit 7. These corridors are proposed as a dual use, serving as natural drainage corridors to control and filter stormwater as well as providing walking, jogging or bicycling opportunities.

**Policy:** *Review site plans to determine if residential, commercial and office land uses are designed for pedestrian access. Future developments shall contain an internal system of trails linking schools, shopping centers, and other public facilities with residences. Towards this end, the City shall work closely with local and regional bicycling groups towards development of a bicycling network which meets the needs of both commuters and recreational riders. [Circulation Element Policy C-3.3.1]*

**Consistency:** As previously noted, the Specific Plan provides for a comprehensive pedestrian circulation system comprised of a network of sidewalks and trails that meets the needs of both local commuter and recreational user. The network of sidewalks provide access not only between residential areas, but also to the proposed Village Center recreation areas.

**Policy:** *Require the installation of wheelchair ramps on all new sidewalks and encourage their installation in older neighborhoods. [Circulation Element Policy C-3.3.2]*

**Consistency:** The required ADA accessibility measures will be implemented with sidewalk and intersection improvement plans.

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**Policy:** *Require developers to provide adequate on-site parking and/ or to contribute to a program to acquire and/ or maintain off-site joint-use facilities. [Circulation Element Policy C-4.2.1]*

**Consistency:** The proposed Four Seasons at Beaumont development will provide adequate on-site parking. The development standards for the Four Seasons at Beaumont development require 2 enclosed parking spaces per each unit for single family residential. For High Density Residential, 2 covered spaces per unit, plus a minimum of 0.2 spaces per unit for guest parking. The Village Centers will also be required to provide extensive on-site parking areas.

**Policy:** *Require transportation demand management plans to be submitted for preliminary review at the Specific Plan or Plot Plan stage of site development and submitted for final approval prior to the issuance of building permits, in accordance with the City's Transportation Demand Management Ordinance. [Circulation Element Policy C-5.1.1]*

**Consistency:** As a condition on development, the Four Seasons at Beaumont Specific Plan has submitted a preliminary transportation demand management plan, with final approval prior to the issuance of building permits, in accordance with the City's Transportation Demand Management Ordinance.

## HOUSING ELEMENT

**Policy:** *To provide for opportunities for new construction methods and housing types to increase the supply of housing for all segments of the population. [Housing Element, V.]*

**Consistency:** The Four Seasons at Beaumont development includes a variety of housing densities that will permit a diverse mix of housing opportunities. Housing densities range from higher-density duplexes to lower-density single-family residential units.

**Policy:** *Encourage the development of a full spectrum of new housing, including products for upper income groups. [Housing Element, V.]*

**Consistency:** The Four Seasons at Beaumont Specific Plan provides a full spectrum of new housing from single family attached/ duplex units (9.0 DU/ AC maximum) to low-density housing (4.5 DU/ AC maximum) to accommodate upper income groups.

## NATURAL RESOURCES AND CONSERVATION ELEMENT

**Policy:** *Through proper site planning the city shall encourage developers to minimize the amount of grading needed for development. [Land Resources 4.a]*

**Consistency:** Project grading would be minimized due to the generally flat nature of the portion of the project site proposed for development. Some 44 acres of natural open space that contains challenging terrain will be preserved. Development within

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the Four Seasons at Beaumont Specific Plan area will comply with all City regulations regarding grading.

**Policy:** *To reduce wind and water soil erosion every effort should be made to preserve the existing vegetation cover. [Land Resources 4.b]*

**Consistency:** Development within the Four Seasons at Beaumont Specific Plan area will comply with all City regulations regarding grading and construction. The project is proposed in phases to reduce wind and soil erosion.

**Policy:** *When appropriate, structures should be designed to retain precipitation and runoff. Some methods that could be used to minimize runoff and enhance infiltration are: precast concrete lattice blocks and bricks, terraces, diversions, seepage pits, and recharge basins. [Water Resources 4.b]*

**Consistency:** The project site is located within the Beaumont Storage Unit of the San Gorgonio Pass water storage basin. Builders who develop in the Four Seasons at Beaumont Specific Plan area would incorporate design features to minimize runoff and enhance filtration to the extent feasible. The project storm drain system is intended to be directed to a series of water quality detention basins.

**Policy:** *The City shall advocate water conservation techniques appropriate for new and existing developments. [Water Resources 4.c]*

**Consistency:** The Four Seasons at Beaumont Specific Plan project will incorporate water conservation measures, which include water-conserving features in the design of residential and common areas, and drought resistant landscape design.

**Policy:** *Wildlife and natural vegetation should be preserved and protected from harmful pesticide and herbicide uses that can spread from developed or agricultural areas by wind and water. [Plant and Animal Resources 3.d]*

**Consistency:** No plant or wildlife species sanctioned as rare or endangered by the California Department of Fish and Game, California Native Plant Species, or the U.S. Fish and Wildlife Service has been observed during federal protocol surveys. Prior to start of development, appropriate clearances will be obtained from Federal and State agencies in accordance with the requirements and mitigation measures of the EIR.

**Policy:** *Native drought-resistant plant species should be used for landscaping. [Plant and Animal Resources 3.h]*

**Consistency:** The Four Seasons at Beaumont Specific Plan provides for the drought resistant plant species within the overall landscape design.

**Policy:** *Land Use: To plan urban land uses with a balance of residential, industrial, commercial and public land uses. [Energy Resources 3.a]*

**Consistency:** The Four Seasons at Beaumont Specific Plan provides a balance of residential and recreational land uses connected by an off- and on-street trail/ bikeway network. The proposed pedestrian and bicycle network provides opportunities for the residents to utilize alternative modes of transportation to schools, parks and commercial areas within or outside of the project, further conserving energy resources.

**Policy:** *Energy Conservation: To encourage and actively support the utilization of energy conservation measures in all new and existing structures. [Energy Resources 3.c]*

**Consistency:** The developer/ builder of the Four Seasons at Beaumont Specific Plan would construct structures in accordance with the UBC and other codes. Energy conservation measures would be incorporated to the extent feasible.

**Policy:** *To require new Specific Plans to allocate 25% or more of areas classified 1.2 Low Density, or 50% or more of areas classified 1.1 Rural Density to open space, recreation, parks greenbelts, common landscaped areas, public facilities, and/ or affordable housing uses. [Open Space Component 3.e]*

**Consistency:** The Four Seasons at Beaumont Specific Plan is an Amendment to the HovChild Specific Plan. Rather than provide a 78.5 acre executive golf course, and 26.6 acres of other parks and open space (105.1 acres total) consistent with the HovChild Specific Plan, the Four Seasons at Beaumont Specific Plan provides a total of 163.5 acres of parks/ open space and recreational facilities. The Four Seasons recreational acreage will consist of 146.5 acres of natural open space, manufactured slopes and trail/ riparian corridors; and 17 acres of Village Centers, incorporating active recreational facilities for project residents.

**Policy:** *To utilize a system of tree planting along both sides of the Edison powerline easement in accordance with the Parks/ Open Space/ City Beautification Plan, and Natural Resources and Conservation Element. [Open Space Component 3.g]*

**Consistency:** The developer/ builder will coordinate with the City and Edison representative regarding compliance with the Parks/ Open Space/ City Beautification Plan.

**Policy:** *Identification of resources shall be completed at the earliest stage of project planning and review. [Cultural and Historical Resources 5.b Policies (1)]*

**Consistency:** Identification of resources has been conducted as part of the Hovchild Specific Plan Environmental Impact Report (EIR) and supplemental technical studies. Although no resources have been identified within the project site, mitigation measures identified within the Hovchild Specific Plan EIR and the addendum thereto will be implemented.

## PUBLIC SAFETY ELEMENT

**Policy:** *To establish development standards for land use, new construction and proposed improvements to ensure proper design and location of structures. [Public Safety Element C.1.e]*

**Consistency:** The Four Seasons at Beaumont Specific Plan provides detailed development standards for the project. The developer/ builder of the Four Seasons at Beaumont Specific Plan will comply with UBC and other codes.

**Policy:** *To regulate development of major watercourses and flood plains through application of appropriate land use measures. [Public Safety Element D.4.b (2)]*

**Consistency:** The Four Seasons at Beaumont Specific Plan provides a comprehensive storm drainage system incorporated within the riparian corridor and designed to reinforce the function thereof as greenway and habitat. Detention and/ or water quality basins will be provided onsite as necessary to control the quality and quantity of surface water flows passing out of the project site.

**Policy:** *Clearing only that acreage which is absolutely necessary during windy periods. [Public Safety Element E.2.a]*

**Consistency:** The developer/ builder of the Four Seasons at Beaumont Specific Plan will comply identified air quality mitigation measures as identified with the EIR. The project will be phased to reduce overall grading and reduce clearing of vegetation.

**Policy:** *To coordinate land use proposal reviews with the Police Department to assure that police patrol services are adequately addressed. [Public Safety Element F.3.e]*

**Consistency:** The Four Seasons at Beaumont Specific Plan will participate in fair-share safety mitigation fees and to the City's general Fund to provide for additional staffing.

## PUBLIC SERVICE AND FACILITIES

**Policy:** *Set aside flood control channel areas as Open Space to provide a buffer zone of safety and scenery. [Public Services and Facilities 6.3.c]*

**Consistency:** The Four Seasons at Beaumont Specific Plan's riparian corridors will incorporate Potrero Creek and its major drainages. Revegetation of greenway areas within these corridors will be consistent with Regional Water Quality Control Board guidelines. These riparian corridors also will contain open space trails for residents to access and enjoy the greenways.

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**Policy:** Solid Waste Recycling and Reuse: To promote the utilization of waste recycling and reuse measures which extend the operating life of existing solid waste facilities. [Public Services and Facilities D.3.b]

**Consistency:** The Four Seasons at Beaumont Specific Plan will comply with State, County and Local requirements regarding Solid Waste Management requirements.

**Policy:** System Capacity and Phasing: To ensure the adequacy of water system capacity and phasing, in consultation with the regional service providing agency(ies), in order to serve existing and future development as defined by the General Plan. [Public Services and Facilities E.3.a]

**Consistency:** The Four Seasons at Beaumont Specific Plan potable water system includes new pipelines and appropriate storage reservoirs. The City of Beaumont and BCVWD shall review water demands for conformance and ability to serve.

**Policy:** Water Quality: to protect water quality in both delivery systems and groundwater basins through effective wastewater system management. [Public Services and Facilities F.3.a]

**Consistency:** Protection of water quality will occur through the Four Seasons at Beaumont Specific Plan's compliance with the National Pollution Discharge Elimination System (NPDES) Permit, Storm Water Pollution Prevention Plan (SWPPP), in addition to a Water Quality Management Plan.

**Policy:** Except for sites of historic, scientific, education, special resource or revenue-producing importance, community parks, which are acquired prior to, or part of, the development process shall be approximately ten acres or more. Local parks shall be two acres or more. [Public Services and Facilities J.3.a (1)]

**Consistency:** The Four Seasons at Beaumont Specific Plan will provide three Village Centers, which will provide focused active recreational opportunities for active adults within a total of 17 acres. These are intended as private facilities for the use of residents of the community. Although no community parks are proposed, approximately 81.1 acres of Trails/ Riparian Corridors, and approximately 44.1 acres of Natural Open Space offer further passive recreational opportunities for project residents.

**Policy:** Recreation facility sites shall be located and designed to provide for accessibility by law enforcement and emergency vehicles. [Public Services and Facilities J.3.a (8)]

**Consistency:** The Four Seasons at Beaumont Specific Plan recreational facilities will be designed in accordance with City requirements to ensure access by law enforcement and emergency vehicles.

**Policy:** Flood plains may be included as part of recreation facility sites, provided the man-made recreation improvements have been planned to accommodate the additional risk and will not obstruct the passage of a 100-year flood. [Public Services and Facilities J.3.a (9)]

**Consistency:** Along Potrero Creek and its major drainages, the Four Seasons at Beaumont Specific Plan will incorporate restored and enhanced riparian areas as a part of a greenway/ paseo network. The greenways will include detention features to control the rate and extent of surface flows leaving the property.

**Policy:** *To acquire park lands by requiring residential developers to provide a minimum of 5.0 net acres of usable local park land (i.e., park land that is relatively level, served by utilities for multi-purpose playfields, court sports, etc.) for each prospective 1,000 residents. Credit banking shall be permitted when a developer provides the full requirement in acreage and also provides improvements. [Public Services and Facilities K.2.a.1 (b)]*

**Consistency:** The projected Four Seasons at Beaumont residential population, if not age restricted, @ 3.2 persons/ DU, is a maximum 7,680 people. For this projected population, a maximum of 38.4 acres would be required by the City. For an age-restricted population living in the Four Seasons at Beaumont development, @ 1.8 persons/ DU, a maximum population of 4,320 people is projected. For this projected population, a maximum of 21.6 acres would be required by the City. To respond to recreation demand, the Four Seasons at Beaumont Specific Plan dedicates and develops approximately 17 acres of active recreational facilities in three Village Centers. Each of these Village Centers would be located near a particular section of the development and easily accessible to all residents by the development's trail network. These active facilities, combined with the 81.1 acres of Trails/ Riparian Corridors, and 44.1 acres of Natural Open Space provide a wealth of recreational opportunities exceeding either parkland requirement above.

**Policy:** *Riding and hiking trails along natural watercourses or flood control channels shall, where feasible, be located outside the 25-year flood plain. [Public Services and Facilities L.3.a (4)]*

**Consistency:** The Four Seasons at Beaumont Specific Plan proposes off-street trails adjacent to drainage channels outside of designated flood plain.

**Policy:** *Recognize and support the school districts' impact mitigation policy to ensure the timely provision of adequate school facilities for all new development consistent with a cooperative agreement between the City and districts and the adoption of a City ordinance to implement the policy. [Public Services and Facilities M.3.e]*

**Consistency:** The Four Seasons at Beaumont Specific Plan proposes to provide no educational use sites, since its residential products are aimed at older active adults that would not be expected to create significant demand for schools. Payment of school impact mitigation fees shall be provided to the Beaumont Unified School District as required based on whether or not such impacts are identified in the future (e.g. if residential product segments are aimed at younger adults with school-age children).

## NOISE ELEMENT

**Policy:** *The City shall require an environmental and noise impact evaluation for all projects as part of the design review process to determine if unacceptable noise levels will be created or experienced. Zone B, as defined in Exhibit 11, shall be considered the Noise Referral Zone in which noise considerations should be included when making land use policy decisions. Zone C, as described in Exhibit 11, shall define areas for which new noise sensitive developments will be permitted only if appropriate mitigation measures are included such that the standards contained in this Noise Element are achieved. Should noise abatement be necessary, the City shall require the implementation of mitigation measures based on a detailed technical study prepared by a qualified acoustical engineer (i.e., a Registered Professional Engineer in the State of California with a minimum of three years experience in acoustics). [Noise Element 3.0, 3.1, Policy 1.b]*

**Consistency:** The Four Seasons at Beaumont Specific Plan will implement the mitigation measures for noise identified in the project EIR.

**SECTION VIII**  
**RESOLUTION No. 2004-31 AND**  
**CONDITIONS OF APPROVAL**

**RESOLUTION 2004 - 31**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BEAUMONT,  
CALIFORNIA, APPROVING THE FOUR SEASONS SPECIFIC PLAN,  
AN AMENDMENT TO THE HOVCHILD SPECIFIC PLAN  
(K. HOVNAHIAN COMPANIES)**

WHEREAS, an application was duly filed by K. Hovnanian Companies to amend the Hovchild Specific Plan, previously approved by the City Council in 1989, for a 565.5 acre site generally located southwesterly of Highland Springs Avenue and future Potrero Boulevard; and

WHEREAS, a public hearing was held before the Beaumont Planning Commission on May 11, and May 25, 2004, and after a thorough evaluation the Planning Commission has recommended that the City Council approve the proposed amendment of the Hovchild Specific Plan, now titled "Four Seasons Specific Plan"; and

WHEREAS, a Public Hearing before the City Council was called for June 1, 2004 at 6:00 p.m., and notice for such hearing was given to all affected property owners, as shown on the last equalized assessment roll, in the manner and for time required by law; and

WHEREAS, the "Hovchild Specific Plan Environmental Impact Report", was previously certified by the City Council in 1989 and was found to comply with the requirements of the California Environmental Quality Act and the City of Beaumont Guidelines for its implementation; and

WHEREAS, an Addendum has been prepared with respect to the aforementioned Environmental Impact Report, and the analysis contained in said Addendum concludes that physical circumstances remain substantively unchanged and the proposed changes in the project are minor, and thereby the findings, conclusions and mitigation measures contained in the original Hovchild Specific Plan Environmental Impact Report, as amended in the Addendum, remain valid, current and pertinent; and

WHEREAS, said Public Hearing was duly held at said time and the proposed Environmental Impact Report Addendum and Specific Plan Amendment were reviewed by the Beaumont City Council.

**NOW THEREFORE, IT IS HEREBY RESOLVED BY THE CITY COUNCIL OF THE CITY OF BEAUMONT, CALIFORNIA, AS FOLLOWS:**

**SECTION 1:** The Addendum to the Hovchild Specific Plan Environmental Impact Report is hereby found to address the potential impacts and changes to impacts resulting from the proposed amendment of the Hovchild Specific Plan, and complies with the requirements of the California Environmental Quality Act and the City of Beaumont Guidelines for its implementation.

**RESOLUTION NO. 2004 - 31**

**SECTION 2:** The Four Seasons Specific Plan will establish the precise land use and zoning standards for site development in accordance with the provisions of the Specific Plan Area (SP-A) Zone.

**SECTION 3:** The Four Seasons Specific Plan is consistent with the Land Use Element of the City of Beaumont General Plan and other applicable General Plan policies and elements.

**SECTION 4:** The City Council hereby adopts the Addendum to the Hovchild Specific Plan Environmental Impact Report and approves the Four Seasons Specific Plan subject to the Conditions contained in Exhibit "A" attached hereto.

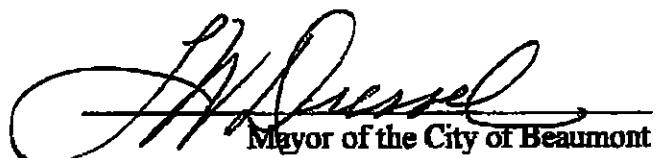
**MOVED, PASSED AND ADOPTED** this 1st day of June, 2004, upon the following vote:

**AYES:** Mayor Dressel, Council Members DeForge, Berg, Fox, and Killough.

**NOES:** None

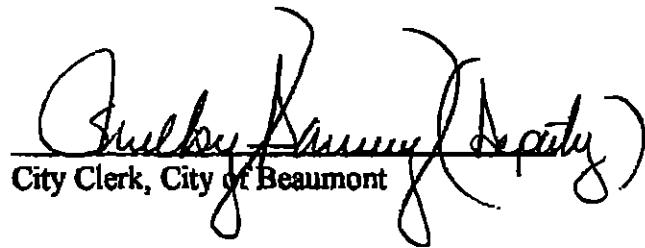
**ABSTAIN:** None

**ABSTAIN:** None.



\_\_\_\_\_  
Mayor of the City of Beaumont

Attest:



\_\_\_\_\_  
Shirley B. Burrey (Deputy)  
City Clerk, City of Beaumont

**EXHIBIT "A"**

**FOUR SEASONS SPECIFIC PLAN  
(AMENDMENT TO HOVCHILD SPECIFIC PLAN)  
CONDITIONS OF APPROVAL**

**GENERAL CONDITIONS**

1. The following conditions of approval are for the **FOUR SEASONS SPECIFIC PLAN** and consist of Conditions 1 through 37 inclusive.
2. The Four Seasons Specific Plan shall consist of the following, components as approved through City of Beaumont City Council Resolution No. 2004 - 31, adopted on June 1, 2004.
  - a. Approved Four Seasons Specific Plan Text (final document incorporating all changes made through public hearing process).
  - b. Exhibit "A": Conditions of Approval

All mitigation measures as contained in the previously certified Hovchild Specific Plan Environmental Impact Report and the Addendum prepared for the Four Seasons Specific Plan shall be conditions of approval for the project. Subsequent to the completion of the public hearing process, the Applicant shall finalize the Specific Plan to incorporate all changes and modifications, and provide the Director of Planning with 20 bound and one reproducible copies of the Specific Plan text and exhibits. The applicant shall also prepare a mitigation monitoring program, inclusive of all mitigation measures specified in the Environmental Impact Report and Addendum, for the approval of the Director of Planning.

3. If any of the following conditions of approval differ from the Specific Plan text or exhibits, the conditions enumerated herein shall take precedence.
4. Mitigation measures for impacts to the Beaumont Unified School District and any other districts which may ultimately serve the project shall be identified prior to the approval of implementing tentative subdivision maps and plot plans in accordance with the State laws.
5. The development standards contained in the approved Specific Plan shall become the prevailing land use regulations for the areas contained within the area of the project. These regulations will have full force of the Zoning Ordinance of the Beaumont Municipal Code through application of the SP-A (Specific Plan Area) Zone. Where conflicts exist between approved Specific Plan and the Beaumont Zoning Ordinance, the Specific Plan regulations shall prevail. Subject to the vesting effect of the Development

**Four Seasons Specific Plan  
Conditions of Approval**

Agreement, where conflicts existing between the Specific Plan and the provisions of the Municipal Code, other than the Zoning Ordinance, the provisions of the Municipal Code shall prevail.

6. Development applications for development portions of the Specific Plan area which incorporate common areas shall be accompanied by design plans for the common area. Such plans shall specify the location and extent of landscaping and irrigation systems. Additionally, all circulation components (vehicular, pedestrian and/or equestrian) shall be indicated, and the approximate locations of structures or groups of structures shall be indicated.
7. A parcel map filed for the purposes of phasing or financing shall not be considered a development application for the purpose of these conditions.
8. The Planning Director may require special studies or reports in connection with implementing development applications for each planning area, if and to the extent reasonably necessary for appropriate review of a development application or as required under applicable law (subject to the vesting effect of the accompanying Development Agreement). Such reports may include, where appropriate:

**Study/Report**

- a. Preliminary Soils and Geotechnical Report
- b. Erosion and Sedimentation Control Plan
- c. Streetscape, parkway and median landscape plan
- d. Fencing and wall plan
- e. Traffic and circulation assessment to document adequacy/function of proposed improvements
- f. Fuel modification plan
- g. Acoustical Study

9. Common and/or slope areas identified in the Specific Plan and/or subsequent implementing subdivision maps shall be owned and maintained as follows:

**Four Seasons Specific Plan  
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- a. One or more permanent master maintenance organization(s) shall be established for all common areas, to assume ownership and maintenance responsibility for all common recreation, open space, circulation systems and landscaped areas. Such organizations may be public or private. Assumption of such responsibilities by existing local, area-wide or regional organizations shall satisfy this condition provided that such organizations are legally and financially capable of assuming such responsibilities. Private neighborhood associations may be established for residential developments containing common areas.
  - b. Unless otherwise provided for in these conditions of approval, or permitted by the Planning Director, the relevant maintenance organization shall be established and common areas shall be conveyed to the maintenance organization not later than thirty days after completion of construction of common area improvements.
10. If any of the permanent master maintenance organizations referenced in Condition of Approval No. 9 is a public organization, the Developer shall comply with the following conditions:
  - a. Not later than thirty days after completion of construction of the relevant common area improvements, the Applicant shall convey to such organization or the City, as appropriate, fee simple title to all common or common open space areas, free and clear of all liens, due but unpaid taxes, assessments, leases (recorded and unrecorded) and easements, except those easements which in the reasonable judgment of the City would not interfere with the intended use of such area. As a condition precedent to the City accepting title to such areas, the subdivider shall submit the following documents to the Planning Director and City Attorney:
    - 1) A declaration of covenants, conditions and restrictions; and
    - 2) A sample form of document for conveying title to the purchaser of an individual lot or unit which provides that the declaration of covenants, conditions and restrictions is incorporated therein by reference.
  - b. The declaration of covenants, conditions and restrictions submitted for review shall (i) provide for a term of not less than 60 years, (ii) provide for the establishment of a property owners' association comprised of the collective owners of any applicable common areas and (iii) contain provisions substantially in the following form:

**Four Seasons Specific Plan  
Conditions of Approval**

- 1) *The property owners' association conditionally required herein shall, if not then formed or in good standing, be activated, by incorporation or otherwise, at the request of the City of Beaumont, and thereafter the property owners' association shall unconditionally accept from the City, upon demand, title to all or any part of the 'common area,' more particularly described on Exhibit \_\_\_\_\_ attached hereto, provided that such common area is in substantially the same physical condition and state of title as it was when conveyed by the Applicant to the City of Beaumont. The decision to require activation of the property owners' association and the decision to require that the association unconditionally accept title to the 'common area' shall be at the sole discretion of the City of Beaumont.*
- 2) *In the event that the common area, or any part thereof, is conveyed to the property owners' association, the association thereafter shall own such 'common area,' shall manage and continuously maintain such 'common area' and shall not sell or transfer such 'common area,' or any part thereof, absent the prior written consent of the Planning Director. The property owners' association shall have the right to assess the owners who default in the payment of a maintenance assessment and upon the recordation of a notice of default assessment, the property owners' association shall have a lien securing payment of such assessment, which lien shall be forecloseable by the property owners' association by power of sale in the same manner as a deed of trust may be foreclosed. Such a default assessment lien, once notice is recorded, shall be prior to all other liens recorded subsequent to recordation of the notice.*
- 3) *This Declaration shall not be terminated, substantially amended or property de-annexed therefrom absent the prior written consent of the Planning Director. A proposed amendment shall be considered 'substantial' if it materially affects the extent, usage or maintenance of the 'common area.'*
- 4) *In the event of any conflict between this Declaration and the Articles of Incorporation, the Bylaws, or the property owners' association Rules and Regulations, if any, this Declaration shall control."*

c. Once approved, the declaration of covenants, conditions and restrictions shall be recorded at the same time that the final map is recorded.

11. If the permanent master maintenance organization referenced in Condition of Approval No. 9.a is a private organization, the Developer shall comply with the following condition:

**Four Seasons Specific Plan**  
**Conditions of Approval**

- a. Prior to recordation of any final subdivision map or issuance of building permits in the case of use permits and plot plans, the subdivider shall submit the following documents to Planning Department for review, which documents shall be subject to the approval of that Department and the City Attorney:
  - 1) A declaration of covenants, conditions and restrictions; and
  - 2) A sample form of document for conveying title to the purchaser of any individual lot or unit which provides that the declaration of covenants, conditions and restrictions is incorporated therein by reference.
- b. The declaration of covenants, conditions and restrictions submitted for review shall (i) provide for a term of not less than 60 years, (ii) provide for the establishment of a property owners' association comprised of the owners of each individual lot or unit and (iii) provide for ownership of the common area by either the property owners' association of the owners of each individual lot or unit as tenants in common and (iv) contain provisions substantially in the following form:
  - 1) *The property owners' association established herein shall manage and continuously maintain the 'common area,' more particularly described on Exhibit ' ' attached hereto, and shall not sell or transfer the 'common area' or any part thereof, absent the prior written consent of the Planning Director.*
  - 2) *The property owners' association shall have the right to assess the owners of each individual lot or unit for the reasonable cost of maintaining such 'common area.' The property owners' association shall have the right to assess the owners who default in the payment of a maintenance assessment and upon the recordation of a notice of default assessment, the property owners' association shall have a lien securing payment of such assessment, which lien shall be forecloseable by the property owners' association by power of sale in the same manner as a deed of trust may be foreclosed. Such a default assessment lien, once notice is recorded, shall be prior to all other liens recorded subsequently to recordation of the notice.*
  - 3) *This Declaration shall not be terminated, 'substantially' amended or property de-annexed therefrom absent the prior written consent of the Planning Director. A proposed amendment shall be considered 'substantial' if it materially affects the extent, usage or maintenance of the 'common area.'*

**Four Seasons Specific Plan  
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- 4) *In the event of any conflict between this Declaration and the Articles of Incorporation, the Bylaws, or the property owners' association Rules and Regulations, if any, this Declaration shall control."*
- c. Once approved, the declaration of covenants, conditions and restrictions shall be recorded at the same time the final map is recorded.
12. Prior to the recordation of any final subdivision map, or building permits being issued in the case of conditional use permits and plot plans, the Applicant shall submit to the Planning Department the following documents which shall demonstrate the satisfaction of the City that the appropriate individual property owners' associations will be established and will operate in accordance with the intent of these conditions of approval:
  - a. The form of document to convey title; and
  - b. Covenants, Conditions and Restrictions to be recorded.
13. Prior to issuance of a building permit for the construction of any use contemplated by this approval, the Applicant shall first obtain clearance from the Planning Department that all pertinent conditions of approval of the Specific Plan have been satisfied for the subject phase of development.
14. Prior to the submittal of any subsequent development applications or the issuance of any permits twenty (20) copies of the final Specific Plan document shall be submitted to the Planning Department for distribution. The documents shall include the final City Council resolution, the final Specific Plan conditions of approval, and any corrections, modifications or additions resulting from the hearing and approval process.
15. The Specific Plan shall remain unmodified (except for modifications requested by the Applicant and approved by the City) for 20 years. Should the entire project not be built out in that period of time, the City shall be entitled to adopt amendments for any portion of the project which has not been constructed within 20 years.
16. The Applicant (or its successor-in-interest, as the case may be) shall defend, indemnify, and hold harmless the City of Beaumont, its agents, consultants, officers, and employees from any third-party claim, action or proceeding against the City of Beaumont or this agents, consultants, officers, or employees to attach, set aside, void or annul an approval of the City of Beaumont, its advisory agencies, appeal boards or legislative body concerning the Four Seasons Specific Plan. The City of Beaumont will promptly notify the Applicant or its successor of any such claim, action, or proceeding against the City

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of Beaumont and will cooperate fully in the defense.

17. The Developer shall defend, indemnify and hold harmless the City of Beaumont and its employees, agents, consultants, officers and contractors from any third-party claim, action or proceeding related to the environmental documentation pursuant to the California Environmental Quality Act associated with the Four Seasons Specific Plan.
18. In accordance with Section 711.4 of the California Fish and Game Code, the Applicant/subdivider is obligated to pay a filing fee to defray cost incurred by the Department of Fish and Game in managing and protecting fish and wildlife trust resources. The Applicant/subdivider is also obligated to pay a documentary handling fee to defray costs incurred by the City of Beaumont in implementing the Department of Fish and Game filing fee program. These fees shall be paid to the County Clerk if the County of Riverside at the time of filing a notice of determination pursuant to Section 21152 of the Public Resources Code. Applicant shall not be entitled to exercise its rights under the Planned Unit Development Plan or the Development Agreement until such fees have been paid. The amount of the fees shall be in accordance with legally adopted fees at the time of the filing of the notice of determination.

**LAND USE CONDITIONS**

19. The Specific Plan may be developed up to a maximum yield of 2,400 dwelling units. Densities for each Planning Area shown in Exhibit 3 of the Specific Plan shall be determined through the appropriate development application, but not limited to, the following:
  - a. Adequate availability of services;
  - b. Adequate access and circulation;
  - c. Sensitivity to land forms;
  - d. Innovation in housing types, design, conservation, or opportunities;
  - e. Sensitivity to neighborhood design through appropriate lot and street layouts; and
  - f. Compliance with these conditions of approval, and the plan modifications provided for in these Conditions of Approval.
20. The Specific Plan Land Use diagram, Exhibit 3 of the Specific Plan, and all pertinent text, shall be modified as may be required in the final document, to be compiled subsequent to City Council approval of the Four Seasons Specific Plan, to reflect the following requirements and conditions:
  - a. Any development proposed for Planning Areas 2, 4, 7, 11, 12, 17, 18, 22, 23, 24,

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29, 32 and/or 33 shall be subject to the filing of a plot plan application and the approval of the Planning Commission. These Planning Areas provide for small-lot and/or attached residential products.

- b. In order to preclude vehicular traffic conflicts, throughout the project, no residential lots shall have driveway access on any public or private street where traffic volumes are projected to be greater than 1,200 Average Daily Trips (ADT).
- c. All residential front yards shall be fully landscaped and irrigated by the Developer. All lots shall provide for a minimum of one 15 gallon front yard tree and one 15 gallon accent tree.
- d. The Specific Plan shall be amended to stipulate that the project is specifically to be developed as an active adult/age restricted community. Development in a manner inconsistent with an active adult/age restricted community shall require the approval of a Specific Plan Amendment by the City of Beaumont.

21. Lots created pursuant to this planned unit development shall be in conformance with the development standards of the SP-A zone as established by this Specific Plan and the corresponding Planning Area standards for each Planning Area. With respect to any proposed attached products, patio homes, duplexes, townhomes, condominiums, and/or development areas with detached single-family lots which are smaller than 4,000 square feet, such uses shall be subject to the prior approval of a Plot Plan Application, inclusive of detailed architectural and landscape design, and a review of available on and off street parking, by the Planning Commission.

22. All grading within the project shall be performed in accordance with the following conditions and development criteria:

- a. All grading shall take place in accordance with the City's adopted policies in effect at the time permits are issued and the grading criteria contained in the Specific Plan.
- b. Where cut and fill slopes are created in excess of 3 feet in vertical cut height or 3 feet in vertical fill height, detailed landscaping and irrigation plans shall be submitted to the City prior to approval of grading plans. The plans will be reviewed for type and density of ground cover, seed mix, plant materials, staking details, and sizes and irrigation systems.

23. Applicant shall incorporate the following defensible space concepts into the design of

**Four Seasons Specific Plan  
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projects which shall be included within all development plans and reviewed and approved by the City Police Department prior to approval of implementing projects:

- a. Circulation for pedestrians, vehicles and police patrols.
- b. Lighting of streets, walkways, bikeways, and commercial and industrial areas.
- c. Visibility of doors and windows from the street and between buildings.
- d. Fencing heights and materials.

24. In the event that, during or following grading of the project site or portions thereof, economic or other conditions prevent the Developer from continuing with the project within a reasonable amount of time, as determined by the City, the City shall so notify the Developer who shall contact the City Planning Department to identify necessary activities that the Developer must implement to protect public safety and minimize/prevent environmental degradation, particularly due to wind and water erosion. The Developer shall be required to reimburse the City for the cost of activities to satisfy this condition.

25. Density transfer within the various components of the project and planning areas shall be subject to the limitations contained in the Administrative section of the Four Seasons Specific Plan and a limitation of 10 percent maximum between Planning Areas. In conjunction with any request to transfer density, the Developer shall submit a report outlining the status of the entire project in terms of (a) areas developed and undeveloped, (b) density previously transferred, and (c) quantitative impact on remaining development entitlement allocations.

26. Each developer shall use its best efforts to ensure that all construction contractors and subcontractors properly dispose of all wastes generated in permitted landfills or with a licensed recycling company. If any improper dumping of construction waste occurs, the developer of the portion of the Specific Plan area from which such wastes were taken shall guarantee reimbursement to the City of costs incurred by it associated with clean up, proper disposal, any necessary revegetation and legal penalties and remedies.

27. Construction areas shall be fenced as required by the City to preclude the creation of an attractive nuisance and to limit access to and disturbance of sensitive habitat areas.

**PHASING CONDITIONS**

28. Construction of the development permitted hereby, including recordation of final subdivision maps, may be conducted progressively in stages, provided adequate vehicular access, infrastructure and public services are provided for all dwelling units and

**Four Seasons Specific Plan  
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non-residential land uses in each stage of development, and further, provided that such phase of development conforms substantially with the intent and purpose of the Four Seasons Specific Plan Master Phasing Program and subsequent amendment as determined by the Planning Director.

**PARKS AND RECREATION CONDITIONS**

29. Development of the property shall be accompanied by the provision of the equivalent of fully improved and usable park area consistent with the General Plan standard of five (5) acres per 1,000 population. Phased dedication and payment of in-lieu fees, as detailed herein, shall be to the City or Homeowners' Association for maintenance by a Community Facilities District or other suitable maintenance entity.
30. Prior to, or concurrent with, the recordation of any final subdivision map, the respective developer shall submit a detailed parks and open space plan, which clearly illustrates compliance with these conditions of approval, usable acreage and the nature and extent of landscaping and facilities proposed, for the approval of the Planning Director, inclusive of the following elements:
  - a. Site Plan
  - b. Grading Plan
  - c. Landscape, Lighting and Irrigation Plan
  - d. Architectural Plans, where appropriate
  - e. Detailed Cost Estimates
  - f. Other Plans as determined appropriate by the Planning Director
31. The park sites required through Condition No. 30 to be provided on-site as part of the project shall be delivered in a finished condition, with grading, utilities and public infrastructure improvements fully in place. In addition, the Applicant shall be solely responsible for all improvements at each of the park sites stipulated in Condition No. 29 in accordance with the Specific Plan. Phasing of park facilities shall be based upon the following:
  - a. Prior to the occupancy of a total of 500 dwelling units in the project, including units previously constructed or for which permits have to date been issued, sufficient park area in compliance with condition of approval No. 29, fully usable as determined by the Planning Director, shall be completed and accepted by the City or Homeowners' Association for maintenance. The developer shall be responsible for park maintenance until acceptance thereof.
  - b. As development proceeds further in the project, upon the issuance of building

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permits for the subsequent 500 units (resulting in a total of 1,000 building permits for the project in its entirety), sufficient park area in compliance with condition of approval No. 29, fully usable as determined by the Planning Director, shall be completed and accepted by the City. This procedure and phasing program shall be employed for each successive increment of 500 units through the completion of the project.

- c. The applicant shall be responsible for ensuring that park phasing occurs in a manner consistent with these conditions, and shall report on a periodic basis in writing to the City to determine compliance with these conditions.

**INFRASTRUCTURE CONDITIONS**

- 32. Drainage and flood control facilities and improvements shall be provided in accordance with City requirements. A detailed engineered hydrology study shall be submitted for the approval of the Public Works Director prior to the recordation of any subdivision map.
- 33. An amendment to CEQA required the preparation of a program to ensure that all mitigation measures are fully and completely implemented. The Environmental Impact Report and Addendum for the project impose certain mitigation measures on the project. The mitigation monitoring program for the Four Seasons Specific Plan EIR Addendum is hereby incorporated and performance of the mitigation measures set forth therein is a condition of approval of the Specific Plan.
- 34. The applicant is responsible for the payment of developer fees as established in the benefit assessment district formed by the Cities of Beaumont and Banning for Highland Springs Avenue grade separation.
- 35. Through Community Facilities District No. 93-1, and/or through payment of development impact fees, the Developer shall be responsible for funding the project's fair share infrastructure and facility costs, including freeway ramp improvements, signalization, and improvements to roadways within and accessing the site, as specified in the traffic analysis contained in the Addendum to the Environmental Impact Report.
- 36. Right-of-way shall be provided for and dedicated for the ultimate improvement of all roadways within or adjoining the project area in accordance with the City of Beaumont General Plan Circulation Element.

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37. The applicant shall provide a further detailed transportation study, for the approval and acceptance of the Director of Planning, illustrating the incremental phasing of transportation improvements in conjunction with the phased development of the project. The objective of this analysis shall be to evaluate the Levels of Service (LOS) and function of the circulation system as the project is developed, and to ensure the proper management of traffic until all required improvements are completed at the conclusion of the project.

## **EXHIBIT A**

### **CITY OF BEAUMONT SUBDIVISION CONDITIONS OF APPROVAL**

**TENTATIVE TRACT MAP NO. 32260  
APN: 421-130-010, 011, 017, 018, 020 & 021  
K. HOVNANIAN COMPANIES**

**CITY COUNCIL  
APPROVAL DATE:**

**June 1, 2004**

#### **1.0 STANDARD CONDITIONS**

- 1.1 The following conditions of approval are for **TENTATIVE TRACT NO. 32260**, and consist of Conditions 1.1 through 1.13, Conditions 2.1 through 2.7, Conditions 3.1 through 3.18, Conditions 4.1 through 4.15 , Conditions 5.1 through 5.11, Conditions 6.1 through 6.9; and pages 1 through 13, inclusive.
- 1.2 The subdivider shall defend, indemnify, and hold harmless the City of Beaumont, its agents, officers, and employees from any claim, action, or proceeding against the City of Beaumont, its agents, officers, or employees to attack, set aside, void, or annul an approval of the City of Beaumont, its advisory agencies, appeal boards, or legislative body concerning **TENTATIVE TRACT NO. 32260 and the Hovchild Environmental Impact Report, and the Addendum thereto**, which action is brought within the time period provided for in California Government Code, Section 66499.37. The City of Beaumont will promptly notify the subdivider of any such claim, action, or proceeding against the City of Beaumont and will cooperate fully in the defense. If the City fails to promptly notify the subdivider of any such claim, action, or proceeding or fails to cooperate fully in the defense, the subdivider shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Beaumont.
- 1.3 The subdivision shall comply with the State of California Subdivision Map Act and to all the pertinent requirements of The Beaumont Municipal Code, unless modified by the conditions listed below.
- 1.4 Notwithstanding provisions in the Development Agreement contrary thereto, this conditionally approved tentative map will expire two (2) years after the original approval date, unless extended as provided by the Beaumont Municipal Code, the State Subdivision Map Act or by a development agreement.

**Tentative Tract No. 32260**

**Conditions of Approval**

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Action on a minor change and/or revised map request will not extend the time limits of the tentative map. The City Council approval date on the original tentative map is June 1, 2004.

- 1.5 The final map shall be prepared by a licensed land surveyor or registered civil engineer subject to all the requirements of the State of California Subdivision Map Act and The Beaumont Municipal Code.
- 1.6 If required by the Director of Planning, within ten (10) days of approval by the City Council ten(10) copies of an Amended Per Final Conditions map shall be submitted to and approved by the Planning Director prior to release of the final conditions of approval. The amended map shall be in substantial conformance with Exhibit B.
- 1.7 Any subsequent review/approvals required by the conditions of approval, including but not limited to grading, landscaping, plot plan and/or building plan review, shall be reviewed on an hourly basis based on, or such fee as may be in effect at the time of submittal, listed in Ordinance No. 506.
- 1.8 The subdivider shall be fully responsible for maintenance and upkeep of any and all slopes, landscaped areas, open space areas, future development areas and irrigation systems until such time as maintenance responsibilities are assumed by other as approved by the Planning Director.
- 1.9 The properties contained within Tentative Tract No.32260 are part of the Four Seasons Specific Plan, approved by the Beaumont City Council on June 1, 2004. The provisions and criteria of the Four Seasons Specific Plan shall control and guide the development of Tentative Tract No. 32260.
- 1.10 An Environmental Report was prepared and certified for the Hovchild Specific Plan, an Addendum was prepared for the subsequent amendment entitled Four Seasons Specific Plan, and a series of mitigation measures were adopted by the City Council to mitigate the potential environmental impacts of the project. All of the mitigation measures set forth in the subject environmental document are herewith established as conditions of approval for Tentative Tract No. 32260.
- 1.11 Execution of the project will necessitate the conducting of mitigation monitoring by the City to ensure that all of the mitigation measures set forth in the Environmental Impact Report and Addendum are systematically implemented. The subdivider shall fund the mitigation monitoring requirements by paying an amount equal to the City's actual contracting cost for such services, plus a 15 percent administrative charge.

**Tentative Tract No. 32260**  
**Conditions of Approval**  
**Page 3**

- 1.12 Tentative Tract No. 32260 has been found to be substantially in conformance with the Four Seasons Specific Plan.
- 1.13 The recommendations and mitigation measures contained in the Traffic Impact Analysis prepared by Urban Crossroads, dated 2004, shall be incorporated into the design of the Final Map and subsequent development plans, and shall be fully implemented in the construction of the project, and the respective phases in which the project may be developed.

**2.0 AGENCY CONDITIONS**

- 2.1 The subdivider shall comply with the requirements set forth in the City Public Works Director conditions, a copy of which is attached.
- 2.2 The subdivider shall comply with the requirements of the Beaumont Police Department.
- 2.3 The subdivider shall comply with the requirements of the Riverside County Fire Department.
- 2.4 The subdivider shall comply with the requirements of the Beaumont-Cherry Valley Water District.
- 2.5 The subdivider shall comply with the requirements as set forth by the Caltrans.
- 2.6 The subdivider shall comply with the requirements of the Southern California Gas Company.
- 2.7 The subdivider shall comply with the requirement as set forth by the Beaumont Unified School District.

**3.0 RECORDATION CONDITIONS**

Prior to the RECORDATION of any final map, all the following conditions shall be satisfied:

- 3.1 The subdivider shall submit written clearances to the Public Works Director that all pertinent requirements from the following agencies have been met:

**Tentative Tract No. 32260**  
**Conditions of Approval**  
**Page 4**

**County Fire Department**  
**City Police Department**  
**City Community and Economic Development Department**

- 3.2 All public street road easements shall be offered for dedication to the public and shall continue in force until the governing body accepts or abandons such offers. All dedications shall be free from all encumbrances as approved by the Public Works Director. Street names shall be subject to the approval of the Public Works Director. Secondary access shall be offered for dedication and improved from the tract map boundary to a City maintained road as approved by the Public Works Director prior to recordation. The final street sections, configurations and improvements shall be subject to the approval of the Public Works Director.
- 3.3 All delinquent property taxes, special taxes and assessments shall be paid to the Riverside County Tax Collectors Office.
- 3.4 Easements, when required for roadway slopes, drainage facilities, utilities, etc., shall be shown on the final map if they are located within the land division boundary. All offers of dedication and conveyances shall be submitted and recorded as directed by the Public Works Director.
- 3.5 Lots created by this subdivision shall comply with the following:
  - a. Lots created by this subdivision shall be in conformance with the development standards of the Four Seasons Specific Plan and the substantial conformance documentation submitted in conjunction with this subdivision map.
  - b. When lots are crossed by public utility easements, each lot shall have a net usable area of not less than 3,400 square feet, exclusive of all easements, with the exception of a three (3) foot public utility easement.
- 3.6 No lots fronting on knuckles, or cul-de-sacs shall have less than twenty-five (25) feet of frontage measured at the property line, with the exception of flag lots as approved by the Director of Planning.
- 3.7 This subdivision may be recorded in phases subject to the following:
  - a. Phasing, including phase boundaries and sequencing, shall be subject to Planning Director approval.

**Tentative Tract No. 32260**  
**Conditions of Approval**  
**Page 5**

- b. Common open space area improvement phasing, shall be required subject to Planning Director approval.
- 3.8 Consistent with City standards and the Beaumont General Plan, the subdivider is obligated to provide fully improved park space at a ratio of 5 acres per 1,000 population. Said conditions of approval require of park improvements and/or fees, and these requirements shall be applicable on a pro-rata basis for this subdivision as set forth in the conditions of approval for the Four Seasons Specific Plan. The plans for the required park area shall be approved by the City Council prior to recordation of the final map.
- 3.9 The open space areas described in Condition No. 3.8 and otherwise set forth in the Four Seasons Specific Plan, shall, as applicable, be shown as numbered lots on the final map, shall be improved and offered for dedication to the City/CFD, Homeowners' Association or other maintenance entity approved by the Planning Director.
- 3.10 The subdivider shall comply with the following park, open space and parkway landscaping conditions for open space areas described in Condition Nos. 3.8:
  - a. The subdivider shall post a landscape performance bond or other acceptable security approved by the Planning Director which shall be released concurrently with the assumption of the maintenance responsibility by the City, CFD, Homeowners' Association or other entity approved pursuant to Condition No. 3.9. The bond or security shall include ninety (90) days of landscape maintenance costs.
  - b. The subdivider shall file a plot plan application including detailed landscaping and irrigation plans for the subject area. The plot plan shall require all improvements to be constructed concurrently with the development of the residential lots which are part of this tract.
- 3.11 The subdivider shall convey to the approved landscape maintenance entity fee simple title at no cost to the entity all park and open space areas, free and clear of all liens, taxes, assessment, leases (recorded and unrecorded) and easements, except those easements which in the sole discretion of the entity are acceptable.
- 3.12 The maintenance and management of common open space areas and common facilities shall be conducted as set forth herein and approved by the Director of Planning. All provisions of said condition shall be satisfied prior to map recordation.

**Tentative Tract No. 32260**  
**Conditions of Approval**  
**Page 6**

- 3.13 A hydrology study, to the satisfaction of the Public Works Director, shall be prepared and approved prior to recordation. Said hydrology study shall be based upon methodology which is acceptable to the Riverside County Flood Control and Water Conservation District, and shall address the potential impacts of the project, as well as downstream impacts resulting from the project, and shall identify the level of responsibility of the project in correcting any downstream problems.
- 3.14 The subdivider shall be responsible for the provision of a fair share of the necessary roadway, water, sewer and drainage facilities for the orderly implementation of the Four Seasons Specific Plan and the existing master plans for these facilities. Prior to recordation, the subdivider shall work with the City and the Public Works Director to establish the necessary financing and implementation measures to ensure the provision of a fair share of such necessary facilities.
- 3.15 The final map shall provide for the establishment of Project and Neighborhood Entry Feature(s), as set forth in the design details contained in the Four Seasons Specific Plan. The final map shall reflect the appropriate corner cut-offs to accommodate the required entry treatments.
- 3.16 The following changes and modifications to the Tentative Tract Map shall be reflected in the Final Map and in the execution of the project:
  - a. A total landscaped parkway width of a least 20 feet shall be provided along Highland Springs Avenue.
  - b. A total landscaped parkway width with a minimum average of 20 feet shall be provided along the project's entry roads and internal loop street. The 20 foot area may include slope areas which are landscaped and sidewalks.
- 3.17 The applicant shall provide a further detailed transportation study, for the approval and acceptance of the Director of Planning, illustrating the incremental phasing of transportation improvements in conjunction with the phased development of the project. The objective of this analysis shall be to evaluate the Levels of Service (LOS) and function of the circulation system as the project is developed, and to ensure the proper management of traffic until all required improvements are completed at the conclusion of the project.
- 3.18 An analysis shall be conducted to ensure that no lot shall face any street, or any portion of street, which is projected to experience traffic levels of greater than 1,200 vehicular trips per day (ADT).

#### **4.0 GRADING CONDITIONS**

- 4.1 Prior to the issuance of **GRADING PERMITS**, the subdivider shall comply with all the following grading conditions:

  - a. The land divider or developer shall submit five (5) prints of a comprehensive grading plan to the Public Works Director which complies with the Uniform Building Code, Chapter 70, the Beaumont Municipal Code and as may be additionally provided for in these conditions.
  - b. A grading permit shall be obtained from the City Public Works Department prior to commencement of any grading.
  - c. Graded land shall be provided with erosion control measures as approved by the Public Works Director.
- 4.2 Detailed landscaping and irrigation plans shall be submitted to and approved by the Planning Director for the phase of development in process. The plans shall address all areas and aspects of the tract requiring landscaping and irrigation to be installed including, but not limited to, parkway planting, recreation trails, street trees, slope planting, common area and/or park landscaping. The plans shall be certified by a landscape architect, and shall provide for the following:

  - a. Permanent automatic irrigation systems shall be installed on all landscaped areas requiring irrigation. Low water use systems shall be specified.
  - b. Landscape screening where required shall be designed to be opaque up to a minimum height of six (6) feet at maturity.
  - c. All utility service areas and enclosures shall be screened from view with landscaping and decorative barriers or baffle treatments, as approved by the Planning Director. Utilities shall be placed underground wherever feasible.
  - d. Landscaping plans shall incorporate the use of specimen accent trees (24" box minimum) at key visual focal points within the project.
  - e. Where street trees cannot be planted within the right-of-way of interior streets and project parkways due to insufficient road right-of-way, they shall be planted outside of the road right-of-way.

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- f. Landscaping plans shall incorporate native, low water using and drought tolerant plants where appropriate.
- g. All specimen trees on the subject property shall be shown on grading plans. Trees intended for retention and/or removal shall be so noted on the project grading plans. Replacement trees for those to be removed shall also be shown on the project grading plans.
- h. All trees shall be minimum double-staked. Weaker and/or slow-growing trees shall be steel-staked.

4.3 Three (3) sets of detailed landscaping and irrigation plans shall be submitted pursuant to the Conditions of Approval with a processing fee of \$300.00 to the Community and Economic Development Department.

4.4 No grading permits shall be issued for any proposed new structures outside the areas shown on the approved tentative map unless otherwise approved by the Planning Director and the Public Works Director.

4.5 If grading is proposed for five (5) or more acres or is part of a larger project that will disturb five (5) or more acres it shall require a National Pollutant Discharge Elimination System (NPDES) Construction General Permit from the State Water Resources Control Board. Grading permits shall not be issued until the Public Works Director has determined that the project has complied with the current City requirements for compliance with the NPDES Construction General Permit.

4.6 If the project grading is to be phased, prior to issuance of a grading permit, an overall conceptual grading plan shall be submitted to the Public Works Director and Planning Director for approval. The plan shall be used as a guideline for subsequent detailed grading plans for individual phases of development and shall include the following:

- a. Techniques which will be utilized to prevent erosion and sedimentation during and after the grading process.
- b. Approximate time frames for grading and identification of areas which may be graded during the higher probability rain months of December through March.
- c. Preliminary pad and roadway elevations.

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d. Areas of temporary grading outside of a particular phase.

4.7 Driveways shall be designed so as not to exceed a fifteen (15) percent grade.

4.8 The subdivider shall provide evidence to the Public Works Director that all off-site grading areas have recorded grading and drainage easements and that maintenance responsibilities have been assigned as approved by the Public Works Director.

4.9 A qualified paleontologist shall be retained by the subdivider for consultation and comment on the proposed grading with respect to potential paleontological impacts. Should the paleontologist find the potential is high for impact to significant resources, a pre-grade meeting between the paleontologist, the City Public Works Director and the grading contractor shall be arranged. When necessary, the paleontologist or representative shall have the authority to temporarily divert, redirect, or halt grading activity to allow recovery of fossils. The paleontologist shall submit in writing to the Planning Director the results of the initial consultation and details of the fossil recovery plan if recovery was deemed necessary.

4.10 If required for the project, the subdivider shall pay at his or her sole expense and shall notify the Public Works Director in writing that the appropriate California Department of Fish and Game notification pursuant to Sections 1601/1603 of the California Fish and Game Code has taken place, or obtain an "Agreement Regarding Proposed Stream or Lake Alteration" (Section 1601/1603 Permit) should any grading be proposed within or along the banks of any natural watercourse. Copies of any agreement shall be submitted to the Public Works Director with the notification.

4.11 If required for the project, the subdivider shall pay at his or her sole expense and shall notify the Public Works Director in writing that the alteration of any watercourse or wetland complies with the U.S. Army Corps of Engineers (Corps) Nationwide Permit Conditions, or obtain a permit under Section 404 of the Clean Water Act should any grading or construction be proposed within or alongside the banks of the any watercourse or wetland where the Corps has jurisdiction. Copies of any agreements shall be submitted to the Public Works Director along with the notification.

4.12 Grading plans shall be submitted to the Public Works Director for review and approval. The plans shall include an erosion and siltation control element, as necessary, to prevent graded and cleared areas from being eroded, resulting in the transport of sediment into the watercourses and downstream where it may affect downstream properties and habitat. Approval of the grading plans is required to fulfill monitoring requirements of the California Environmental Quality Act (CEQA).

- 4.13 Any grading plans proposing grading adjacent to or within the open space lots shall be submitted to the Planning Director for review and approval.
- 4.14 Lots shall be graded to drain to the street with no cross lot drainage permitted. Lot drainage shall be indicated on all grading plans.
- 4.15 The subdivider shall submit two (2) copies of a soils report to the Public Works Director. The report shall address the soils stability and geologic conditions of the site as approved by the Public Works Director.

## **5.0 BUILDING CONDITIONS**

Prior to the issuance of **BUILDING PERMITS**, all the following conditions shall be satisfied:

- 5.1 The subdivider shall submit written clearances to the Planning Director that all pertinent requirements from the following agencies have been met:

**City Public Works Department**  
**Beaumont Unified School District**  
**Beaumont-Cherry Valley Water District**
- 5.2 Prior to submittal of architectural building plans and wall and fence plans to the Planning Director, an acoustical study shall be performed by an acoustical engineer to establish appropriate mitigation measures that shall be applied to individual dwelling units within the subdivision to reduce ambient interior noise levels to 45 Ldn, with particular emphasis on proposed dwelling units located near Highland Springs Avenue, Potrero Boulevard, the project entry roads and the loop road. The study shall be submitted to the Planning Director for review with a \$300.00 review fee and the approved recommendations shall be incorporated into the architectural building plans and wall and fence plans.
- 5.3 A detailed wall and fencing plan shall be submitted to and approved by the Planning Director and shall show all project walls and fencing including but not limited to perimeter fencing, side and rear yard fencing, and open space or park fencing. A typical elevation of all walls and fences shall be shown on the wall and fencing plan. Decorative block walls shall be constructed along all side or other yards adjacent to streets, or which are plainly visible, and in locations as may be required by the Planning Director.

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- 5.4 Roof-mounted mechanical equipment shall not be permitted within the subdivision, however, solar equipment or any other energy saving devices shall be permitted with Planning Director approval.
- 5.5 Building separation between all buildings shall not be less than as set forth in the Uniform Building Code. Fireplaces and media niches when connected to fire places may encroach two (2) feet into the side yard setback, however a minimum clear area of three (3) feet must be maintained in all instances.
- 5.6 All street side yard setbacks shall be a minimum of ten (10) feet.
- 5.7 All front yards shall be provided with landscaping and automatic irrigation systems, as approved by the Planning Director.
- 5.8 All wood fencing shall be treated water resistant paint or with heavy oil stain to match the natural shade.
- 5.9 All utility connections and easements shall be placed underground and shall not encroach into the driveway area unless otherwise approved by the Public Works Director.
- 5.10 A plot plan for all residential buildings, garages and accessory buildings for residential products which are attached, alley-loaded or developed on lots smaller than 4,000 square feet shall be submitted to the Planning Director accompanied by applicable filing fees for a plot plan not subject to the California Environmental Quality Act and not subject to review by any governmental agency other than the City of Beaumont. The plot plan shall require the approval of the Planning Commission. The plot plan shall contain the following elements:
  - a. A final site plan (1"=30' minimum scale precise grading plan) showing all lots, building footprints, setbacks, walls, fencing, the floor plan and elevations of individual lots.
  - b. One (1) color and materials sample board containing precise color texture and material swatches or photographs (which may be from supplier's brochures). Indicate on the sample board the name, address and phone number of the preparer and the project applicant, the tract number, and the manufacturer and product numbers when feasible (trade names also acceptable).

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- c. One (1) set of architectural elevations colored to represent the selected color combinations, with symbols keyed to the color and materials sample board. Brief written color and material descriptions shall be located on the colored elevations. No landscaping or other enhancements shall be shown on the elevations. Enhanced or upgraded rear and side facing architectural features shall be included for dwelling units adjacent to and visible from public roadways.
- d. Detailed wall and fencing plan for the subdivision, including colors, materials and locational details.
- e. An analysis of on and off street visitor parking demand with respect to residential products which are attached, alley-loaded or developed on lots smaller than 4,000 square feet, and a plan illustrating that such demands are adequately accommodated in the project.
- f. Five (5) sets of photographic or color laser prints (8 X 10 in.) of the sample board and colored elevations shall be submitted for permanent filing.

5.11 All residential units shall be served by a minimum of two access points at all times, for proper circulation and emergency vehicle ingress and egress, as approved by the Fire Department. Said access shall include, at a minimum, Highland Springs Avenue and a connection to the west via either First Street or Potrero Boulevard. Said access improvements shall be initiated prior to building permit issuance and completed prior to occupancy of any residential dwelling.

**6.0 FINAL INSPECTION/OCCUPANCY CONDITIONS**

Prior to the FINAL BUILDING INSPECTION or issuance of OCCUPANCY PERMITS, whichever occurs first, all the following conditions shall be satisfied:

- 6.1 Decorative block and sound walls shall be constructed subject to the approval of the Public Works Director and Planning Director. A graffiti resistant coating or landscaping shall be provided on all block walls.
- 6.2 Solid wood fences shall be constructed subject to the approval of the Public Works Director and Planning Director.
- 6.3 Wall and fence locations shall conform to the approved wall fencing plan and approved landscape and irrigation plans.

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- 6.4 All landscaping and irrigation shall be installed in accordance with approved plans. If the seasonal conditions do not permit planting, interim landscaping, and erosion control measures shall be utilized as approved by the Planning Director and the Public Works Director.
- 6.5 A licensed landscape architect shall provide a Compliance Letter to the Planning Director and the Public Works Director stating that the landscape and irrigation system has been installed in compliance with the approved landscaping and irrigation plans and conditions of approval. The Compliance Letter shall be submitted at least three (3) working days prior to any final building inspection or issuance of any occupancy permits, whichever occurs first.
- 6.6 All landscaping and irrigation shall be installed in accordance with approved plans and shall be verified by a City field inspection at the direction of the Planning Director.
- 6.7 All driveways shall be concrete paved.
- 6.8 The required park facilities shall be completed and issued a final building permit inspection consistent with the phasing schedule to be developed in the implementation of the Recordation Conditions set forth herein.
- 6.9 The subdivider shall submit to the Planning Director a duly and completely executed agreement with a CFD, Homeowners' Association or other maintenance entity approved by the Planning Director which demonstrates to the satisfaction of the City Attorney, Planning Director and Public Works Director that the subdivider has provided for the dedication and maintenance of landscaping, irrigation and open space areas. Model homes shall be exempt from this condition.

CITY OF BEAUMONT  
550 EAST 6TH STREET  
BEAUMONT CALIFORNIA 92223  
(909) 769-8520  
(909) 769-8526 FAX

Beaumont Police Department  
(Hand Deliver)

PLANNING DEPARTMENT  
PROJECT REVIEW TRANSMITTAL SHEET

ASSESS PCL NO.:	TRACT MAP /PARCEL MAP NO.:	
421-130-010,011,017,018,020, and 021	Tentative Map No. 32260	
BEAUMONT CASE NO.:	DATE:	RETURN COMMENTS BY:
04-TM-08	4/19/2004	5/05/2004

LOCATION:  
Located on the western side of Highland Springs Avenue, just south of the future extension of First Street.

TO:

<input type="checkbox"/> City Engineer	<input type="checkbox"/> Beaumont Unified School Dist.
<input type="checkbox"/> Riv. County Fire Dept w/ check	<input type="checkbox"/> Beaumont Cherry Valley Water Dist.
<input type="checkbox"/> Riv. County Flood Control w/check	<input type="checkbox"/> Beau CV Rec & Parks Dist.
<input type="checkbox"/> Riverside County Health	<input type="checkbox"/> Beaumont Library
<input type="checkbox"/> Riv. Co. Road Dept.	<input checked="" type="checkbox"/> Beaumont Police Department
<input type="checkbox"/> Riv Co. Planning Dept. Tm#1	<input type="checkbox"/> Beaumont Building and Safety
<input type="checkbox"/> Southern California Edison	<input type="checkbox"/> Beaumont City Manager
<input type="checkbox"/> Southern California Gas Company	<input type="checkbox"/> Beaumont Newspaper / Record Gaz
<input type="checkbox"/> Cal Trans	<input type="checkbox"/> Economic Development Director
<input type="checkbox"/> Verizon	<input type="checkbox"/> Other _____

BRIEF DESCRIPTION OF PROJECT:

This 139.47 acre site is part of the former Hovchild Specific Plan now called the Four Seasons Specific Plan. It will include 67.21 acres of residential lots, 36.35 acres of streets, and 35.91 acres of open space including parks and village centers.

Please review the attached tentative map/documents and return your comments or Conditions of Approval NO LATER THAN the date noted above. If additional time is needed, please so state in your recommendations or contact the Planning Director by telephone. There is no need to return the exhibit, you may keep it in your files. Should you have any questions, please do not hesitate to contact this department (909) 769-8520. Mailing Address: City of Beaumont, Planning Department, 550 E. 6th Street, Beaumont, Ca 92223

COMMENTS/RECOMMENDED CONDITIONS OF APPROVAL: (COMMENTS MAY BE ATTACHED)

Submitted by: L. Longfors Title: Planning Date: 4/19/04  
Signature: LL

- 1.) NUMBERED STREET NUMBERS ON ALL ROADS
- 2.) CANVASWOOD BLOCK WALLS TO GROW AGAINST GROVE

*Tentative Tract Map No. 32260  
Conditions of Approval*

**CONDITIONS OF APPROVAL  
TENTATIVE TRACT MAP NO. 32260**

**1.0 - GENERAL**

- 1.1 The design of the public infrastructure elements shall conform to the requirements of the City General Plan and the STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, current edition, as required and approved by the Public Works Director.
- 1.2 The following plans and reports shall be prepared by a competent California licensed civil engineer prior to any site development. All required plans shall be drawn in ink at appropriate scales on mylar sheets as approved by the Public Works Director.

1.21 Plans Required:

- A. Street Plans - Plan/Profile at 1" = 40' (Hor), 1" = 4' (Vert), plus Title/Index and Detail Sheets.
- B. Rough Grading 1" = 40', and Precise Grading Plan 1" = 30'.
- C. Water, Sewer and Storm Drain - Plan/Profile at 1" = 40' (Hor), 1" = 4' (Vert), plus Title/Index and Detail Sheets.
- D. Landscape/Irrigation - Plan 1" = 40'.
- E. Electrical and Street Lighting Plan 1" = 40'.
- F. Composite underground Utility Plan at 1" = 100' showing all curbs, sewer, water, and storm drain with valves, utility valves, manholes and service connections. Gas, electric, telephone, and CATV shall be shown schematically based on plans prepared by utility agencies.
- G. Storm Water Pollution Prevention Plan shall be prepared and approved by the California State Water Quality Control Board, Santa Ana Region prior to grading permit.

*Tentative Tract Map No. 32260  
Conditions of Approval*

1.22 Final Maps shall meet all requirements of the Beaumont Municipal Code, and shall include the following:

- A. All easements within the City of Beaumont's rights of way shall be subordinated to the City of Beaumont.
- B. All easements and rights of way, both existing and as required by the Public Works Director. All off site right of way required shall be acquired by the subdivider pursuant to the subdivision map act and the Beaumont Municipal Code.

1.23 Reports Required:

- A. A preliminary title report accompanied by copies of all recorded documents cited therein shall be submitted to the Public Works Director for review along with the first submittal of the final map for the checking.
- B. A preliminary soils report as prepared by a competent California licensed geotechnical engineer or civil engineer skilled in soils/foundation investigations shall be submitted for review by the Public Works Director along with the first submittal of Street Plans and/or other improvement plans for review. Within the required soils report special attention shall be directed to the ripability of the proposed roadcuts and stability of manufactured slopes.

The geotechnical engineer shall determine the setback requirements to support loading without failures in the soil mass.

- C. Any grading and/or utility excavations and backfilling, both on and off site, shall be done under the continuous direction of a licensed geotechnical engineer who shall obtain all required permits and submit reports on progress and test results to the Public Works Director for review and approval as determined by the City. Upon completion of all soils related work, the geotechnical engineer shall submit a final report to the Public Works Director for review and approval, which may require additional tests at the expense of the Subdivider.

Permits to build structures will not be issued until a Report has been submitted by a geotechnical engineer and approved by the Public Works Director attesting to the sufficiency of all building pads to sustain proposed

*Tentative Tract Map No. 32260  
Conditions of Approval*

foundation leading.

1.3 Fees Required:

- A. At the time of first submittal of Final map, the Subdivider shall pay to the City of Beaumont all applicable fees based on the requirements of City Resolution No. 1990-44. An Engineer's estimate of construction shall be prepared by the subdivider and approved by the Public Works Director.
- B. At the time of requesting recordation of Final Map, the Subdivider shall provide to the City a cash deposit based on the requirements of City Resolution No. 1990-44. This deposit shall guarantee setting of final survey monumentation within the Parcel Map. Said deposit will be refunded after the Public Works Director verifies that said monumentation has been set in accordance with the Final Map and that any required amended maps and/or certificates of correction have been recorded.
- C. Prior to issuance of any permits to construct any public improvements, the Subdivider shall pay to the City of Beaumont all applicable fees based on the requirements of City of Beaumont Resolution No. 1990-44.
- D. Prior to issuance of any permits to construct any improvements, securities to guarantee completion of construction and payment of labor and materials shall be provided by the subdivider and all assignees and successors to the City in accordance with Chapter 16.36 of the Beaumont Municipal Code.

**SECTION TWO - STREET IMPROVEMENTS**

2.10 Off-site street improvement requirements shall be constructed based on sensitivity analysis contained in the Traffic Study prepared for this development. The Subdivider shall be directly and solely responsible for the mitigation of impacts related to existing traffic levels plus project traffic plus background traffic increases prior to recordation of the final map. The subdivider shall obtain all required right of ways, construct all street improvements at the times required by the Traffic Study and approved by the Public Works Director.

*Tentative Tract Map No. 32260*  
*Conditions of Approval*

- 2.20 On-site street improvements shall be constructed as follows:
- 2.21 Typical street sections shown on the Tentative Tract Map for interior streets shall be followed. Final sections shall be approved by the Public Works Director prior to first submittal of street improvement plans.
- 2.22 Pavement structural section shall be designed based on soils tests (R-Value Tests) conducted by an acceptable soils testing laboratory and submitted by a California licensed geotechnical engineer for a Traffic Index as approved by the Public Works Director.
- 2.23 All sidewalks shall have a minimum unobstructed width of five feet, and the location of pedestrian ramps shall be determined by the Public Works Director in accordance with federal and state laws at the time of recordation.
- 2.24 All curb heights and gutter widths shall be based on requirements as set forth by the Hydrology/Hydraulics Report and approved by the Public Works Director.
- 2.25 All covers for utility manholes, valves, and vaults shall be adjusted to final grade after final paving. Street asphalt concrete pavement may be placed in multiple lifts depending on design asphalt thickness with the final lift placed prior to the first occupancy within that phase of development.
- 2.26 Prior to the time that lumber is deposited on site for approved construction in a specific phase, all curbs and gutters and pavement shall be completed within that phase area and compaction reports for utility trenches and street base shall be approved. Model complexes are excluded from this condition but are required to provide access and fire flow in a manner as approved by the Fire Department.
- 2.27 Streets shall not be paved until all underground utilities are installed. There shall be no intersecting street center lines less than 90° unless otherwise approved by the Public Works Director.
- 2.28 The minimum centerline radius for local streets (50'-60' ROW) shall be 300 feet unless otherwise approved by the Public Works Director.
- 2.29 The minimum centerline radius for collector streets (66' ROW) shall be 550 feet unless otherwise approved by the Public Works Director.
- 2.30 Sleeves for lighting and landscape purposes will be allowed in the public street right-of-way when necessary, subject to the approval of the Public Works Director.

*Tentative Tract Map No. 32260  
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**SECTION THREE - SEWER IMPROVEMENTS**

- 3.10 The sanitary sewer system shall be designed and constructed to collect and convey sewage to the City's Wastewater Treatment Plant on Fourth Street or a designated lift station in accordance with the Master Sewer Plan.
- 3.20 Sewer mains shall be a minimum diameter of 8" with VCP pipe and fittings unless otherwise approved by the Public Works Director. Service laterals shall be constructed with VCP. No structure shall be occupied until the collection system has been thoroughly cleaned, inspected, tested, and accepted for maintenance by the City Public Works Director. All manhole and cleanout covers within paved areas shall be adjusted to finished grades after paving is completed; and such adjustments shall be done in a manner as to prevent entry of silt and/or debris into the sewer system.

**SECTION FOUR - WATER IMPROVEMENTS**

- 4.10 The subdivider shall comply with the requirements of the Beaumont-Cherry Valley Water District.
- 4.11 All water valves and vault covers within paved areas shall be raised to finish surfaces and painted after paving is completed.
- 4.12 All fire hydrants, air vacs and other above ground water facilities shall be placed outside of sidewalk areas. Water meter boxes and vaults, valve covers, etc., may be placed within sidewalks or paved areas provided such devices are set flush with finished surfaces as approved by the Public Works Director.

**SECTION FIVE - STORM DRAIN IMPROVEMENTS**

- 5.10 The Subdivider shall demonstrate by hydraulic calculations that developed flows proposed to be discharged into and through existing or any other storm drain facilities shall not exceed the maximum flows for which said existing facilities are presently designed.
- 5.11 Storm flows may be conveyed in street sections to the extent that tops of curbs shall accommodate a 10-year storm and that right-of-way limits shall accommodate a 100-year storm. If storm flows cannot be adequately conveyed by street section, underground storm drains shall be provided as recommended in the Hydrology/Hydraulics report and approved by the Public Works Director.

*Tentative Tract Map No. 32260  
Conditions of Approval*

- 5.12 All storm drains, catch basins, the storm water runoff structures will be provided with adequate capabilities to filter and retain sediment and grit, oil and grease, to prevent pollution in storm water runoff in compliance with the City of Beaumont's best Management Practices and the Beaumont Drainage Master Plan for stormwater.
- 5.13 Prior to the recordation of each final map the subdivider shall construct temporary drainage facilities and erosion control as necessary to provide for storm runoff and minimize erosion and silt deposition. The subdivider shall obtain a National Pollutant Discharge Elimination System (NPDES) General Permit for storm water discharges associated with construction activities as directed by the California Water Resources Control Board and approved by the Public Works Director.

**SECTION SIX - TRAFFIC SAFETY**

- 6.10 Prior to the recordation of the final map, the Subdivider shall design and construct a street lighting system to the requirements of the AMERICAN NATIONAL STANDARD PRACTICE FOR ROADWAY LIGHTING and the City of Beaumont Lighting Standards. This lighting system shall utilize high-pressure Sodium Vapor lamps.
- 6.11 Street name signs, and traffic control devices shall be constructed in accordance with approved plans. Traffic control devices shall be required for construction work for on-site and off-site locations. Street names for this Tract shall be submitted to the Public Works Director for approval.
- 6.12 During construction, temporary traffic control devices shall be constructed as deemed necessary by the City Public Works Director at locations where construction traffic disrupts normal traffic. Such measures and devices shall include but not limited to: flagmen, barricades, portable electric traffic signals and street sweeping.

**SECTION SEVEN - ONSITE IMPROVEMENTS**

- 7.10 All lots shall be designed and graded to drain to fronting streets. No lot shall drain onto any property adjacent to the Tract. Lots shall be protected from storm runoff as approved by the Public Works Director.
- 7.11 All lots shall be provided with driveway approaches per City Standard Drawings. Sewer and water service pipelines shall be placed outside of driveway areas unless otherwise approved by the Public Works Director.

*Tentative Tract Map No. 32260*  
*Conditions of Approval*

7.12 The tops of all cut slopes shall be located at least two feet from rear yard property lines. Retaining walls shall be utilized where required by Public Works Director to ensure that unusable and non-visible slopes are not created at the sides or rear of any lot, and that there is a minimum "Flat" area of five feet width in all side yards.

**SECTION EIGHT - PARK AND LANDSCAPING**

8.10 Prior to the grading permit for any phase of development, the Subdivider shall prepare final improvement plans for the landscaping and irrigation of parks, landscaped areas, and all open spaces. Said plans be prepared by a California licensed Landscape Architect and shall be subject to the review and approval of the Public Works Director and Planning Director.

Sincerely,  
CITY OF BEAUMONT



John R. Wilder  
Assistant Director of Public Works



**Southern  
California  
Gas Company**

*File*

A  Sempra Energy™ company

June 10, 2004

**City of Beaumont  
550 East 6<sup>th</sup> Street  
Beaumont, CA 92223**

**Southern California  
Gas Company**

**9400 Oakdale Avenue  
Chatsworth, CA  
91313**

**Mailing Address:**

**P. O. Box 2300  
Chatsworth, CA  
91313-2300  
ML9314**

**tel 818-701-4546  
fax 818-701-3441**

**Re: TM 32260 - Highland Springs Ave, S/Future Extension of First St  
Four Seasons at Beaumont**

Southern California Gas Company-Transmission Department (The Gas Company) has received your request for pipeline locations within the general area of your proposed project. The Gas Company operates and maintains 30 - inch high pressure natural gas lines (2000) within the limits of your construction project. Attached are copies of our pipeline Atlas sheets (GI01C42) which show the location of our pipelines. While we cannot guarantee the accuracy of these maps they are included to assist you in your planning and design.

Design parameters for The Gas Company shall include:

- Consideration be given to the safety of our pipeline during the design and construction stages.
- No mechanical equipment will be permitted to operate within three horizontal feet of the pipeline, and any closer work must be done by hand.
- A representative of The Gas Company must observe the excavation around or near our facilities to insure protection and to record pertinent data necessary for our operations.

Upon request, at least two (2) working days prior to the start of construction, we will locate and mark our active underground facilities for the contractor at no cost. Please call Underground Service Alert (USA) at (800) 422-4133.

Arrangements for someone to stand-by and observe can be made by calling (714) 634-3196 two working days prior to the start of construction. We would appreciate it if you would place a note on your plans to that effect.

City of Beaumont

Page 2

**Re: TM 32260 - Highland Springs Ave, S/Future Extension of First St  
Four Seasons at Beaumont**

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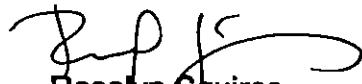
We will also require "final" grading plans and construction profiles prior to the start of construction.

Within the limits of your proposed construction, if you have not already done so, please contact the East Distribution Region of The Gas Company for information on their pipelines. You can contact them at (909) 335-7725 and they will furnish you with any information you may require.

If a conflict is identified and can only be resolved by the relocation of our facilities, please be advised that the projected timetable for the completion of this relocation is one year. This includes planning, design, material procurement, cathodic protection, permits, environmental issues and construction.

Please refer to our Document Control Plan File # 164-04-2000 and any correspondence directed to this office, in connection with this project. If you have further questions or require additional assistance, please contact Ron Silver at (818) 701-4536.

Sincerely,



Rosalyn Squires  
Pipeline Planning Assistant  
Transmission Department

cc: R.Silver  
TM32260 HighlandSpringsFirstSt 4Seasons BEAU.doc

CITY OF BEAUMONT  
550 EAST 6TH STREET  
BEAUMONT CALIFORNIA 92223  
(909) 769-8520  
(909) 769-8526 FAX

Beaumont Police Department  
(Hand Deliver)

PLANNING DEPARTMENT  
PROJECT REVIEW TRANSMITTAL SHEET

ASSESS PCL NO.:	TRACT MAP /PARCEL MAP NO.:	
421-130-010,011,017,018,020, and 021	Tentative Map No. 32260	
BEAUMONT CASE NO.:	DATE:	RETURN COMMENTS BY:
04-TM-08	4/19/2004	5/05/2004

LOCATION:  
Located on the western side of Highland Springs Avenue, just south of the future extension of First Street.

TO:

<input type="checkbox"/> City Engineer	<input type="checkbox"/> Beaumont Unified School Dist.
<input type="checkbox"/> Riv. County Fire Dept w/ check	<input type="checkbox"/> Beaumont Cherry Valley Water Dist.
<input type="checkbox"/> Riv. County Flood Control w/check	<input type="checkbox"/> Beau CV Rec & Parks Dist.
<input type="checkbox"/> Riverside County Health	<input type="checkbox"/> Beaumont Library
<input type="checkbox"/> Riv. Co. Road Dept.	<input checked="" type="checkbox"/> Beaumont Police Department
<input type="checkbox"/> Riv Co. Planning Dept. Tm#1	<input type="checkbox"/> Beaumont Building and Safety
<input type="checkbox"/> Southern California Edison	<input type="checkbox"/> Beaumont City Manager
<input type="checkbox"/> Southern California Gas Company	<input type="checkbox"/> Beaumont Newspaper / Record Gaz
<input type="checkbox"/> Cal Trans	<input type="checkbox"/> Economic Development Director
<input type="checkbox"/> Verizon	<input type="checkbox"/> Other _____

BRIEF DESCRIPTION OF PROJECT:

This 139.47 acre site is part of the former Hovchid Specific Plan now called the Four Seasons Specific Plan. It will include 67.21 acres of residential lots, 36.35 acres of streets, and 35.91 acres of open space including parks and village centers.

Please review the attached tentative map/documents and return your comments or Conditions of Approval NO LATER THAN the date noted above. If additional time is needed, please so state in your recommendations or contact the Planning Director by telephone. There is no need to return the exhibit, you may keep it in your files. Should you have any questions, please do not hesitate to contact this department (909) 769-8520. Mailing Address: City of Beaumont, Planning Department, 550 E. 6th Street, Beaumont, Ca 92223

COMMENTS/RECOMMENDED CONDITIONS OF APPROVAL: (COMMENTS MAY BE ATTACHED)

Submitted by: John Jason Title: Lieutenant Date: 4/19/04  
Signature: John Jason

- 1.) NUMBERED STREET NUMBERS ON ALL RESIDENTIAL
- 2.) LANDSCAPED BLOCK WALLS TO GUARD AGAINST GROWTH.



**CITY OF BEAUMONT**  
**550 EAST 6TH STREET**  
**BEAUMONT CALIFORNIA 92223**  
**(909) 769-8520**  
**(909) 769-8526 FAX**

<b>PLANNING DEPARTMENT</b> <b>PROJECT REVIEW TRANSMITTAL SHEET</b>		A. 2 v. 2004
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421-130-010,011,017,018,020, and 021	Tentative Map No. 32260
BEAUMONT CASE NO.:	DATE:
04-TM-08	4/19/2004
RETURN COMMENTS BY:	
5/05/2004	

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**TO:**

<input type="checkbox"/> City Engineer <input checked="" type="checkbox"/> Riv. County Fire Dept w/ check <input type="checkbox"/> Riv. County Flood Control w/ check <input type="checkbox"/> Riverside County Health <input type="checkbox"/> Riv. Co. Road Dept <input type="checkbox"/> Riv Co. Planning Dept. Trn#1 <input type="checkbox"/> Southern California Edison <input type="checkbox"/> Southern California Gas Company <input type="checkbox"/> Cal Trans <input type="checkbox"/> Verizon	<input type="checkbox"/> Beaumont Unified School Dist <input type="checkbox"/> Beaumont Cherry Valley Water Dist. <input type="checkbox"/> Beau CV Rec & Parks Dist. <input type="checkbox"/> Beaumont Library <input type="checkbox"/> Beaumont Police Department <input type="checkbox"/> Beaumont Building and Safety <input type="checkbox"/> Beaumont City Manager <input type="checkbox"/> Beaumont Newspaper / Record Gaz <input type="checkbox"/> Economic Development Director <input type="checkbox"/> Other
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**COMMENTS/RECOMMENDED CONDITIONS OF APPROVAL (COMMENTS MAY BE ATTACHED)**

Submitted by: \_\_\_\_\_ Title: \_\_\_\_\_ Date: \_\_\_\_\_  
 Signature: \_\_\_\_\_ *5-4-04*

*A1713319  
ar*

05-10-2004 02:47PM FROM-  
MAY-10-U4 MON 9:21 AM KIV LU MIKE PEE

T-442 P.011/015 F-858  
FAX NO. 90999994888  
R. J

RIVERSIDE COUNTY  
FIRE DEPARTMENT

In cooperation with the  
California Department of Forestry and Fire Protection

4080 Lemon St., 2<sup>nd</sup> FL, P.O. Box 1549, Riverside, Ca. 92502-1549 • (909) 955-4777 • (909) 955-4888  
Fire Protection Planning and Engineering Service Section

DATE: 5-10-04 RE: PM-TR 32240 PLANNER:

Tom Tisdale  
File Child

The Riverside County Fire Department requests an amended map with the following changes prior to issuance of letter of conditions:

- Show vicinity map with 2003 or later Thomas Brothers coordinates
- List all utility companies
- Driveway width not shown/incorrect minimum width \_\_\_\_\_
- Driveway grade not shown/incorrect maximum grade 15%
- Driveway surface not shown/incorrect, show asphalt or concrete
- Driveway radius not shown/incorrect. Contact Fire Dept. for guideline handout
- Fire Dept. turnaround not shown/incorrect. Contact Fire Dept. for guideline handout
- Fire Dept. turnout not shown/incorrect. Contact Fire Dept. for guideline handout
- Occup. classification per 2001 CBC not shown/incorrect for bldg(s) \_\_\_\_\_
- Type construction per 2001 CBC not shown/incorrect for bldg(s) \_\_\_\_\_
- Show square footage per floor, mezzanines and total for building, for each building shown
- Label all buildings as proposed or existing. Label existing building either to remain or to be removed
- Floor plans and elevations needed for buildings
- Show all bus zones, loading, unloading zones, etc
- Show location and size in gallons for all above/underground fuel tanks, waste oil, LPG and chemical tanks. (If no tanks state on plans)
- Medians must be setback 35 feet from face of curb and minimum 20 feet driving width each side of medium.

TTM SHOWS LESS, WILL  
NEED TO BE REVISED ON

O.K. PER S.P. & T.M.

- Gate width and/or type of gate not shown or incorrect. Gate must be a minimum feet in width, automatic and/or manual with a Rapid Entry System(s). Gate must be setback 35 feet from face of curb/road right of way. (If no gates state on plans)
- Project will require water service from a public water supply
- Cul-de-sac length too long for High Fire Hazard area maximum length 660 feet
- Cul-de-sac exceeds maximum length of 1320 feet
- Cul-de-sac length too long for State Responsibility Area maximum length 800 feet.
- Primary and secondary access not shown/incorrect
- Driveways must take their access from a public or private street. NOT an easement
- Vehicular access required within 150 feet of any portion of any building as measured along approved vehicular travel ways. Access shall be a minimum 24 feet in width, asphalt or concrete surface
- State on plans if this is a "SHELL BUILDING NO TENANT"=
- A Fire Protection Engineers Report shall be submitted for review and approval, prior to conditioning of the project.
- Fire flow letter was faxed/mailed on date: \_\_\_\_\_ to \_\_\_\_\_. Letter must be returned to fire Dept. prior to conditioning of project.
- Other 25' ROAD WIDTH (AUEY) IS NOT TO HAVE PARKING ON EITHER SIDE

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All question regarding these corrections contact the Fire Department Planning Section at 909-955-4777.

05/07/04  
08:03

Riverside County LMS  
CONDITIONS OF APPROVAL

Page: 1

## Library Conditions

### 10. GENERAL CONDITIONS

#### FIRE DEPARTMENT

10.FIRE.999

CASE - CITY CASE STATEMENT

DRAFT

With respect to the conditions of approval for the referenced project, the Fire Department recommends the following fire protection measures be provided in accordance with Riverside County Ordinances and/or recognized fire protection standards:

10.FIRE.999

MAP-#50-BLUE DOT REFLECTORS

DRAFT

Blue retroreflective pavement markers shall be mounted on private streets, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

10.FIRE.999

MAP\*-#16-HYDRANT/SPACING

DRAFT

Schedule A fire protection approved standard fire hydrants, (6"x4"x2 1/2") located one at each street intersection and spaced no more than 330 feet apart in any direction, with no portion of any lot frontage more than 165 feet from a hydrant. Minimum fire flow shall be (DD) GPM for 2 hour duration at 20 PSI. Shall include perimeter streets at each intersection and spaced 660 feet apart.

### 50. PRIOR TO MAP RECORDATION

#### FIRE DEPARTMENT

50.FIRE.999

MAP-#7-ECS-HAZ FIRE AREA

DRAFT

Ecs map must be stamped by the Riverside County Surveyor with the following note: The land division is located in the "Hazardous Fire Area" of Riverside County as shown on a map on file with the Clerk of the Board of Supervisors. Any building constructed on lots created by this land division shall comply with the special construction provisions contained in Riverside County Ordinance 787.

50.FIRE.999

MAP\*-#43-ECS-ROOFING MATERIAL

DRAFT

Ecs map must be stamped by the Riverside County Surveyor with the following note: All buildings shall be constructed with class "A" material as per the California

05/07/04  
08:03

Riverside County LMS  
CONDITIONS OF APPROVAL

Page: 2

Library Conditions

50. PRIOR TO MAP RECORDATION

50.FIRE.999 MAP\*-#43-ECS-ROOFING MATERIAL (cont.) DRAFT

Building Code.

50.FIRE.999 MAP-#004-ECS-FUEL MODIFICATION DRAFT

ECS map must be stamped by the Riverside County Surveyor with the following note: Prior to the issuance of a grading permit, the developer shall prepare and submit to the fire department for approval a fire protection/vegetation management that should include but not limited to the following items: a) Fuel modification to reduce fire loading. b) Appropriate fire breaks according to fuel load, slope and terrain. c) Non flammable walls along common boundaries between rear yards and open space. d) Emergency vehicle access into open space areas shall be provided at intervals not to exceed 1500'. e) A homeowner's association or appropriate district shall be responsible for maintenance of all fire protection measures within the open space areas.

ANY HABITAT CONSERVATION ISSUE AFFECTING THE FIRE DEPARTMENT FUEL MODIFICATION REQUIREMENT, SHALL HAVE CONCURRENCE WITH THE RESPONSIBLE WILDLIFE AND/OR OTHER CONSERVATION AGENCY.

50.FIRE.999 MAP-#46-WATER PLANS DRAFT

The applicant or developer shall furnish one copy of the water system plans to the Fire Department for review. Plans shall be signed by a registered civil engineer, containing a Fire Department approval signature block, and shall conform to hydrant type, location, spacing and minimum fire flow. Once plans are signed by the local water company, the originals shall be presented to the Fire Department for signature.

50.FIRE.999 MAP-#53-ECS-WTR PRIOR/COMBUS DRAFT

Ecs map must be stamped by the Riverside County Surveyor with the following note: The required water system, including fire hydrants, shall be installed and accepted by the appropriate water agency prior to any combustible building material placed on an individual lot.

05/07/04  
08:03

Riverside County LMS  
CONDITIONS OF APPROVAL

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### Library Conditions

60. PRIOR TO GRADING PRMT ISSUANCE

**FIRE DEPARTMENT**

60.FIRE.999 MAP-#004 FUEL MODIFICATION DRAFT

Prior to the issuance of a grading permit, the developer shall prepare and submit to the fire department for approval a fire protection/vegetation management plan that should include but not be limited to the following items:

- a) fuel modification to reduce fire loading
- b) appropriate fire breaks according to fuel load, slope and terrain.
- c) non flammable walls along common boundaries between rear yards and open space.
- d) emergency vehicle access into open space areas shall be provided at intervals not to exceed 1500 feet
- e) a homeowner's association or appropriate district shall be responsible for maintenance of all fire protection measures within open space areas.

NY HABITAT CONSERVATION ISSUE AFFECTING THE FIRE DEPARTMENT  
FUEL MODIFICATION REQUIREMENT, SHALL HAVE CONCURRENCE WITH  
THE RESPONSIBLE WILDLIFE AND/OR OTHER CONSERVATION AGENCY.

80. PRIOR TO BLDG PRMT ISSUANCE

## **FIRE DEPARTMENT**

80.FIRE.999 MAP-#50C-TRACT WATER VERIFICA DRAFT

The required water system, including all fire hydrant(s), shall be installed and accepted by the appropriate water agency and the Riverside County Fire Department prior to any combustible building material placed on an individual lot. Contact the Riverside County Fire Department to inspect the required fire flow, street signs, all weather surface, and all access and/or secondary. Approved water plans must be at the job site.

**CITY OF BEAUMONT  
SUBDIVISION  
CONDITIONS OF APPROVAL**

**AMENDMENT #5 TO TENTATIVE TRACT MAP NO. 33096**  
**(05-TM-06)**

APN: # 421-130-037, 58, 59, 61, 65-69, 71, 72, 74-76, 421-790-001 to 76, 421-800-001 to 62, 421-810-001 to 53, 421-820-001 to 05, 421-820-008 to 60, 421-820-062 to 67, 421-830-001 to 82, 421-840-001 to 35, 421-850-001 to 45, 421-860-001 to 43,  
421-870-001 to 90, 421-880-001 to 81, 421-890-001 to 50

**CITY COUNCIL  
APPROVAL DATES:**

**1<sup>st</sup> Approval: 7/19/2005**  
-----  
**Amendment #5  
Approval: 4/2/2013**

**APPLICANT: K.HOVANIAN COMPANIES**

**1.0 STANDARD CONDITIONS**

- 1.1 The following conditions of approval are for **TENTATIVE TRACT NO. 33096** and consist of Conditions 1.1 through 1.16, Conditions 2.1 through 2.7, Conditions 3.1 through 3.22, Conditions 4.1 through 4.16, Conditions 5.1 through 5.11, Conditions 6.1 through 6.11, and pages 1 through 13, inclusive.
- 1.2 The subdivider shall defend, indemnify, and hold harmless the City of Beaumont, its agents, officers, and employees from any claim, action, or proceeding against the City of Beaumont, its agents, officers, or employees to attack, set aside, void, or annul an approval of the City of Beaumont, its advisory agencies, appeal boards, or legislative body concerning **TENTATIVE TRACT NO. 33096, and the Hovchild Environmental Impact Report, and Addendum thereto**, which action is brought within the time period provided for in California Government Code, Section 66499.37. The City of Beaumont will promptly notify the subdivider of any such claim, action, or proceeding against the City of Beaumont and will cooperate fully in the defense. If the City fails to promptly notify the subdivider of any such claim, action, or proceeding or fails to cooperate fully in the defense, the subdivider shall not, thereafter, be responsible to defend, indemnify, or hold harmless the City of Beaumont.
- 1.3 The subdivision shall comply with the State of California Subdivision Map Act and to all the pertinent requirements of The Beaumont Municipal Code, unless modified by the conditions listed below.
- 1.4 This conditionally approved tentative map will expire two (2) years after the original approval date of the tentative map, unless extended as provided by the Beaumont Municipal Code, the State Subdivision Map Act or by a development agreement. Action on a minor change and/or revised map request will not extend the time limits of the tentative map. Approval of the tentative map by the City Council will occur on 4/2/13.

**TENTATIVE TRACT MAP NO. 33096****Amendment #5****Conditions of Approval****Page 2 of 13**

- 1.5 The final map shall be prepared by a licensed land surveyor or registered civil engineer subject to all the requirements of the State of California Subdivision Map Act and The Beaumont Municipal Code.
- 1.6 Within ten (10) days of approval by the City Council ten (10) copies of an Amended Per Final Conditions map shall be submitted to and approved by the Planning Director, if determined to be necessary, prior to release of the final conditions of approval. The amended map shall be in substantial conformance with the amended Specific Plan.
- 1.7 Any subsequent review/approvals required by the conditions of approval, including but not limited to grading, landscaping, plot plan and/or building plan review, shall be reviewed on an hourly basis based on, or such fee as may be in effect at the time of submittal, listed in Ordinance No. 506.
- 1.8 The subdivider shall be fully responsible for maintenance and upkeep of any and all slopes, landscaped areas, open space areas, future development areas and irrigation systems until such time as maintenance responsibilities are assumed by other as approved by the Planning Director.
- 1.9 The properties contained within Tentative Tract Map 33096 are part of the Four Seasons Specific Plan, approved originally by the Beaumont City Council on June 1, 2004 and later amended on March 15, 2011 and *draft*. The provisions and criteria of the Four Seasons Specific Plan shall control and guide the development of Tentative Tract Map 33096.
- 1.10 An Environmental Impact Report EIR was prepared and certified for the Hovchild Specific Plan, an Addendum was prepared for the subsequent amendment entitled "Four Seasons Specific Plan", and a series of mitigation measures were adopted by the City Council to mitigate the potential impacts of the project. All of the mitigation measures set forth in the subject environmental document are herewith established as conditions of approval for Tentative Tract No. 33096.
- 1.11 If human remains are encountered during grading and other construction excavation, work in the immediate vicinity shall cease and the County Coroner shall be contacted pursuant to State Health and Safety Code Section 7070.5.
- 1.12 In the event that significant Native American cultural resources are discovered during project development/construction, all work in the immediate vicinity shall cease and a qualified archaeologist meeting Secretary of Interior standards shall be retained to assess the find. Work on the overall project may continue during this assessment period. If a Treatment Plan or cultural resources management plan is required, the developer shall be required to have the archaeologist consult with the relevant Native American authority regarding the disposition of any found artifacts.
- 1.13 The development and uses entitled pursuant to the permit shall comply with the Beaumont

**TENTATIVE TRACT MAP NO. 33096**

**Amendment #5**

**Conditions of Approval**

**Page 3 of 13**

Municipal Code and all other applicable City of Beaumont ordinances and state and federal codes.

1.14 All subsequent submittals required by these conditions of approval, including but not limited to landscape plans, grading plans, building plans, improvement plans or mitigation monitoring plans, shall be subject to the payment of review fees by the permittee as set forth herein.

1.15 If deemed necessary by the Director of Planning, within thirty (30) days of approval by the Planning Commission ten (10) copies of an Amended Per Final Conditions set of the following Exhibits shall be submitted to the Planning Director and Public Works Director for review approval.

Exhibit "A" - Site Plan

Exhibit "B" - Grading and Erosion Control Plans

Exhibit "C" - Landscape and Irrigation Plans

Exhibit "D" - Wall and Fence Plans

1.16 The recommendations and mitigation measures contained in the Traffic Impact Analysis that was prepared by Urban Crossroads shall be incorporated into the design of the Final Map(s) and subsequent development plans, and shall be fully implemented in the construction of the project, and the respective phases in which the project may be developed.

**2.0 AGENCY CONDITIONS**

2.1 The subdivider shall comply with the requirements set forth in the City Public Works Director conditions, a copy of which is attached hereto.

2.2 The subdivider shall comply with the requirements of the Beaumont Police Department.

2.3 The subdivider shall comply with the requirements set forth by the City of Beaumont Fire Department.

2.4 The subdivider shall comply with the requirements as set forth by the Beaumont-Cherry Valley Water District.

2.5 The subdivider shall comply with the requirements set forth by Caltrans.

2.6 The subdivider shall comply with the requirements as set forth by the Southern California Gas Company.

2.7 The subdivider shall comply with the requirement as set forth by the Beaumont Unified School District.

**TENTATIVE TRACT MAP NO. 33096**

**Amendment #5**

**Conditions of Approval**

**Page 4 of 13**

**3.0 RECORDATION CONDITIONS**

Prior to the RECORDATION of any final map, all the following conditions shall be satisfied:

- 3.1 The subdivider shall submit written clearances to the Public Works Director that all pertinent requirements from the following agencies have been met:
  - City Fire Department
  - City Police Department
  - City Community and Economic Development Department
  - Beaumont Cherry Valley Water District
  - Beaumont Unified School District
- 3.2 All public road easements shall be offered for dedication to the public and shall continue in force until the governing body accepts or abandons such offers. All dedications shall be free from all encumbrances as approved by the Public Works Director. Street names shall be subject to the approval of the Public Works Director. Secondary access shall be offered for dedication and improved from the tract map boundary to a City maintained road as approved by the Public Works Director prior to recordation. The final street sections, configurations and improvements shall be subject to the approval of the Public Works Director.
- 3.3 All delinquent property taxes, special taxes and assessments shall be paid to the Riverside County Tax Collectors Office.
- 3.4 Easements, when required for roadway slopes, drainage facilities, utilities, etc., shall be shown on the final map if they are located within the land division boundary. All offers of dedication and conveyances shall be submitted and recorded as directed by the Public Works Director.
- 3.5 Lots created by this subdivision shall comply with the following:
  - a. Lots created by this subdivision shall be in conformance with the development standards of the Four Seasons Specific Plan and the substantial conformance documentation submitted in conjunction with this subdivision map.
  - b. When lots are crossed by public utility easements, each lot shall have a net useable area of not less than 3,400 square feet, exclusive of all easements, with the exception of a three (3) foot public utility easement.
- 3.6 No lots fronting on knuckles, or cul-de-sacs shall have less than twenty-five (25) feet of frontage measured at the property line, with the exception of flag lots as approved by the Director of Planning.
- 3.7 Utilities shall be installed underground as approved by the Public Works Director.

**TENTATIVE TRACT MAP NO. 33096**

**Amendment #5**

**Conditions of Approval**

**Page 5 of 13**

- 3.8 This subdivision may be recorded in phases subject to the following:
  - a. Phasing, including phase boundaries and sequences, shall be subject to Planning Director approval.
  - b. Common open space area improvement phasing, shall be required subject to Planning Director approval.
- 3.9 The subdivider is obligated to provide fully improved park space at a ratio of number of residences x 3.2 persons per household x 5 acres per 1,000 population. Said conditions of approval require park improvements and/or fees (\$4 per square foot of required park area), and these requirements shall be applicable on a pro-rata basis for the Four Seasons Specific Plan. The plans for the required park area shall be approved by the City Council prior to recordation of the final map.
- 3.10 The open space areas described in Condition No. 3.9 and otherwise set forth in the Four Seasons Specific Plan, shall, as applicable, be shown as numbered lots on the final map, shall be improved and offered for dedication to the City/CFD, Homeowners Association or other maintenance entity approved by the Planning Director.
- 3.11 The subdivider shall comply with the following park, open space and parkway landscaping conditions for open-space areas described in Condition No. 3.9.
  - a. The subdivider shall post a landscape performance bond or other acceptable security approved by the Planning Director which shall be released concurrently with the assumption of the maintenance responsibility by the City, Homeowners' Association or other entity approved pursuant to Condition 3.9. The bond or security shall include ninety (90) days of landscape maintenance costs.
  - b. The subdivider shall file a minor plot plan application including detailed landscaping and irrigation plans for the subject area. The minor plot plan shall require all improvements to be constructed concurrently with the development of the residential lots are part of this tract.
- 3.12 The subdivider shall convey to the approved landscape maintenance entity fee simple title at no cost to the entity all park and open space areas, free and clear of all liens, taxes, assessment, leases (recorded and unrecorded) and easements, except those easements which in the sole discretion of the entity are acceptable.
- 3.13 Any open space areas subject to the California Dept. of Fish and Game review, shall be offered to the City of Beaumont in fee, subject to the dedication of a Conservation Easement

**TENTATIVE TRACT MAP NO. 33096****Amendment #5****Conditions of Approval****Page 6 of 13**

in favor of the Beaumont Conservation Authority, unless otherwise required by the City of Beaumont or the California Dept. of Fish and Game.

- 3.14 The maintenance and management of common open space areas and common facilities shall be conducted as set forth herein and approved by the Director of Planning. All provisions of said condition shall be satisfied prior to map recordation.
- 3.15 A hydrology study, to the satisfaction of the Public Works Director, shall be prepared and approved prior to recordation. Said hydrology study shall be based upon methodology which is acceptable to the Riverside County Flood Control and Water Conservation District, and shall address the potential impacts of the project, as well as downstream impacts resulting from the project, and shall identify the level of responsibility of the project in correcting any downstream problems.
- 3.16 The subdivider shall be responsible for the provision of a fair share of the necessary roadway, water, sewer and drainage facilities for the orderly implementation of the Four Seasons Specific Plan and the existing master plans for these facilities. Prior to recordation, the subdivider shall work with the City and the Public Works Director to establish the necessary financing and implementation measures to ensure the provision of a fair share of such necessary facilities.
- 3.17 The final map shall provide for the establishment of Project and neighborhood Entry Feature(s), as set forth in the design details contained in the Four Seasons Specific Plan. The final map shall reflect the appropriate corner cut-offs to accommodate the required entry treatments.
- 3.18 A total of 20 final, blue-line, final maps shall be submitted to the Public Works Department for final distribution to the agencies.
- 3.19 All perimeter walls and/or walls that front streets must be block wall. No wood fencing shall be permitted in this project.
- 3.20 Covenants, Conditions and Restrictions (CC&R's) shall be prepared for the approval of the Planning Director for this subdivision, and after approval shall be recorded. The CC&R's shall provide for the establishment of a Homeowners' Association (HOA) which shall be responsible for maintaining all interior common elements.
- 3.21 The maintenance and management of common open-space shall be conducted as set forth herein and approved by the Director of Planning and by a Homeowners' Association (HOA). All provisions of the said condition shall be satisfied prior to map recordation.
- 3.22 The following changes and modifications to the Tentative Tract Map shall be reflected in the Final Map and in the execution of the project:

**TENTATIVE TRACT MAP NO. 33096**

**Amendment #5**

**Conditions of Approval**

**Page 7 of 13**

- a. A total landscape parkway width of at least 20 feet shall be provided along Highland Springs Avenue.
- b. A total landscaped parkway width with a minimum average of 20 feet shall be provided along the project's entry roads and interior loop streets. The 20 foot area may include slope areas which are landscaped and sidewalks.

**4.0 GRADING CONDITIONS**

- 4.1 Prior to the issuance of **GRADING PERMITS**, the subdivider shall comply with all the following grading conditions:
  - a. The land divider or developer shall submit five (5) prints of a comprehensive grading plan to the Public Works Director which complies with the 2010 California Building Code and Beaumont Municipal Code.
  - b. A grading permit shall be obtained from the City Public Works Department prior to commencement of any grading.
  - c. Graded land shall be provided with erosion control measures as approved by the Public Works Director.
- 4.2 Detailed landscaping and irrigation plans shall be submitted to and approved by the Planning Director for the phase of development in process. The plans shall address all areas and aspects of the tract requiring landscaping and irrigation to be installed, including but not limited to, parkway planting, recreation trails, street trees, slope planting, common area and/or park landscaping. The plans shall be certified by a landscape architect, and shall provide for the following:
  - a. Permanent automatic irrigation systems shall be installed on all landscaped areas requiring irrigation. Low water use systems shall be specified.
  - b. Landscape screening where required shall be designed to be opaque up to a minimum height of six (6) feet at maturity.
  - c. All utility service areas and enclosures shall be screened from view with landscaping and decorative barriers or baffle treatments, as approved by the Planning Director. Utilities shall be placed underground wherever feasible.
  - d. Landscaping plans shall incorporate the use of specimen accent trees (24" box minimum) at key visual focal points within the project.
  - e. Where street trees cannot be planted within the right-of-way of interior streets and project parkways due to insufficient road right-of-way, they shall be planted outside

**TENTATIVE TRACT MAP NO. 33096**

**Amendment #5**

**Conditions of Approval**

**Page 8 of 13**

of the road right-of-way.

- f. Landscaping plans shall incorporate native, low water using and drought tolerant plants where appropriate.
- g. All specimen trees on the subject property shall be shown on grading plans. Trees intended for retention and/or removal shall be so noted on the project grading plans. Replacement trees for those to be removed shall also be shown on the project grading plans.
- h. All trees shall be minimum double-staked. Weaker and/or slow-growing trees shall be steel-staked.
- i. All proposed landscaping shall adhere to the standards set forth under the Beaumont Municipal Code.

4.3 Three (3) sets of detailed landscaping and irrigation plans shall be submitted pursuant to the Conditions of Approval with applicable review fees to Community and Economic Development Department.

4.4 No grading permits shall be issued for any proposed new structures outside the areas shown on the approved tentative map unless otherwise approved by the Planning Director and the Public Works Director.

4.5 If grading is proposed for five (5) or more acres or is part of a larger project that will disturb five (5) or more acres it shall require a National Pollutant Discharge Elimination System (NPDES) Construction General Permit from the State Water Resources Control Board. Grading permits shall not be issued until the Public Works Director has determined that the project has complied with the current City requirements for compliance with the NPDES Construction General Permit.

4.6 If the project grading is to be phased, prior to issuance of a grading permit, an overall conceptual grading plan shall be submitted to the Public Works Director and Planning Director for approval. The plan shall be used as a guideline for subsequent detailed grading plans for individual phases of development and shall include the following:

- a. Techniques which will be utilized to prevent erosion and sedimentation during and after the grading process.
- b. Approximate time frames for grading and identification of areas which may be graded during the higher probability rain months of December through March.
- c. Preliminary pad and roadway elevations.

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**Amendment #5**

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- d. Areas of temporary grading outside of a particular phase.
- 4.7 Driveways shall be designed so as not to exceed a fifteen (15) percent grade.
- 4.8 The subdivider shall provide evidence to the Public Works Director that all off-site grading areas have recorded grading and drainage easements and that maintenance responsibilities have been assigned as approved by the Public Works Director.
- 4.9 A qualified paleontologist shall be retained by the subdivider for consultation and comment on the proposed grading with respect to potential paleontological impacts. Should the paleontologist find the potential is high for impact to significant resources, a pre-grade meeting between the paleontologist, the City Public Works Director and the grading contractor shall be arranged. When necessary, the paleontologist or representative shall have the authority to temporarily divert, redirect, or halt grading activity to allow recovery of fossils. The paleontologist shall submit in writing to the Planning Director the results of the initial consultation and details of the fossil recovery plan if recovery was deemed necessary.
- 4.10 If required for the project, the subdivider shall pay at his or her sole expense and shall notify the Public Works Director in writing that the appropriate California Department of Fish and Game notification pursuant to Sections 1601/1603 of the California Fish and Game Code has taken place, or obtain an "Agreement Regarding Proposed Stream or Lake Alteration" (Section 1601/1603 Permit) should any grading be proposed within or along the banks of any natural watercourse. Copies of any agreement shall be submitted to the Public Works Director with the notification.
- 4.11 If required for the project, the subdivider shall pay at his or her sole expense and shall notify the Public Works Director in writing that the alteration of any watercourse or wetland complies with the U.S. Army Corps of Engineers (Corps) Nationwide Permit Conditions, or obtain a permit under Section 404 of the Clean Water Act should any grading or construction be proposed within or alongside the banks of the any watercourse or wetland where the Corps has jurisdiction. Copies of any agreements shall be submitted to the Public Works Director along with the notification.
- 4.12 Grading plans shall be submitted to the Public Works Director for review and approval. The plans shall include an erosion and siltation control element, as necessary, to prevent graded and cleared areas from being eroded, resulting in the transport of sediment into the watercourses and downstream where it may affect downstream properties and habitat. Approval of the grading plans is required to fulfill monitoring requirements of the California Environmental Quality Act (CEQA).
- 4.13 Any grading plans proposing grading adjacent to or within the open space lots shall be submitted to the Planning Director for review and approval.
- 4.14 Lots shall be graded to drain to the street with no cross lot drainage permitted. Lot drainage

**TENTATIVE TRACT MAP NO. 33096**

**Amendment #5**

**Conditions of Approval**

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shall be indicated on all grading plans.

- 4.15 The subdivider shall submit two (2) copies of a soils report to the Public Works Director. The report shall address the soils stability and geologic conditions of the site as approved by the Public Works Director.
- 4.16 Detailed grading plans shall fully implement the conceptual details submitted for the treatment of significant slope areas (in excess of 20 feet vertical height) and shall implement techniques regarding contour and landform grading, landscaping and the creation of organic pockets of landscaping which emulates natural conditions.

**5.0 BUILDING CONDITIONS**

Prior to the issuance of BUILDING PERMITS, all the following conditions shall be satisfied:

- 5.1 The subdivider shall submit written clearances to the Planning Director that all pertinent requirements from the following agencies have been met:

City Public Works Department  
Beaumont Unified School District  
Beaumont-Cherry Valley Water District

- 5.2 Prior to the submittal of architectural building plans and wall and fence plans to the Planning Director, an acoustical study shall be performed by an acoustical engineer to establish appropriate mitigation measures that shall be applied to individual dwelling units within the subdivision to reduce the ambient interior noise levels to 45 Ldn, with particular emphasis on proposed dwelling units located near Highland Springs Avenue, Potrero Blvd., the project entry roads and loop road. The study shall be submitted to the Planning Director for review with review fees and approved recommendations shall be incorporated into the architectural building plans and wall fence plans.
- 5.3 A detailed wall and fencing plan shall be submitted to and approved by the Planning Director and shall show all project walls and fencing including but not limited to perimeter fencing, side and rear yard fencing, and open space or park fencing. A typical elevation of all walls and fences shall be shown on the wall and fencing plan. Decorative block walls shall be constructed along all side or other yards adjacent to streets, or which are plainly visible, and in locations as may be required by the Planning Director.
- 5.4 Roof-mounted mechanical equipment shall not be permitted within the subdivision, however, solar equipment or any other energy saving devices shall be permitted with Planning Director approval.
- 5.5 Building separation between all buildings shall not be less than ten (10) feet. Fireplaces and media niches when connected to fire places may encroach two (2) feet into the side yard

**TENTATIVE TRACT MAP NO. 33096**

**Amendment #5**

**Conditions of Approval**

**Page 11 of 13**

setback, however a minimum clear area of (3) feet must be maintained in all instances.

- 5.6 All utility connections and easements shall be placed underground and shall not encroach into the driveway area unless otherwise approved by the Public Works Director.
- 5.7 All residential and commercial structures shall be provided with “four-sided” architectural features. With respect to residential structures, this may take the form of edge trim on all exterior doors or windows, or other methods as approved by the Planning Director.
- 5.8 All residences must have illuminated address numbers.
- 5.9 Roofing materials shall be in the form of tile roofing.
- 5.10 A plot plan for all residential buildings, garages and accessory buildings for residential products which are attached, alley-loaded or developed on lots smaller than 4,000 square feet shall be submitted to the Planning Director accompanied by applicable filing fees.
  - a. A final site plan (1”=30’ minimum scale precise grading plan) showing all lots, building footprints, setbacks, walls, fencing, floor plan and elevations of individual lots.
  - b. One (1) color and materials sample board containing precise color texture and material swatches or photographs (which may be from supplier’s brochures). Indicate on the sample board the name, address and phone number of the preparer and the project applicant, the tract number, and the manufacturer and product numbers when feasible (trade names also acceptable).
  - c. One (1) set of architectural elevations colored to represent the selected color combinations, with symbols keyed to the color and materials sample board. Brief written color and material descriptions shall be located on the colored elevations. No landscaping or other enhancements shall be shown on the elevations. Enhanced or upgraded rear and side facing architectural features shall be included for dwelling units adjacent to and visible from public roadways.
  - d. Detailed Wall and Fencing plans for the subdivision, including colors, materials and locational details.
  - e. An analysis of on off street visitor parking demand with respect to residential products which are attached, alley loaded or developed on lots smaller than 4,000 square feet, and a plan illustrating that such demands are adequately accommodated in the project.
  - f. Five (5) sets of photographic or color laser prints (8 ½” x11”) of the sample board and colored elevations shall be submitted for permanent filing.

**TENTATIVE TRACT MAP NO. 33096**

**Amendment #5**

**Conditions of Approval**

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5.11 All residential units shall be served by a minimum of two access points at all times, for proper circulation and emergency vehicle ingress and egress, as approved by the Fire Department. Said access shall include, at a minimum, Highland Springs Avenue and connection to the west via either First Street or Potrero Boulevard. Said access improvements shall be initiated prior to building permit issuance and completed prior to occupancy of residential building.

**6.0 FINAL INSPECTION/OCCUPANCY CONDITIONS**

Prior to the FINAL BUILDING INSPECTION or issuance of OCCUPANCY PERMITS, which ever occurs first, all the following conditions shall be satisfied:

- 6.1 Decorative block and sound walls shall be constructed along all external tract boundaries subject to the approval of the Public Works Director and Planning Director. A graffiti resistant coating or landscaping shall be provided on all block walls.
- 6.2 Wall and fence locations shall conform to the approved wall fencing plan and approved landscape and irrigation plans. All walls and fences shall be constructed subject to the approval of the Planning Director.
- 6.3 All lighting shall be in compliance with the City's Outdoor Lighting Ordinance. The Ordinance governs all outdoor lighting, pole mount, wall or building mount, landscape lighting and Parks. Front and rear porch lighting are included on Residential Standards.
- 6.4 All landscaping and irrigation shall be installed in accordance with approved plans. If the seasonal conditions do not permit planting, interim landscaping, and erosion control measures shall be utilized as approved by the Planning Director and the Public Works Director.
- 6.5 A licensed landscape architect shall provide a Compliance Letter to the Planning Director and the Public Works Director stating that the landscape and irrigation system has been installed in compliance with the approved landscaping and irrigation plans and conditions of approval. The Compliance Letter shall be submitted at least three (3) working days prior to any final building inspection or issuance of any occupancy permits, whichever occurs first.
- 6.6 All landscaping and irrigation shall be installed in accordance with approved plans and shall be verified by a City field inspection at the direction of the Planning Director.
- 6.7 All driveways shall be concrete paved.
- 6.8 The subdivider shall submit to the Planning Director a duly and completely executed agreement with a CFD or other maintenance entity approved by the Planning Director which demonstrates to the satisfaction of the City Attorney, Planning Director and Public Works

**TENTATIVE TRACT MAP NO. 33096**

**Amendment #5**

**Conditions of Approval**

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Director that the subdivider has provided for the dedication and maintenance of landscaping, irrigation and open space areas.

- 6.9 Access roads, street improvements, all agency requirements, parking areas and security lighting shall be constructed in accordance with approved improvement plans and specifications.
- 6.10 Clearance shall be obtained from the Beaumont Fire Department, and all fire protection improvements shall be in place as approved by the Fire Chief.
- 6.11 The required park facilities shall be completed and issued a final building permit inspection consistent with the phasing schedule to be developed in the implementation of the Recorded Conditions herein.

## **CONDITIONS OF APPROVAL**

**Tract 33096**  
**March 5, 2013**

### **1.0 - GENERAL**

- 1.1 The design of the public infrastructure elements shall conform to the requirements of the City General Plan, Master Plans, City of Beaumont Standards, Caltrans Standard Specifications and the Standard Specifications For Public Works Construction, current edition, as required and approved by the Consulting City Engineer.
- 1.2 The following plans and reports shall be prepared by a competent California licensed civil engineer prior to any site development. All required plans shall be drawn in ink at appropriate scales on mylar sheets as approved by the Consulting City Engineer.
  - 1.21 Plans Required:
    - A. Street Plans - Plan/Profile at 1" = 40' (Hor.), 1" = 4' (Vert.), plus Title/Index and Detail Sheets
    - B. Precise grading plan 1"=30'
    - C. Water, Sewer, Storm Drain and Utility Plan - Plan at 1" = 100'
    - D. Wall and Fence Plans, Landscape/Irrigation – Plan at 1"=30'
    - E. Electrical and Onsite Lighting Plan 1"=40'
    - F. Composite underground Utility Plan at 1"=40' showing all curbs, sewer, water, and storm drain with valves, utility valves, manholes and service connections. Gas, electric, telephone and CATV shall be shown schematically based on plans prepared by utility agencies.
  - 1.22 Final maps shall meet all requirements of the Beaumont Municipal Code, and shall include the following:

*Tract 33096*

*Conditions of Approval*

*Four Seasons*

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- A. All easements within the City of Beaumont's rights of way shall be subordinated to the City of Beaumont.
- B. All required off-site right-of-way shall be acquired by the subdivider pursuant to the subdivision map act and the Beaumont Municipal Code.
- C. Prior to building occupancy, the developer shall file condominium map application and occupancy permit will be issued after application is approved and recorded.

1.23 Reports Required:

- A. A preliminary title report accompanied by copies of all recorded documents cited therein shall be submitted to the Consulting City Engineer for review along with the first submittal of the final map for checking.
- B. A preliminary soils report prepared by a competent California licensed geotechnical engineer or civil engineer skilled in soils/foundation investigations shall be submitted for review by the Consulting City Engineer along with the first submittal of Street Plans and/or other improvement plans for review. Within the required soils report special attention shall be directed to the ripability of the proposed roadcuts and stability of manufactured slopes.

The geotechnical engineer shall determine the setback requirements to support loading without failures in the soil mass.

- C. Any grading and/or utility excavations and backfilling, both on and off site, shall be done under the continuous direction of a licensed geotechnical/civil engineer who shall obtain all required permits and submit reports on progress and test results to the Consulting City Engineer for review and approval as determined by the City. Upon completion of all soils related work, the geotechnical engineer shall submit a final report to the Consulting City Engineer for review and approval, which may require additional tests at the expense of the Subdivider.

Permits to build structures will not be issued until a report has been

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submitted by a geotechnical engineer and approved by the Consulting City Engineer attesting to the sufficiency of all building pads to sustain proposed foundation loading.

1.3 Fees Required:

- A. At the time of first submittal of Final Map and improvement plans, the Subdivider shall pay to the City of Beaumont all applicable fees based on the requirements of City Resolution No. 1990-44. An Engineer's estimate of construction shall be prepared by the subdivider and approved by the Consulting City Engineer.
- B. At the time of requesting recordation of Final Map, the Subdivider shall provide to the City a cash deposit based on the requirements of City Resolution No. 1990-44. This deposit shall guarantee setting of final survey monumentation within the Parcel Map. Said deposit will be refunded after the Consulting City Engineer verifies that said monumentation has been set in accordance with the Final Map and that any required amended maps and/or certificates of correction have been recorded.
- C. Prior to issuance of any permits to construct any public improvements, the Subdivider shall pay to the City of Beaumont all applicable fees based on the requirements of City of Beaumont Resolution No. 1990-44.
- D. Prior to issuance of any permits to construct any improvements, securities to guarantee completion of construction and payment of labor and materials shall be provided by the developer and all assignees and successors to the City in accordance with Chapter 16.36 of the Beaumont Municipal Code.

**SECTION TWO – STREET IMPROVEMENTS**

- 2.10 Off-site street improvement requirements shall be constructed based on a sensitivity analysis contained in the Traffic Study for this development. The Subdivider shall be

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*K Hovnanian Homes*

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directly and solely responsible for the mitigation of impacts related to existing traffic levels plus project traffic plus background traffic increases prior to recordation of the final map. The subdivider shall obtain all required right-of-ways, construct all street improvements at the times required by the Traffic Study and approved by the Public Works Director.

2.20 On-site street improvements shall be constructed as follows:

Street shall be constructed per typical section and alignment shown on the amended map

All existing improvements that will be affected by the proposed improvements shall be replaced in kind or better to comply with City of Beaumont standards.

Street/alley/ interior streets structural sections shall be as determined from test results conducted by a soils engineer who will provide recommendations for City approval.

2.21 Pavement structural section shall be designed based on soils tests (R-Value Tests) conducted by an acceptable soils testing laboratory and submitted by a California licensed geotechnical/civil engineer for a Traffic Index as approved by the Consulting City Engineer.

2.22 All sidewalks shall have a minimum unobstructed width of six feet, and the location of pedestrian ramps shall be based on approved standards in accordance with federal and state laws at the time of recordation.

2.23 All curb heights and gutter widths shall be based on Standard 200/201. Actual curb height will be determined by the Hydrology/Hydraulics Report and approved by the Consulting City Engineer. Developer shall construct curb and gutter and concrete sidewalk to tie-in with existing adjacent improvements.

2.24 All covers for utility manholes, valves, and vaults shall be adjusted to final grade after final paving. Street asphalt concrete pavement may be placed in multiple lifts depending on design asphalt thickness with the final lift placed prior to the first occupancy within that phase of development.

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- 2.25 Prior to the time that lumber is deposited on the site for approved construction in a specific phase, all curbs and gutters and pavement shall be completed within that phase area and compaction reports for utility trenches and street base shall be approved.
- 2.26 Streets shall not be paved until all underground utilities are installed. There shall be no intersecting street centerlines less than 90° unless otherwise approved by the Consulting City Engineer.
- 2.27 Prior to issuance of buildings permits, two points of ingress and egress shall be constructed as approved by the Consulting City Engineer.
- 2.28 Street lights shall conform to the City of Beaumont Approved Street Lighting Specifications unless otherwise approved by the Consulting City Engineer.
- 2.29 Power lines and telephone poles (existing and proposed) within project boundaries shall be placed underground and must be coordinated with utility purveyors.
- 2.30 All conditions under this section are conditions precedent to issuance of occupancy permit.

### **SECTION THREE – SEWER IMPROVEMENTS**

- 3.10 The sanitary sewer system shall be designed and constructed to collect and convey sewage to the City's Wastewater Treatment Plant on Fourth Street or a designated lift station in accordance with the Master Sewer Plan.
- 3.20 Sewer mains shall be a minimum diameter of 8" with PVC pipe and fittings unless otherwise approved by the Consulting City Engineer. Service laterals shall be constructed with PVC. No structure shall be occupied until the collection system has been thoroughly cleaned, inspected, tested, and accepted for maintenance by the City Consulting City Engineer. All manhole and cleanout covers within paved areas shall be adjusted to finished grades after paving is completed; and such adjustments shall be done in a manner as to prevent entry of silt and/or debris into the sewer system. A concrete collar around sewer manholes 12" thick and 12" wide must be provided.

#### **SECTION FOUR - WATER IMPROVEMENTS**

- 4.10 The subdivider shall comply with the requirements of the Beaumont-Cherry Valley Water District.
- 4.11 All water valves and vault covers within paved areas shall be raised to finished surfaces and painted after paving is completed.
- 4.12 All fire hydrants, air vacs and other above ground water facilities shall be placed outside of sidewalk areas. Water meter boxes and vaults, valve covers, etc. may be placed within sidewalks or paved areas provided such devices are set flush with finished surfaces as approved by the Consulting City Engineer.

#### **SECTION FIVE - STORM DRAIN IMPROVEMENTS**

- 5.10 The Subdivider shall demonstrate by hydraulic calculations that developed flows proposed to be discharged into and through existing or any other storm drain facilities shall not exceed the maximum flows for which said facilities are presently capable of handling.
- 5.11 Storm flows may be conveyed in street sections to the extent that tops of curbs shall accommodate a 10-year storm and that right-of-way limits shall accommodate a 100-year storm. Where storm flows cannot be adequately conveyed by street sections, underground storm drains shall be provided as recommended in the Hydrology/Hydraulics report and approved by the Consulting City Engineer.
- 5.12 Prior to the recordation of each final map the subdivider shall construct temporary drainage facilities and erosion control as necessary to provide for storm runoff and minimize erosion and silt deposition. The subdivider shall obtain a National Pollutant Discharge Elimination system (NPDES) General Permit for storm water discharges associated with construction activities as directed by the California Water Resources Control Board and approved by the Consulting City Engineer.
- 5.13 The engineer shall demonstrate by hydrology and hydraulic calculations that

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- 5.14 existing storm drain channel is adequate to receive flows generated and coming from this site. If existing drainage system is determined to be inadequate, the developer is required to provide adequate solution/s subject to approval by the Consulting City Engineer.
- 5.15 Onsite drainage retention basin shall be provided to comply with City of Beaumont requirements.
- 5.16 All water quality basins and bio swales shall be maintained by an Homeowners Association (HOA) or other acceptable maintenance entity. Said basins must be dedicated to the agency responsible for its maintenance.

#### **SECTION SIX - TRAFFIC SAFETY**

- 6.10 Prior to the recordation of the final map, the Subdivider shall design and construct a street lighting system to the requirements of the City of Beaumont Approved Street Lighting Specifications and AMERICAN NATIONAL STANDARD PRACTICE FOR ROADWAY LIGHTING. This lighting system shall utilize high-pressure Sodium Vapor lamps.
- 6.11 Street name signs, and traffic control devices shall be constructed in accordance with approved plans. Traffic control devices shall be required for construction work for on-site and off-site locations. Street names for this Tract shall be submitted to the Consulting City Engineer for approval.
- 6.12 During construction, temporary traffic control devices shall be constructed as deemed necessary by the City Consulting City Engineer. Such measures and devices shall include but not limited to: flagmen, barricades, portable electric traffic signals and street sweeping.

#### **SECTION SEVEN - ONSITE IMPROVEMENTS**

- 7.10 Lots shall be designed and graded to drain to fronting streets. No lot shall drain onto an adjacent lot or property adjacent to the tract. Lots shall be protected from storm runoff as approved by the Consulting City Engineer.

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- 7.11 All lots shall be provided with driveway approaches per the approved tentative map. Sewer and water service pipelines shall be placed outside of driveway areas unless otherwise approved by the Consulting City Engineer.
- 7.12 Before utility or foundation trenching is allowed, soil compaction report must be submitted to the City for review and approval.

Sincerely,  
City of Beaumont

Ponce Yambot,  
Administrative Engineer

CITY OF BEAUMONT  
550 EAST 6TH STREET  
BEAUMONT CALIFORNIA 92223  
(951) 769-8520  
(951) 769-8526 FAX

PLANNING DEPARTMENT  
DEVELOPMENT REVIEW COMMITTEE TRANSMITTAL SHEET

ASSESS PCL NO.:	TRACT MAP /PARCEL MAP NO.:							
421-130-037, 58, 59, 61, 65-69, 71, 72, 74-76, 421-790-001 to 76, 421-800-001 to 62, 421-810- 001 to 53, 421-820-001 to 05, 421-820-008 to 60, 421-820-062 to 67, 421-830-001 to 82, 421-840- 001 to 35, 421-850-001 to 45, 421-860-001 to 43 421-870-001 to 90, 421-880-001 to 81, 421-890- 001 to 50	TM 33096							
BEAUMONT CASE NO.	DATE:	DRC MEETING ON:						
13-SPA-01 (Specific Plan Amendment)	1/24/2013	2/7/2013 - 10:00 AM						
05-TM-06 (Tract Map Revision)								
13-1064 (Substantial Conformance Review)								
13-MPP-03 (Minor Plot Plan)								
LOCATION:	Southwest corner of Potrero Blvd. and Highland Springs Avenue							
TRANSMITTED TO:	<table><tr><td>City Engineer</td><td>Beaumont Building and Safety</td></tr><tr><td>Beaumont Fire Department</td><td>Beaumont Transit Department</td></tr><tr><td>Beaumont Police Department</td><td>Beaumont Economic Development</td></tr></table>		City Engineer	Beaumont Building and Safety	Beaumont Fire Department	Beaumont Transit Department	Beaumont Police Department	Beaumont Economic Development
City Engineer	Beaumont Building and Safety							
Beaumont Fire Department	Beaumont Transit Department							
Beaumont Police Department	Beaumont Economic Development							

BRIEF DESCRIPTION OF PROJECT:

Specific Plan and Tract Map Amendment #5 to revise the Specific Plan to divide Planning Area 12 into 12A & 12B with corresponding densities of Low-Medium Density 5,000 SF & Low-Density 6,000 SF, introduce a new product line with 7 New Plans, and modifying the quantity, widths, and lengths of the lots (Reducing the number from 70 to 62) of PA-12 within Tentative Tract Map 33096.

Please review the attached tentative map/documents and return your comments or Conditions of Approval NO LATER THAN the date noted above. If additional time is needed, please so state in your recommendations or contact the Planning Director by telephone. There is no need to return the exhibit, you may keep it in your files. Should you have any questions, please do not hesitate to contact this department (909) 769-8520. Mailing Address: City of Beaumont, Planning Department, 550 E. 6<sup>th</sup> Street, Beaumont, Ca 92223

COMMENTS/RECOMMENDED CONDITIONS OF APPROVAL: (COMMENTS MAY BE ATTACHED)

Submittal documents for Building Permit plan review shall be based on the design following design criteria:  
2010 CBC, CMC, CPC, CFC, CEC, CGBSC, and 2003 Energy Code  
Wind Speed: 100 MPH Exposure: C  
Seismic Zone: D Climate Zone: 10  
Live Load: Equal to 20lbs Snow Load: Equal to 15lbs

Submitted by: Keith Macapule Title: CDP Date: 1-28-13

Signature: Keith Macapule

**CITY OF BEAUMONT**  
**550 EAST 6<sup>TH</sup> STREET**  
**BEAUMONT CALIFORNIA 92223**  
**(951) 769-8520**  
**(951) 769-8526 FAX**

**JAN 28 2013**

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**PLANNING DEPARTMENT**  
**TRANSMITTAL SHEET**

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ASSESS PCL NO.: TRACT MAP /PARCEL MAP NO.:

421-130-037, 58, 59, 61, 65-69, 71, 72, 74-76, TM 33096  
 421-790-001 to 76, 421-800-001 to 62, 421-810-  
 001 to 53, 421-820-001 to 05, 421-820-008 to 60,  
 421-820-062 to 67, 421-830-001 to 82, 421-840-  
 001 to 35, 421-850-001 to 45, 421-860-001 to 43  
 421-870-001 to 90, 421-880-001 to 81, 421-890-  
 001 to 50

BEAUMONT CASE NO.	DATE	RETURN COMMENTS BY:
13-SPA-01 (Specific Plan Amendment)	1/24/2013	2/6/2013
05-TM-06 (Tract Map Revision)		
13-1064 (Substantial Conformance Review)		
13-MPP-03 (Minor Plot Plan)		

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## LOCATION:

Southwest corner of Potrero Blvd. and Highland Springs Avenue

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## TRANSMITTED TO:

Southern California Edison

Southern California Gas Company

Cal Trans

Verizon

State Dept. of Fish & Game

Beaumont Unified School Dist.

Beaumont Cherry Valley Water Dist.

Beaumont CV Rec. & Parks Dist.

Beaumont Library

Regional Water Quality Control Board

RC Waste Management (no plans)

## BRIEF DESCRIPTION OF PROJECT:

Specific Plan and Tract Map Amendment #5 to revise the Specific Plan to divide Planning Area 12 into 12A & 12B with corresponding densities of Low-Medium Density 5,000 SF & Low-Density 6,000 SF, introduce a new product line with 7 New Plans, and modifying the quantity, widths, and lengths of the lots (Reducing the number from 70 to 62) of PA-12 within Tentative Tract Map 33096.

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## COMMENTS/RECOMMENDED CONDITIONS OF APPROVAL: (COMMENTS MAY BE ATTACHED)

The Beaumont Unified School District does not find issue with this project, but would like to remind the builder that this project is subject to school fees at the applicable rate during construction. Please be sure fees have been paid prior to requesting building permits.

Submitted by: Lisa L Farrants Title: Fac. Acct. Tech. Date: 1/28/13

Signature: Lisa L Farrants

# **City of Beaumont Fire Department**

## **Fire Protection / Planning Department**

**550 E. 6<sup>TH</sup> Street, Beaumont CA 92223**

### **FIRE REVIEW PLANNING CASE CONDITIONS OF APPROVAL**

**CASE# 13-SPA-01**

**APN # 421-130-037**

**SUBJECT: KHOV 4 SEASONS TRACT MAP CHANGES. TM33096 AMENDMENT #5**

**DATE: 3/5/2013**

**CONTACT: CHRIS COURTNEY**

**PHONE #**

**SITE ADDRESS: SW CORNER OF POTREO AND HIGHLAND SPRINGS AVE.**

**Specific Condition:**

- 1. Provide and install per the fire department the required fire hydrants 6x4x2-2-1/2 along the road of emergency vehicle travel. Per the approved underground fire line plans.**
- 2. Each home shall have fire sprinklers installed per the CFC 2010, plans shall be submitted and reviewed and approved prior to installation.**

**Standard Conditions:**

With respect to the conditions of approval for the referenced project, the Fire Department recommends the following fire protection measures be provided in accordance with City of Beaumont/Riverside County Ordinances and/or recognize fire protection standards:

**F1. FIRE FINAL** - and life safety conditions will be addressed when the Fire Prevention Bureau reviews building plans. These conditions will be based on occupancy, use, California Building Code, California Fire Code, and other related codes which are in force at the time of building plan submittal.

**F2. FIRE FLOW REQUIREMENTS** - The Fire Prevention Bureau is required to set a minimum fire flow for the remodel or construction of all commercial buildings per CFC Appendix B, Table B105.1. The applicant/developer shall provide documentation to show that a water system exists, and is capable of delivering 1500 GPM for 2 hour(s) for duration at 20-PSI residual operating pressure must be available before any combustible material is placed on the job site. The required fire flow may be adjusted during the approval process to reflect changes in design, construction type, or automatic fire protection measures as approved by the Fire Prevention

Bureau. Specific requirements for the project will be determined at time of submittal. California Fire Code 2010.

**F3. SUPER FIRE HYDRANTS** - Industrial, Commercial, Multi-family, Apartment, Condominium, Townhouse or Mobile Home Parks. A combination of on-site and off-site super fire hydrants (6" x 4" x 2 – 2 1/2") shall be located be located not less than 25 feet or more than 200 feet from any portion of the building as measured along approved emergency vehicular travel ways, and spaced no more than the required spacing per Appendix C, table C105.1 in feet apart in any direction. The fire flow shall be available from any adjacent fire hydrant(s) in the system. CFC Chapter 5, section 503.1.1 and Appendix B table – B105.1

**F4. FIRE LANES** - Prior to issuance of Building Permits, the applicant/developer shall provide the Fire Prevention Bureau with an approved site plan for designating fire lanes, appropriate lane painting, and signage. CFC Chapter 5, section 503.3

**F5. ALL WEATHER ACCESS ROAD** - Prior to construction and issuance of building permits, all locations where structures are to be built shall have an approved fire department emergency vehicular access road (all weather surface) capable of sustaining an imposed load of 80,000 lbs. Road shall be provided prior to construction, based on street standards approved by the public works director and the Fire Prevention Bureau. CFC Chapter 5, section 503.2.3

**F6. 15 % GRADE** - Prior to construction, all roads, driveways and private roads shall not exceed 15 percent grade. Add: Grade transitions shall not exceed Riverside County Fire Department apparatus maximum approach and departure angles as determined by the Fire Chief. RVC Fire Ordinance # 787.6 CFC Chapter 5, section 503.2.7

**F7. U/G WATER PLANS** - Prior to issuance of permits, the applicant/developer shall furnish (3) copies of the water system plans to the Fire Prevention Bureau for review. Plans shall be in accordance with Appendix B and Appendix C and section 508.1 of the CFC 2010:

\* Signed by a registered civil engineer or certified fire protection engineer.

\* Contain a Fire Prevention Bureau approval signature block.

\* Conform to hydrant type, location, spacing of new and existing hydrants, and a minimum fire flow required as determined by the Fire Prevention Bureau.

\* The post indicator valve and fire department connection shall be located to the front access side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access, and within 200 feet of an approved fire hydrant, and within 50 of an approved roadway or driveway or otherwise approved by the Fire Chief.

- \* Guard posts or other approved means may be required to protect fire department inlet connections from vehicular damage. RVC Fire Ordinance 787.6 section 912.2.1
- \* After the local water company signs the plans, the originals shall be presented to the Fire Prevention Bureau for signatures. The required water system, including fire hydrants shall be installed, and made serviceable prior to and during the time of construction, and accepted by the City of Beaumont Fire Prevention Bureau. CFC Chapter 5, 508, and the National Fire Protection Association 24 sec 1-4.1
- \* Existing fire hydrants on public streets are allowed to be available. Existing fire hydrants on adjacent properties shall not be considered available unless fire apparatus access roads extend between properties and easements are established to prevent obstruction of such roads. CFC, Appendix A, & B and NFPA 24 section 1-4.1

**F8. BLUE DOT REFLECTOR** - Prior to issuance of Certificate of Occupancy or building final, "Blue Reflective Markers" shall be installed on private streets, public streets, and driveways to identify fire hydrant locations in accordance with City & RVC Fire Ordinance 787.6 specifications.

**F9. RESIDENTIAL NUMBERS** - Prior to issuance of Certificate of Occupancy or building final, all residential dwellings shall display street numbers in a prominent location on the street side of the residence in such a position that the numbers are easily visible to approaching emergency vehicles. The numerals shall be not less than four (4) inches in height. CFC Chapter 5, section 505.1

**F10. ROOFING** - Prior to Certificate of Occupancy or building final, all structures shall have fire retardant roofing materials (Class A & B roofs) as described in section 1504 of the CBC.

**F11. FUEL MOD PLANS** - Prior to issuance of building permits, fuel modification plans "Hazardous Fire Area" shall be submitted to the Fire Prevention Bureau for review and approval for all open space areas adjacent to the Wildland vegetation interface. Any building constructed on lots created by this land division shall comply with the special construction provision. RVC Ordinance 787.6

**F12. PAVED ACCESS** - Prior to issuance of the building permit for development, independent paved access to the nearest paved road, maintained by the City shall be designed and constructed by the developer within the public right of way in accordance with City Standards.

**F13. DRIVEWAYS** - Prior to construction, private/commercial driveways over 150 feet in length shall have a turn around as determined by the fire department capable of accommodating fire apparatus. Driveway grades up/down shall not exceed 15 percent. CFC Chapter 5, section 503.2.5

**F14. ANGLE APPROACH** - The angle of approach and departure for any means of Fire Department access shall not exceed 1 foot drop in 20 feet, and the design limitations of the fire apparatus of the fire department shall be subject to approval by the AHJ. CFC Chapter 5, section 503.2.7

**F15. FIRE SPRINKLERS** - Prior to issuance of Certificate of Occupancy or building final, the applicant/developer shall install a fire sprinkler system based on square footage and type of construction, occupancy or use. Fire sprinkler plans (3) sets shall be submitted to the Fire Prevention Bureau for approval prior to installation. No person shall remove or modify any fire protection system installed or maintained under the provisions of the California Fire Code without the approval by the Fire Chief. A Licensed C-16 contractor shall do all the work and/or certification. CFC Chapter 9, section 901.3.1, 903.1 & CBC Chapter 9, section 903.1.1

**F16. SAFETY PRECAUTIONS** - Approval of the safety precautions for buildings being constructed, altered or demolished shall be required by the Fire Chief in addition to other approvals for specific operations or processes associated with such construction, alteration or demolition. Structure, facilities and conditions which in the opinion of the fire code official, constitute a distinct hazard to life or property. The fire code official is authorized to order the posting of signs in a conspicuous location in each structure. The posting of signs shall not be obscured, removed, defaced, mutilated, or destroyed.

**F17. FIRE DEPARTMENT INSPECTION APPROVAL** - Construction or work for which the Fire Prevention Bureau's approval is required shall be subject to inspection by the Fire Chief and such construction or work shall remain accessible and exposed for inspection purposes until approved.

**F18. AUTHORITY TO INSPECT** - The Fire Prevention Bureau shall maintain the authority to inspect as often as necessary for buildings and premises, including such other hazards or appliances designated by the Fire Chief for the purpose of ascertaining and causing to be corrected any conditions which would reasonably tend to cause fire or contribute to its spread, or any violation of the purpose or provisions of this code and of any other law or standard affecting fire safety.

**F19. ALTERATIONS** - Any alterations, demolitions, or change in design, occupancy and use of buildings or site will require plan submittal to the Fire Prevention Bureau with review and approval prior to installation.

**F20. MEDIAN CROSSOVERS** - Prior to Certificate of Occupancy all locations where medians are constructed and prohibit vehicular ingress/egress into or away from the site, provisions must be made to construct a median-crossover at all locations determined by the Fire Chief and the City Engineer. Prior to the construction, design plans will be submitted for review and approval by the City Engineer.

**F21. GATES** – All exterior security/emergency access gates shall be electronically operated and be provided with a Knox key switch for access by emergency personnel, that includes the Police Department's "E" key. Contact Beaumont Police Department at 951-769-8500 for any questions. Gate entrances shall be at least two feet wider than the width of the traffic lane (s) serving that gate. Any gate providing access from a road to a driveway shall be located at least **35 feet** from the roadway, and shall open to allow a vehicle to stop without obstructing traffic on the road. Where a one-way road with a single traffic lane provides access to a gate entrance, a 40 foot turning radius will be required. CFC Chapter 5, section 503.6

**F22. KNOX SWITCH** - Gate (s) shall be opened by a Fire Department Knox Switch, and all gates shall be a minimum of **24 feet** in width. Automatic gates shall be equipped with emergency backup power.

**F23. MULTI-FAMILY RESIDENCE** - Prior to issuance of Certificate of Occupancy or building final, all multi-family residences shall display the address in a visible location on the street side of the building, and shall be clearly distinguishable from the fire apparatus access road. The building numerals shall be a minimum of twelve (12) inches in height and individual dwelling units shall be not less than four (4) inches in height, and shall contrast with their background. The address shall be illuminated as approved by the Fire Department. CFC Chapter 5, section 505.1 & RVC Ordinance 787.6

**F24. SINGLE FAMILY DWELLINGS** - Approved fire prevention standard fire hydrants (6" x 4" x 2 – 2 1/2") shall be located at each intersection of all residential streets and spaced no more than 500 feet apart in any direction, with no portion of any lot frontage more than 250 feet from a fire hydrant. Minimum fire flow shall be **1,500 GPM** for 2 hours at 20 PSI. Fire flow and flow duration for dwellings in excess of 3,600 square feet shall not be less than that specified in Appendix B, Table B 105.1, RVC 787.6 & CFC Chapter 5, and Appendix C, Table C 105.1

**F25. BUILDING OPENINGS** - Access to building openings and roofs shall be maintained readily accessible for emergency access by the fire department. Finished grade to be flat and accessible on all sides of the building were ground ladder access is the only means to reach the highest point on the building from the exterior. Obstructions will not be placed as to interfere with ground ladder placement. CFC Chapter 5, section 504.1 & RVC Ordinance 787.

**Please call if you have questions: (951)-572-3225**  
**Thank you,**  
**Richard Horner**  
**Assistant Fire Marshal**  
**City of Beaumont Fire Services**



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Homes